

BASIX requirements

Certificate number
Date of Issue

A1375719
10 November 2023

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	6.2	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	9.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	W	3.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	S	2.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	S	1.4	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	S	1.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	S	2	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	S	0.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	S	0.9	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	S	3.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	1.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	E	4.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	N	6.5	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W14	W	13.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	W	5.7	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W16	S	11	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Swimming Pool	Capacacity not greater than 31KL. Must have a pool cover. Must install a pool pump timer
Hot water system	Must install system that is electric storage plus photovoltaic system. Must install a photovoltaic system with capacity to generate at least 2.9kw of electricity and connect to the development's electrical system
Lighting	Minimum of 40% of new or altered light fixtures to be fluorescent, compact fluorescent or LED
Fixtures	New or altered shower heads flow rate not greater than 9l/min or minimum 3 star water rating New or altered toilets flow rate not greater than 4l /average flush or minimum 3 star water rating New or altered shower heads flow rate not greater than 9l/min or minimum 3 star water rating
Insulation requirements	Suspended floor with enclosed subfloor: Concrete and in-floor heating system (R0.6) R7.0(down) under + slab edge (or R1.3 including construction) Suspended floor above garage: Concrete and in-floor heating system (R0.6) R7.0(down) under + slab edge (or R1.0 including construction) external wall: framed (weatherboard/fibro/metal clad) R1.3(or R1.7 including construction) External wall: brick veneer R1.16(or R1.7 including construction) Flat Ceiling,pitched roof, framed ceiling:R0.95(up),roof:foil backed balnket (100mm) Raked Ceiling,pitched roof, framed ceiling:R1.24(up),roof:foil backed balnket (100mm)

W17	S	11	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	S	5.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	S	6.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	S	4	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	S	6.2	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	E	4.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	E	4.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W24	N	1.6	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W25	N	1.6	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W26	N	2.5	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	N	1.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	N	1.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W29	N	2.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W30	N	2.2	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W31	N	2.2	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W32	N	3.4	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W33	N	3.1	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

BAL Rating requirements

Refer to documentation submitted with this assessment:

Bushfire Assessment Report
1 Cutler Road Clontarf
19 July 2022
by Bushfire Consulting Pty.Ltd

Summary of the requirements:

The bushfire hazard assessment has determined that the bushfire threat risk for the development is high and its Bushfire Attack Level as Bal FZ. The bushfire hazard assessment has concluded that , where all recommendations are implemented, the proposal can comply with the aim, objectives and performance criteria of Chapter 7 of the NSW RFS document " Planning for Bushfire Protection" (2019).

M e g a n M c G l i n c h e y
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

ALTERATIONS AND ADDITIONS
to
JOYCE HOUSE
at
1 CUTLER ROAD
CLONTARF

drawing list

no	drawing name	rev	date
DA00	Cover sheet + legend	A	10/11/23
DA01	Site Plan + Analysis	"	"
DA02	Ground Floor Plan	"	"
DA03	Mezzanine Floor Plan	"	"
DA04	First Floor Plan	"	"
DA05	North Elevation	"	"
DA06	South Elevation	"	"
DA07	East + West Elevation	"	"
DA08	Sections A + B	"	"
DA09	Sections C	"	"
DA10	Shadow Diagrams	"	"
DA11	Window Schedule GF/Mezz	"	"
DA12	Window Schedule FF	"	"
DA13	External Finishes Schedule	"	"
DA14	Site Plan- Landscape + FSR	"	"



A		10/11/23	DEVELOPMENT APPLICATION	
ISSUE	DATE	REVISION		
PROJECT	Alterations + Additions - 1 Cutler Rd Clontarf		PROJECT # 6/2020	
CLIENT	R + C JOYCE		DATE #SEPTEMBER 23	DWG #
			SCALE @ A3 NTS	DA00
DWG	Cover Sheet		DRAWN MM	
			CHKD MM	REVISION A

LEGEND

ALPS	ALUMINIUM PRIVACY SCREEN
BG	BOX GUTTER
BWRP	BRICKWORK RENDER AND PAINT
CF	CHIMNEY FLUE
CPT	CARPET
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
EG	EAVES GUTTER
EX BWF	EXISTING FACE BRICK
EXGL	EXISTING GROUND LINE
CF	CHIMNEY FLUE
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
FC	FIBRE CEMENT LINING
FP	FIREPLACE
MB	METAL BALUSTRADE
MR	METAL ROOF SHEET
MW	METAL WALL SHEET
PAV	PAVING
PB/TF	PLASTERBOARD/TIMBER FRAME

6 BARRABOOKA ST
18
SEC 61
DP758044

4 BARRABOOKA ST
19
SEC 61
DP758044

2 BARRABOOKA ST
19
SEC 61
DP758044

3 CUTLER RD
11
SEC 61
DP758044

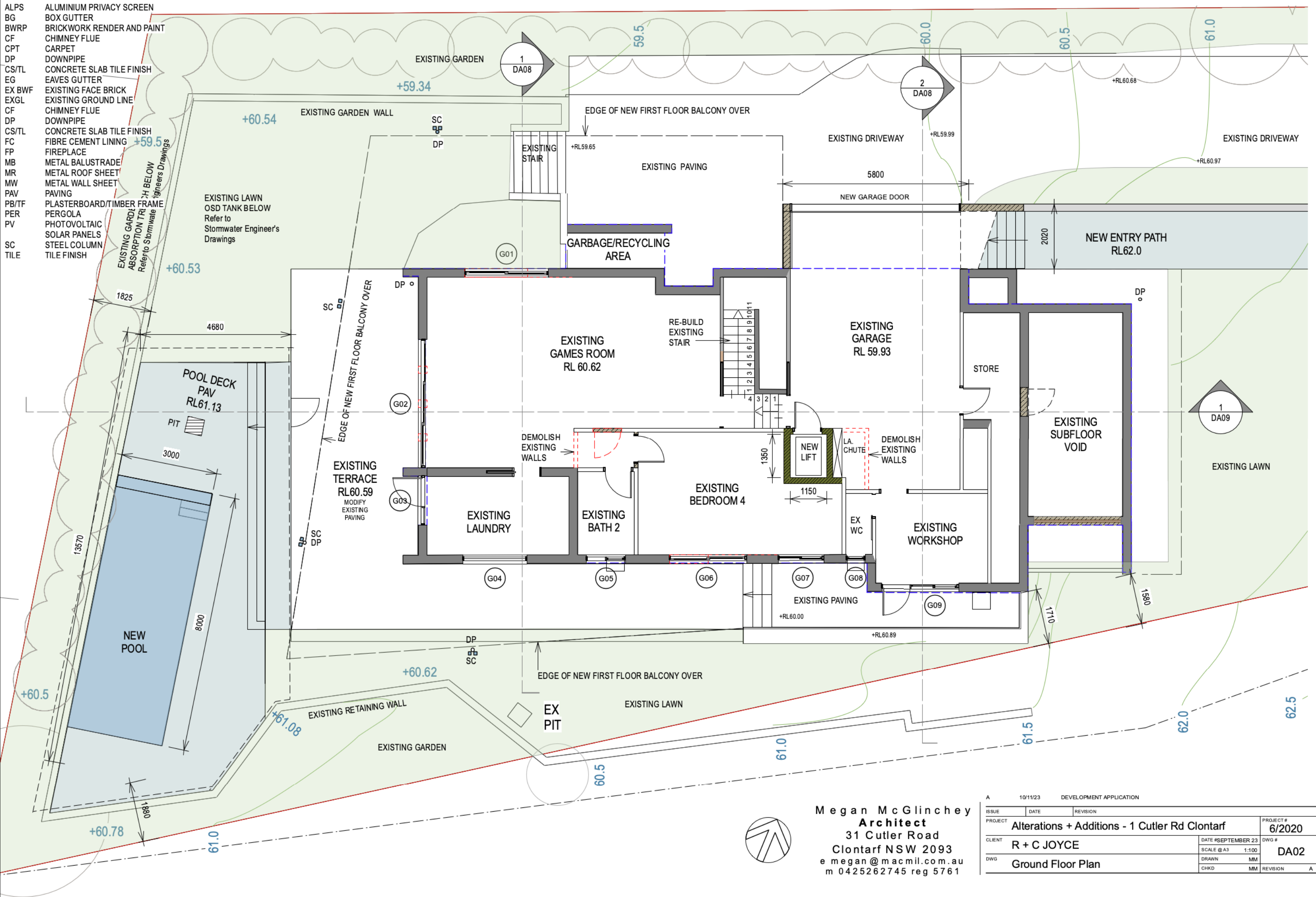
1 CUTLER RD
12
SEC 61
DP758044
AREA 1114m²

Megan McGlinchey
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

A		8/9/23	DEVELOPMENT APPLICATION	
ISSUE	DATE	REVISION	PROJECT #	
PROJECT	Alterations + Additions - 1 Cutler Rd Clontarf		6/2020	
CLIENT	R + C JOYCE		DATE #	DWG #
DWG	Site Plan		SEPTEMBER 23	DA01
SCALE @ A3	1:200	DRAWN	MM	REVISION
CHKD	MM	REVISION	A	

LEGEND

ALPS	ALUMINIUM PRIVACY SCREEN
BG	BOX GUTTER
BWRP	BRICKWORK RENDER AND PAINT
CF	CHIMNEY FLUE
CPT	CARPET
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
EG	EAVES GUTTER
EX BWF	EXISTING FACE BRICK
EXGL	EXISTING GROUND LINE
CF	CHIMNEY FLUE
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
FC	FIBRE CEMENT LINING
FP	FIREPLACE
MB	METAL BALUSTRADE
MR	METAL ROOF SHEET
MW	METAL WALL SHEET
PAV	PAVING
PB/TF	PLASTERBOARD/TIMBER FRAME
PER	PERGOLA
PV	PHOTOVOLTAIC SOLAR PANELS
SC	STEEL COLUMN
TILE	TILE FINISH



Megan McGlinchey
Architect
 31 Cutler Road
 Clontarf NSW 2093
 e megan@macmil.com.au
 m 0425262745 reg 5761

A		10/11/23	DEVELOPMENT APPLICATION
ISSUE	DATE	REVISION	
PROJECT	Alterations + Additions - 1 Cutler Rd Clontarf		PROJECT # 6/2020
CLIENT	R + C JOYCE		DWG # DA02
DWG	Ground Floor Plan		
CHKD	MM	REVISION	A

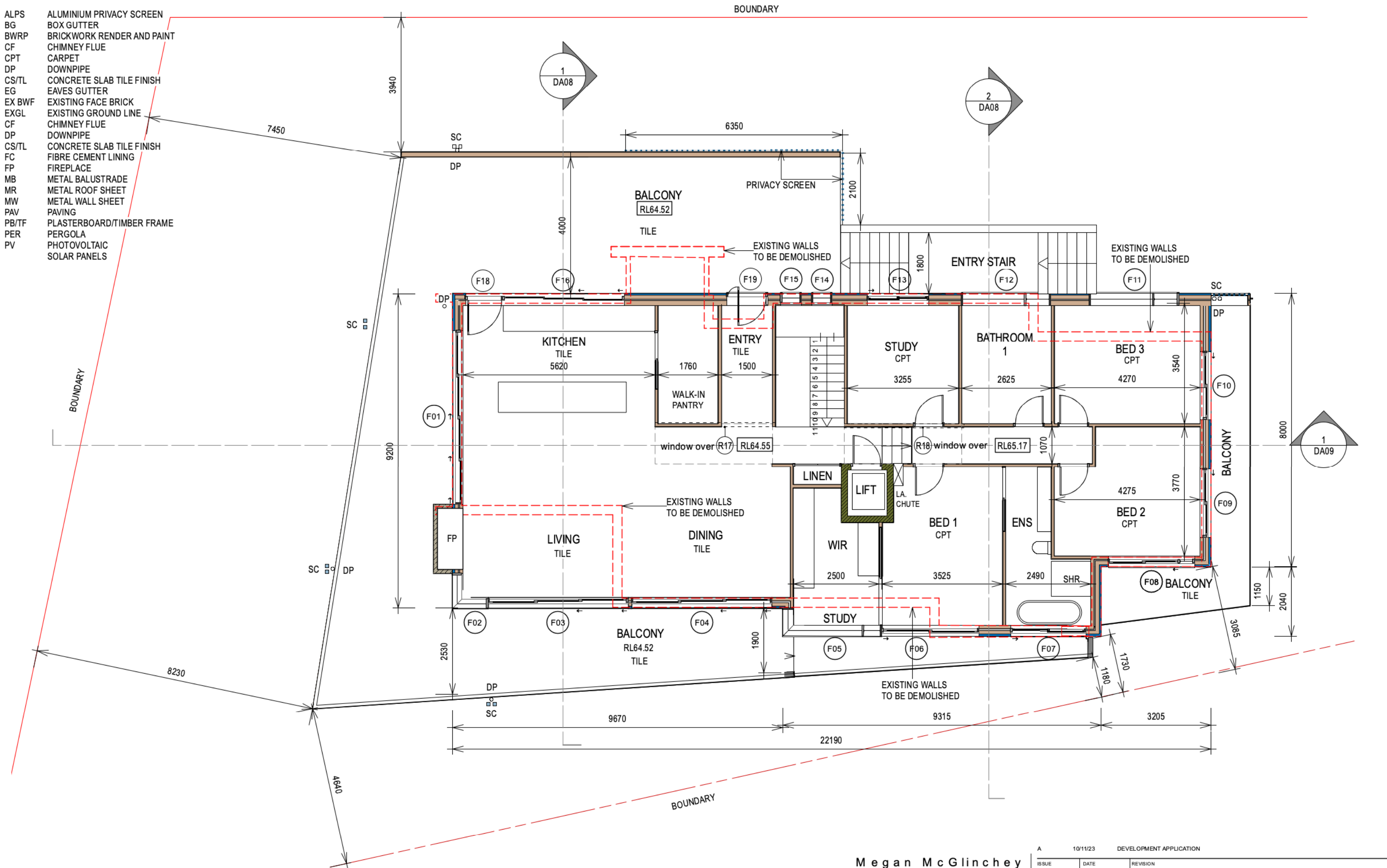
ALPS	ALUMINIUM PRIVACY SCREEN
BG	BOX GUTTER
BWRP	BRICKWORK RENDER AND PAINT
CF	CHIMNEY FLUE
CPT	CARPET
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
EG	EAVES GUTTER
EX BWf	EXISTING FACE BRICK
EXGL	EXISTING GROUND LINE
CF	CHIMNEY FLUE
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
FC	FIBRE CEMENT LINING
FP	FIREPLACE
MB	METAL BALUSTRADE
MR	METAL ROOF SHEET
MW	METAL WALL SHEET
PAV	PAVING
PB/TF	PLASTERBOARD/TIMBER FRAME



A		10/11/23		DEVELOPMENT APPLICATION	
ISSUE		DATE		REVISION	
PROJECT				PROJECT #	
Alterations + Additions - 1 Cutler Rd Clontarf				6/2020	
CLIENT		DATE #SEPTEMBER 23		DWG #	
R + C JOYCE		SCALE @ A3 1:100		DA03	
DWG		DRAWN MM			
Mezzanine Plan		CHKD MM		REVISION A	

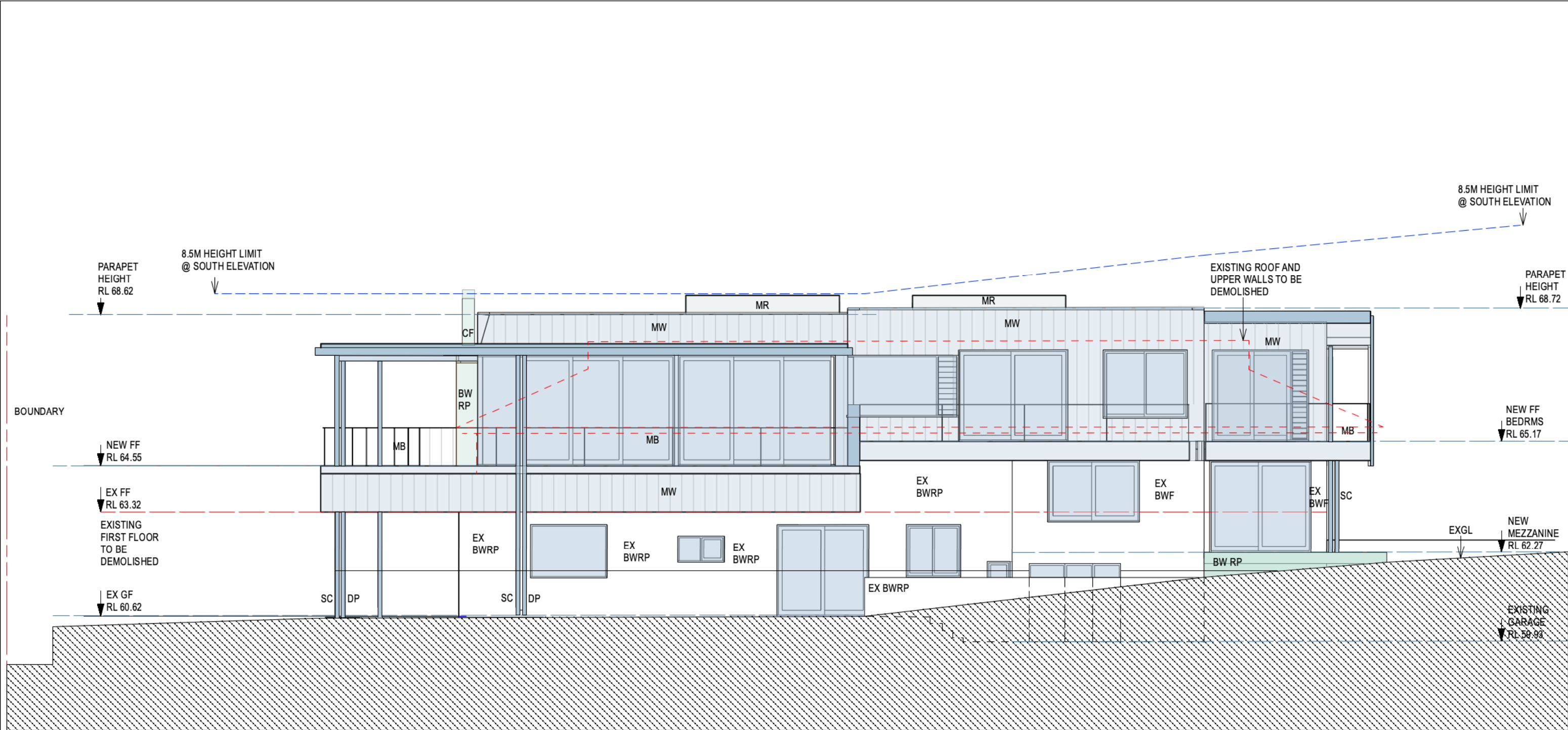
LEGEND

ALPS	ALUMINIUM PRIVACY SCREEN
BG	BOX GUTTER
BWRP	BRICKWORK RENDER AND PAINT
CF	CHIMNEY FLUE
CPT	CARPET
DP	DOWNPIPE
CS/TL	CONCRETE SLAB TILE FINISH
EG	EAVES GUTTER
EX BWF	EXISTING FACE BRICK
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Megan McGlinchey
Architect
 31 Cutler Road
 Clontarf NSW 2093
 e megan@macmil.com.au
 m 0425262745 reg 5761

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PROJECT	Alterations + Additions - 1 Cutler Rd Clontarf		PROJECT # 6/2020
CLIENT	R + C JOYCE		DATE 10/11/23
DWG	First Floor Plan		SCALE @ A3 1:100
CHKD	MM	REVISION	DA04
			A



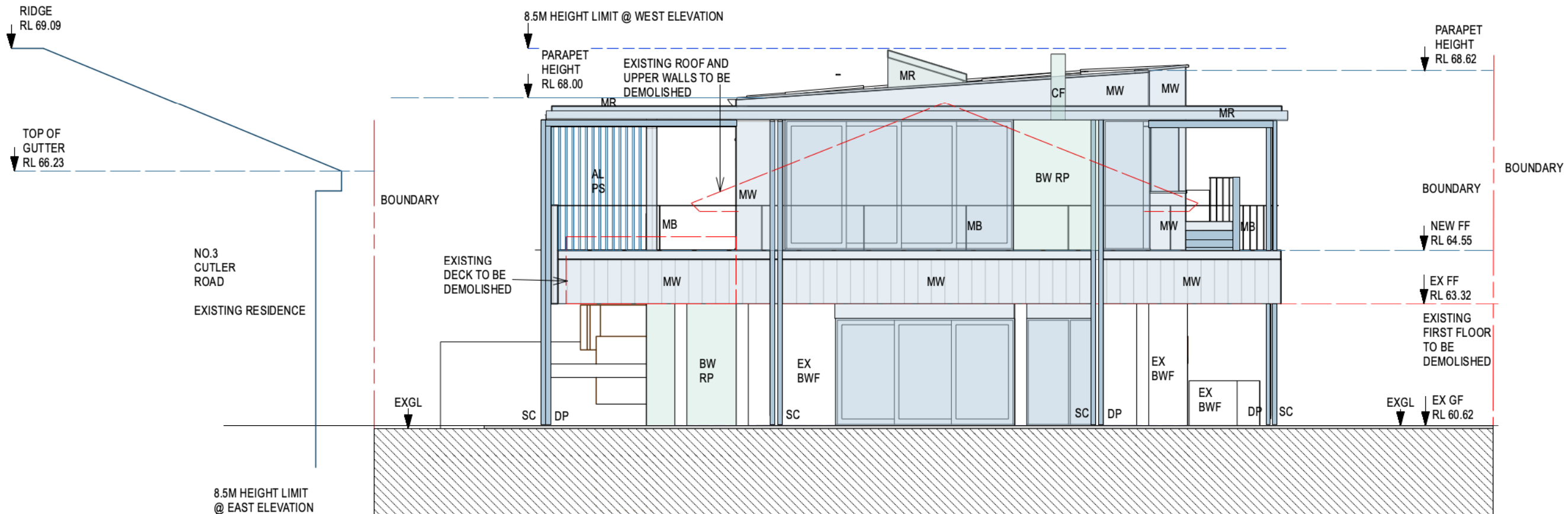
LEGEND

ALPS	ALUMINIUM PRIVACY SCREEN
BG	BOX GUTTER
BWRP	BRICKWORK RENDER AND PAINT
CF	CHIMNEY FLUE
CPT	CARPET
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PAV	PAVING
PB/TF	PLASTERBOARD/TIMBER FRAME
PER	PERGOLA
PV	PHOTOVOLTAIC SOLAR PANELS
SC	STEEL COLUMN

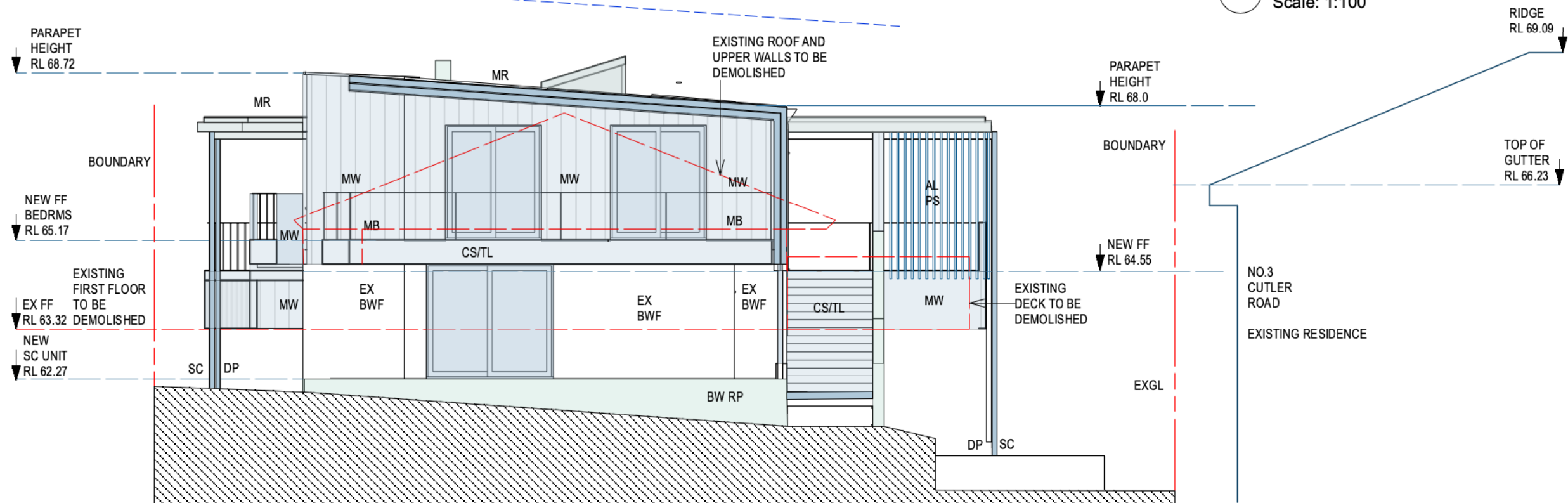
1 SOUTH ELEVATION
Scale: 1:100

Megan McGlinchey
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

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CLIENT	R + C JOYCE		DATE #SEPTEMBER 23	DWG #
			SCALE @ A3	1:100
DWG	South Elevation		DRAWN	MM
			CHKD	MM
			REVISION	A



2 WEST ELEVATION
Scale: 1:100



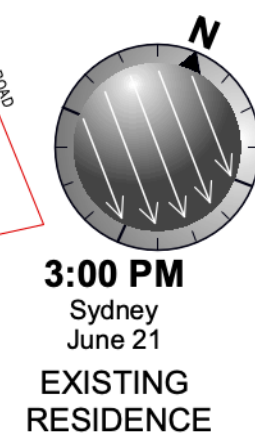
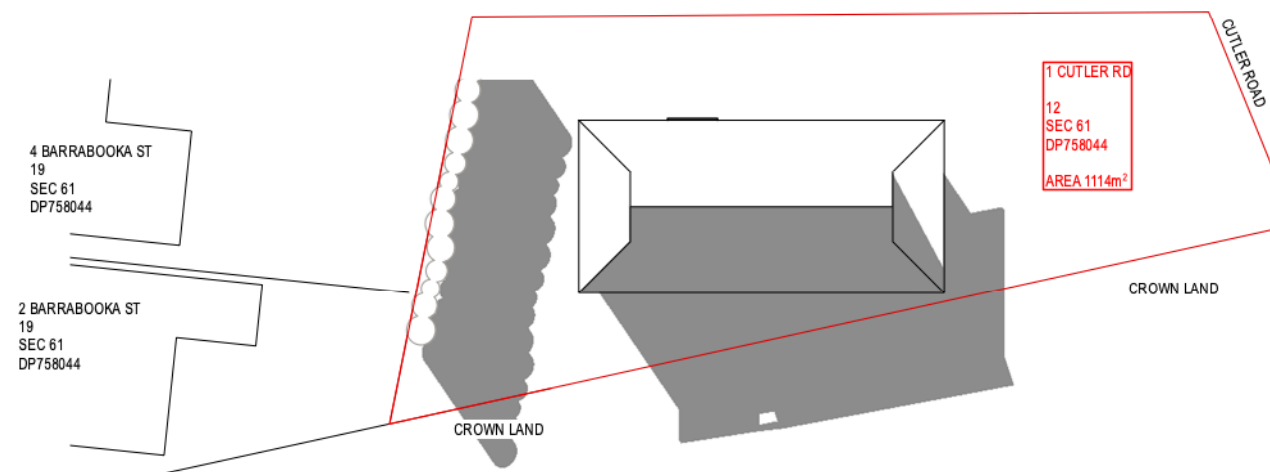
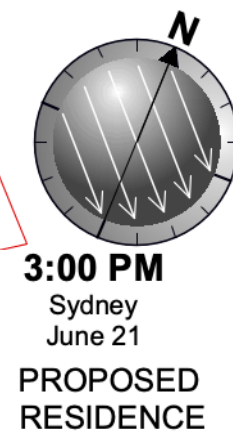
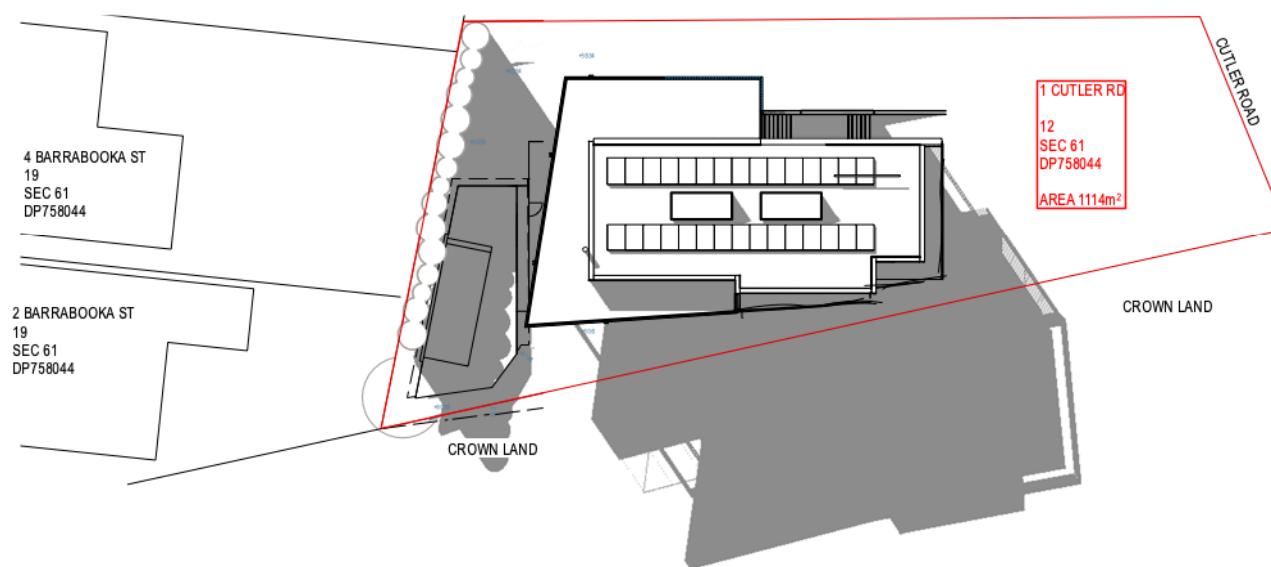
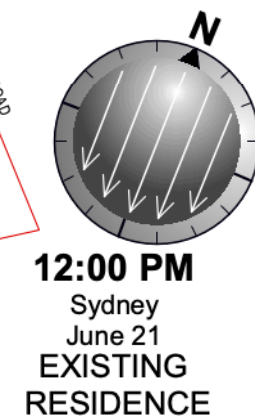
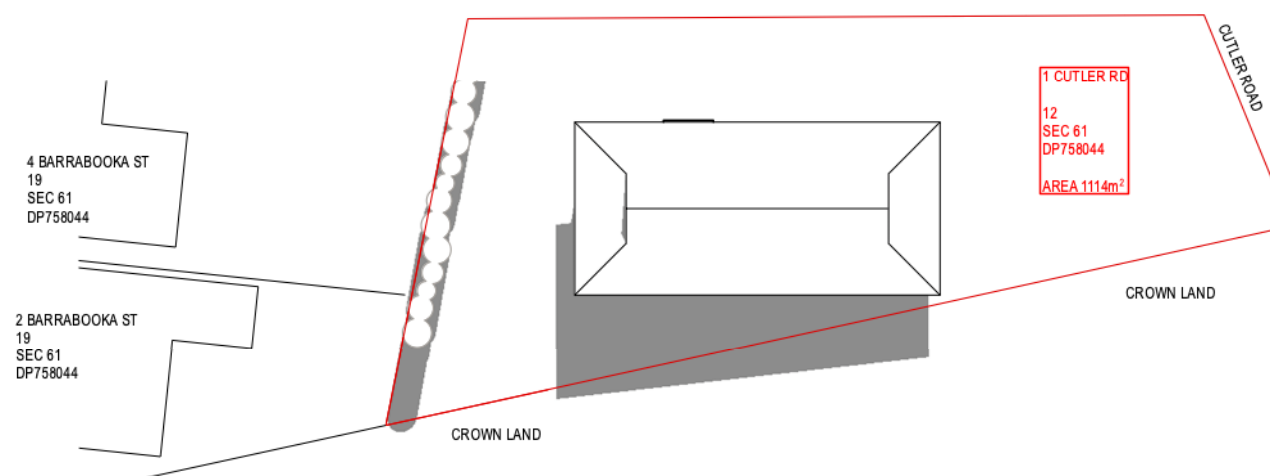
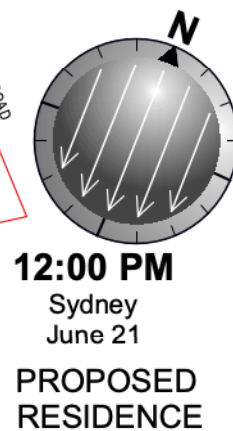
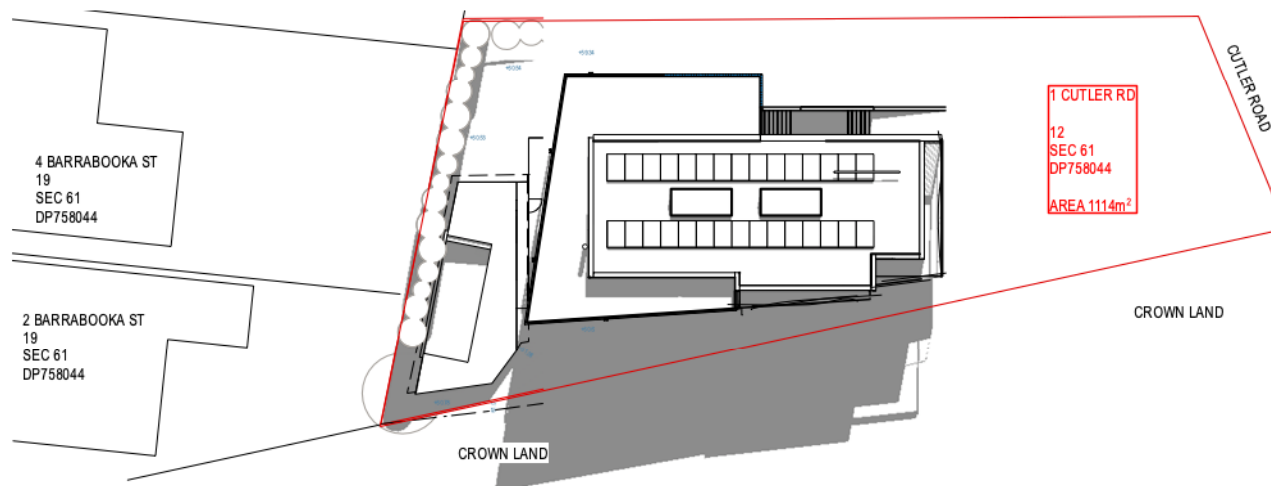
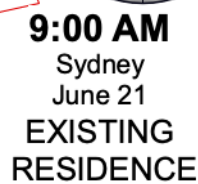
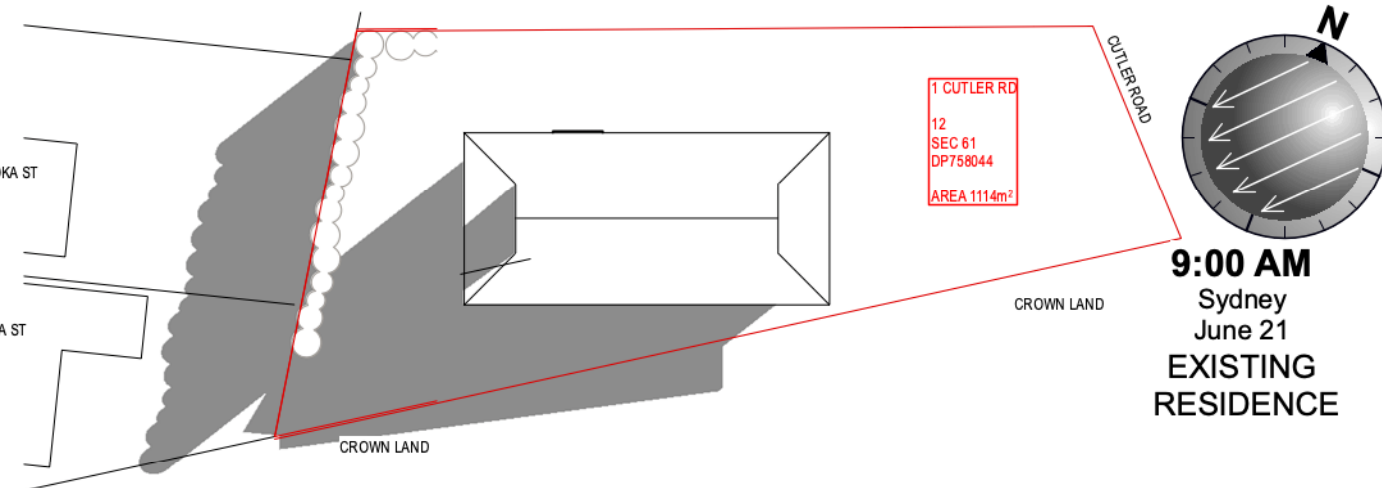
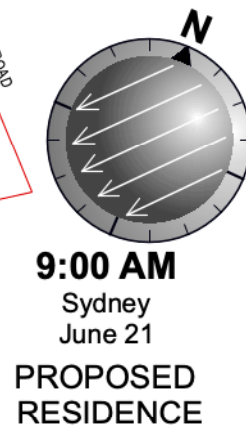
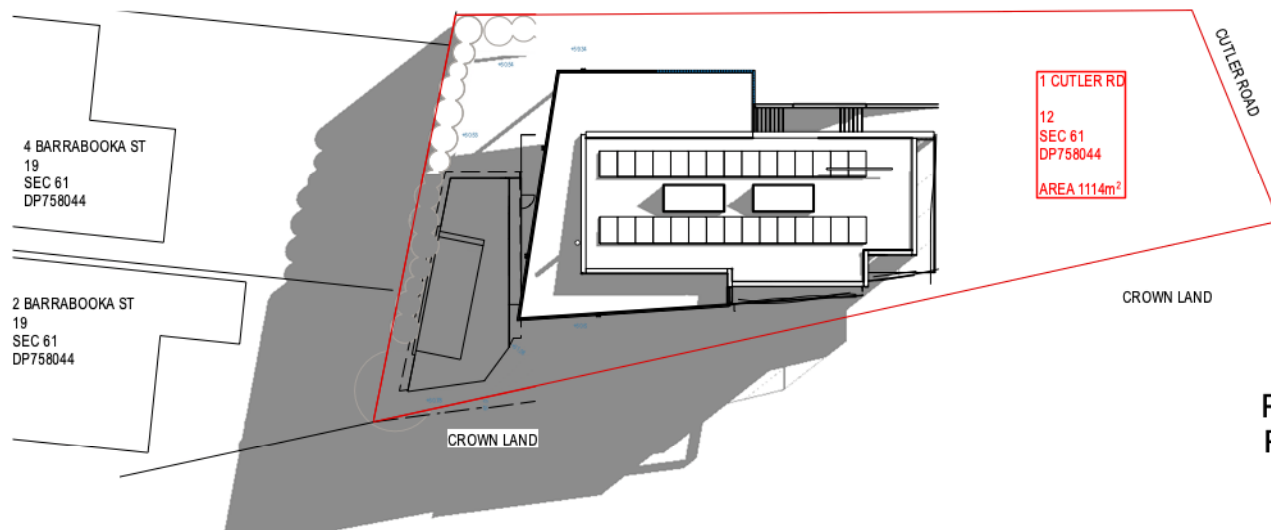
1 EAST ELEVATION
Scale: 1:100

LEGEND

ALPS	ALUMINIUM PRIVACY SCREEN
BG	BOX GUTTER
BWRP	BRICKWORK RENDER AND PAINT
CF	CHIMNEY FLUE
CPT	CARPET
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Megan McGlinchey
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

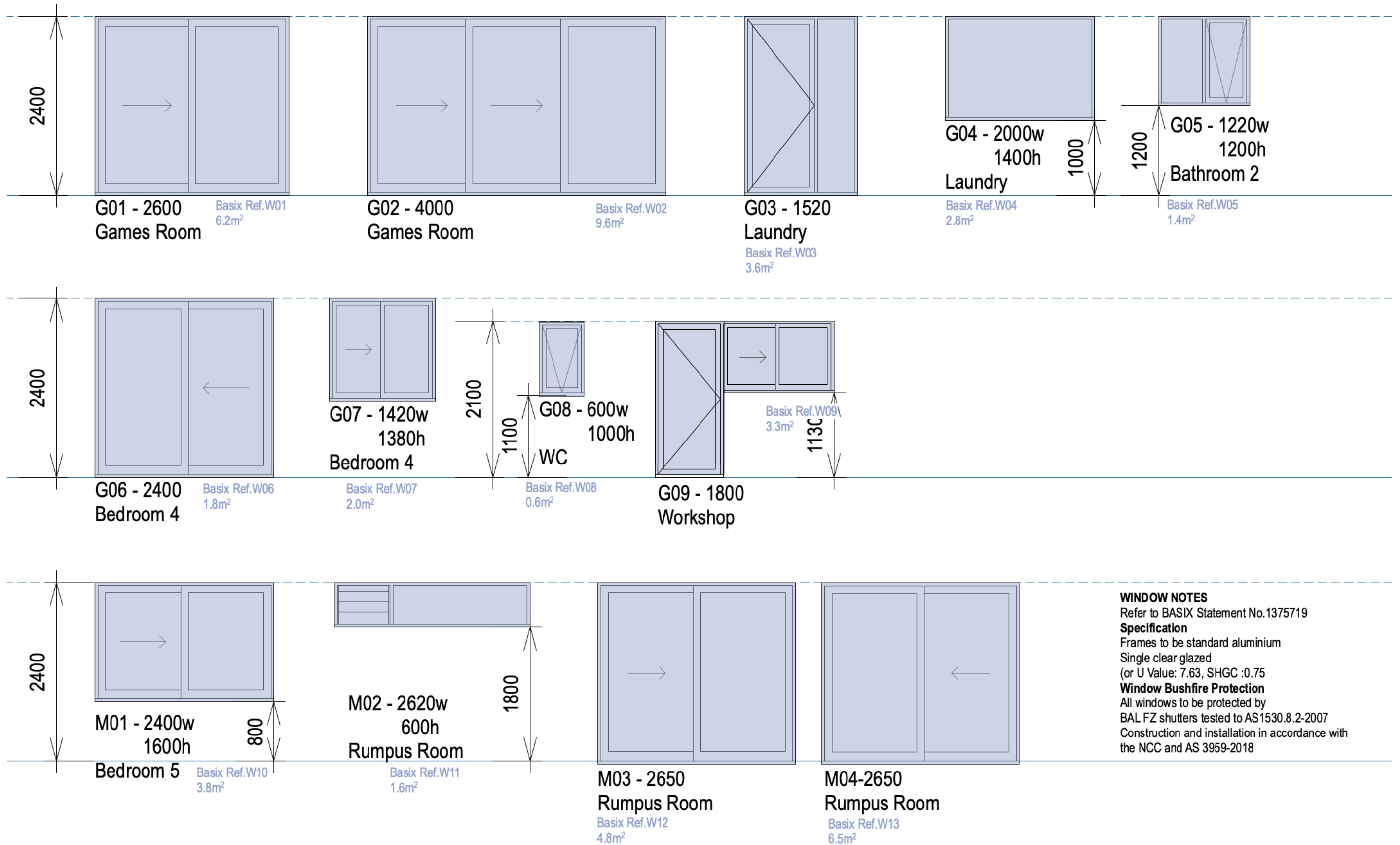
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ISSUE		DATE		REVISION	
PROJECT		Alterations + Additions - 1 Cutler Rd Clontarf			PROJECT # 6/2020
CLIENT		R + C JOYCE		DATE #SEPTEMBER 23 SCALE @ A3	DWG # DA07
DWG		East + West Elevation		DRAWN CHKD	MM MM
				REVISION	A



Megan McGlinchey
Architect
 31 Cutler Road
 Clontarf NSW 2093
 e megan@macmil.com.au
 m 0425262745 reg 5761



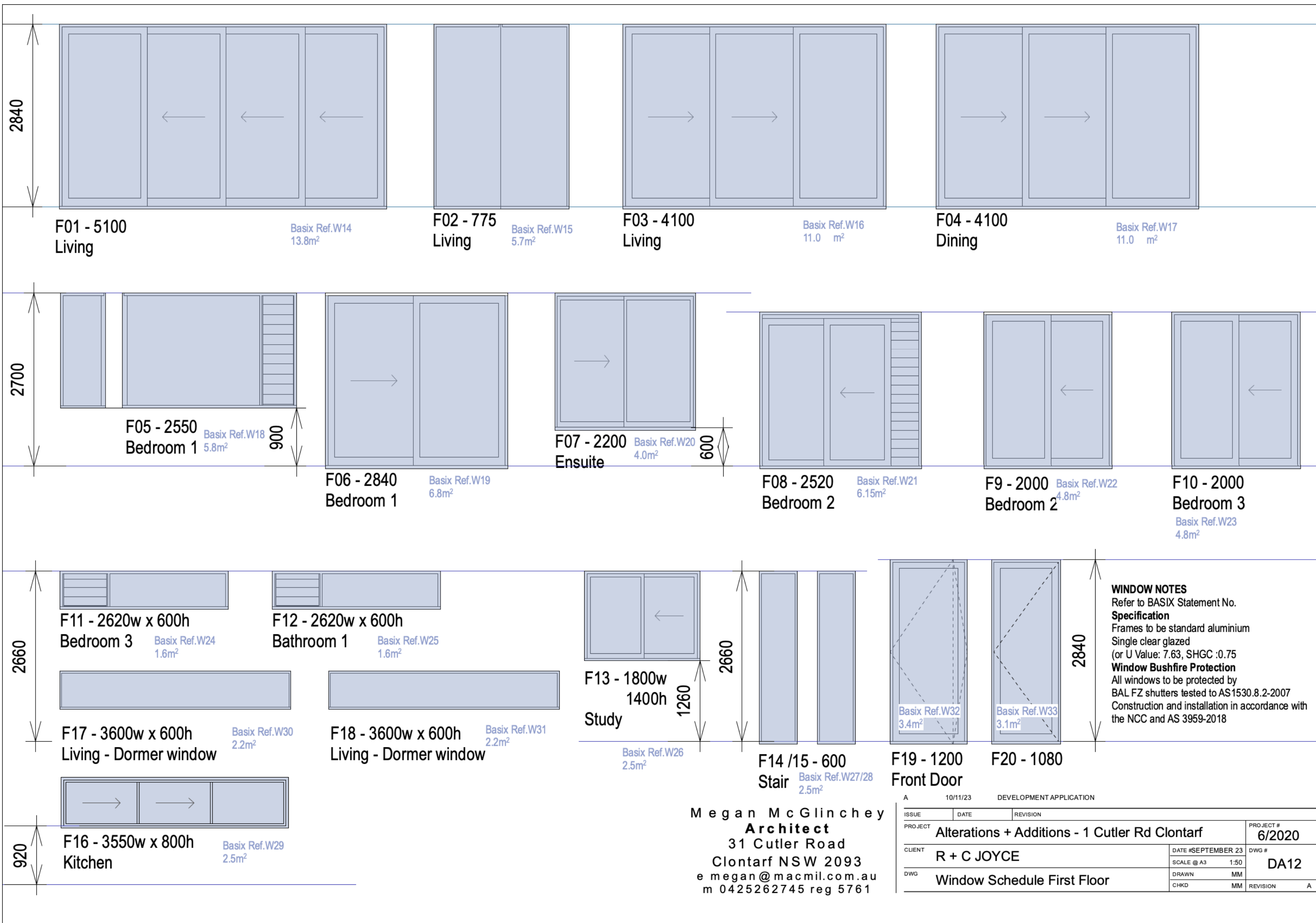
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ISSUE		DATE	REVISION	
PROJECT			PROJECT #	
Alterations + Additions - 1 Cutler Rd Clontarf			6/2020	
CLIENT		DATE #		DWG #
R + C JOYCE		SEPTEMBER 22		DA10
		SCALE @ A3 1:500		
DWG		DRAWN		MM
Shadow Diagrams		CHKD		MM
				REVISION



WINDOW NOTES
Refer to BASIX Statement No.1375719
Specification
Frames to be standard aluminium
Single clear glazed
(or U Value: 7.63, SHGC :0.75)
Window Bushfire Protection
All windows to be protected by
BAL FZ shutters tested to AS1530.8.2-2007
Construction and installation in accordance with
the NCC and AS 3959-2018

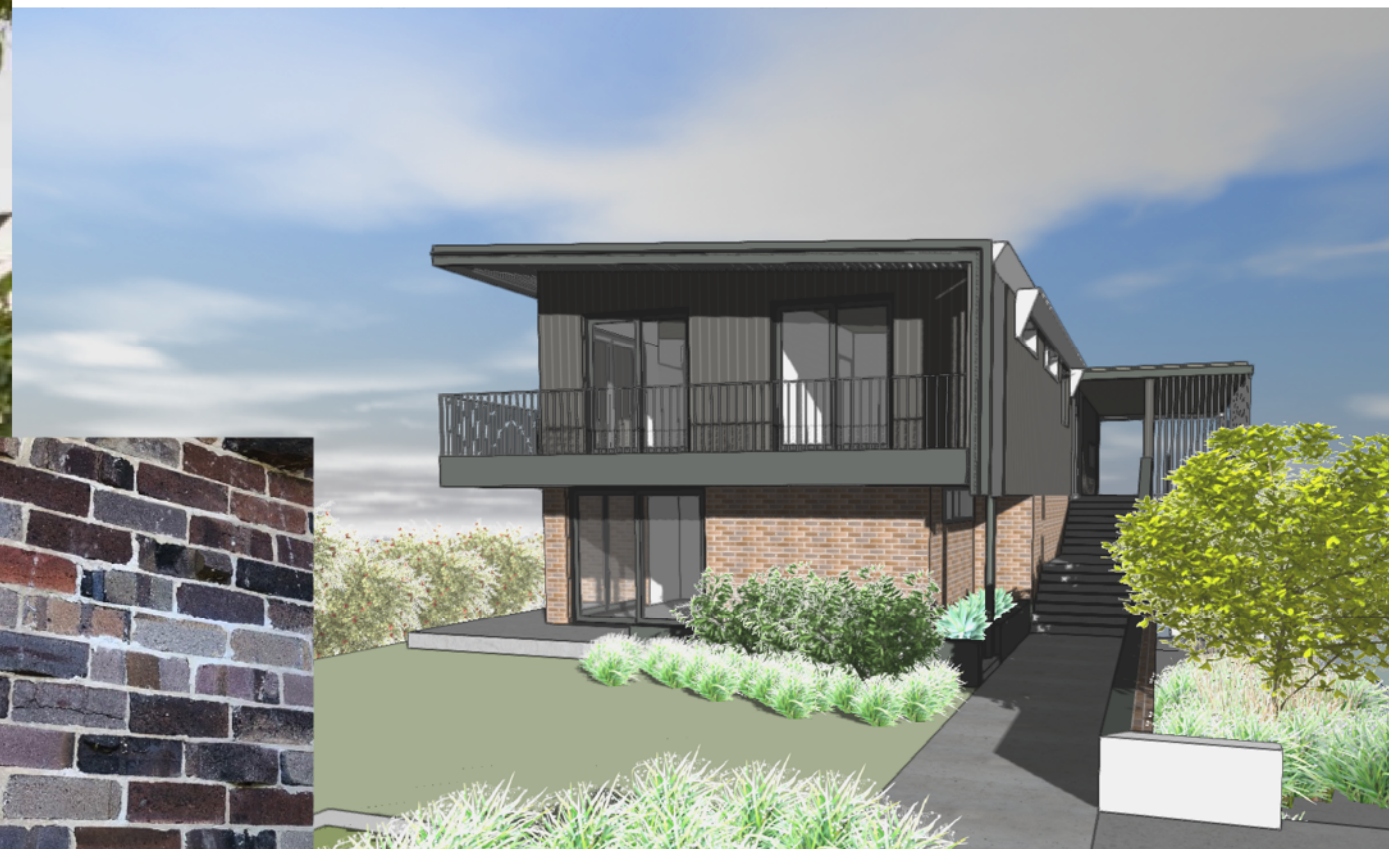
M e g a n M c G l i n c h e y
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

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PROJECT		Alterations + Additions - 1 Cutler Rd Clontarf			PROJECT # 6/2020
CLIENT		R + C JOYCE		DATE #SEPTEMBER 23	DWG #
DWG		Window Schedule Ground Floor/Mezz		SCALE @ A3 1:50	DA11
				DRAWN MM	
				CHKD MM	REVISION
					A





STEEL ROOFING AND WALLING COLORBOND



ENTRY VIEW FROM NORTH EAST



EXISTING CLAY BRICKS @ GROUND FLOOR LEVEL

GRANITE/NATURAL STONE
TO PATHS AND
FIRST FLOOR TERRACE

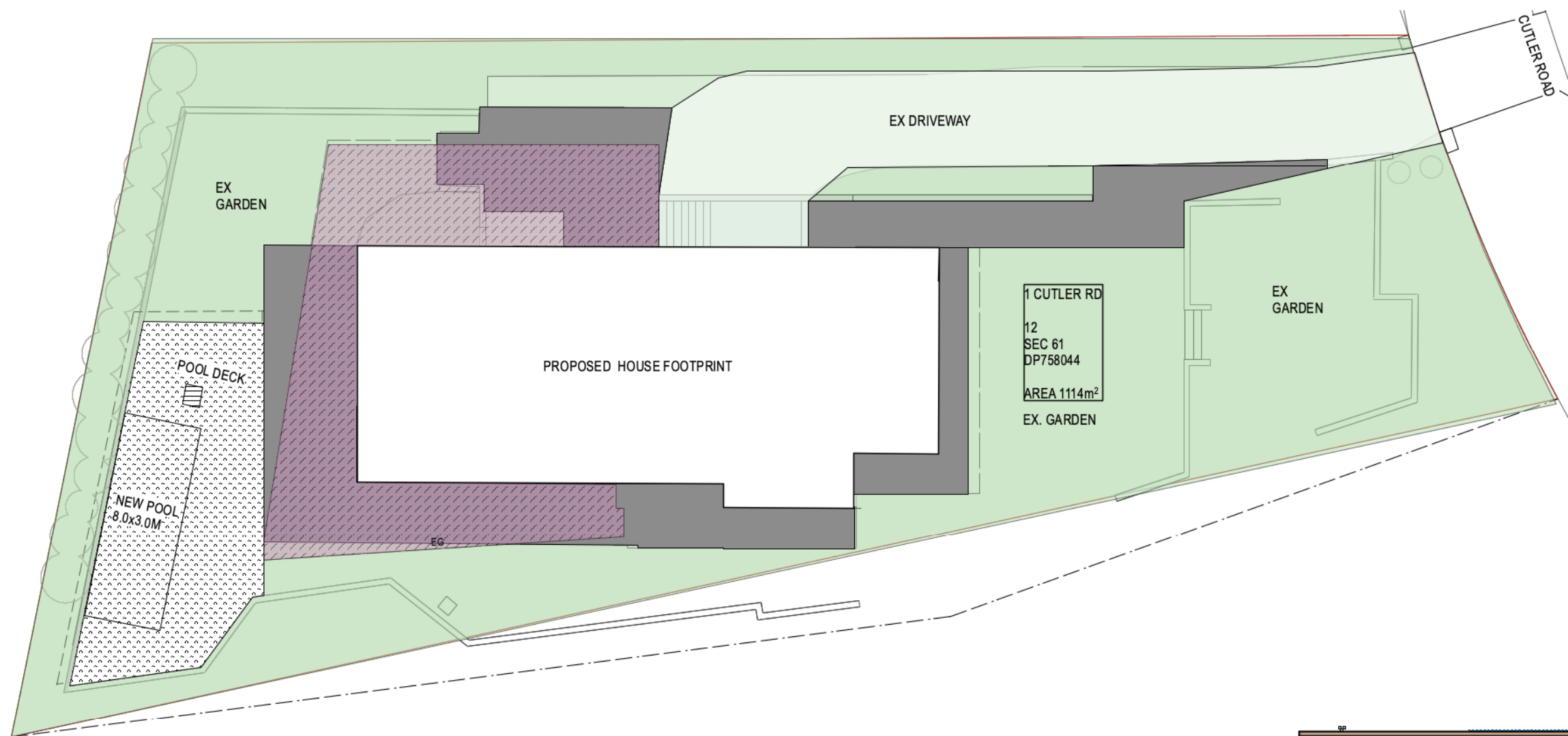


ALUMINIUM WINDOWS: COLORBOND



M e g a n M c G l i n c h e y
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

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CLIENT		R + C JOYCE		DATE #SEPTEMBER 23	DWG #
DWG		External Finishes Schedule			DA13
		DRAWN		MM	
		CHKD		MM	REVISION

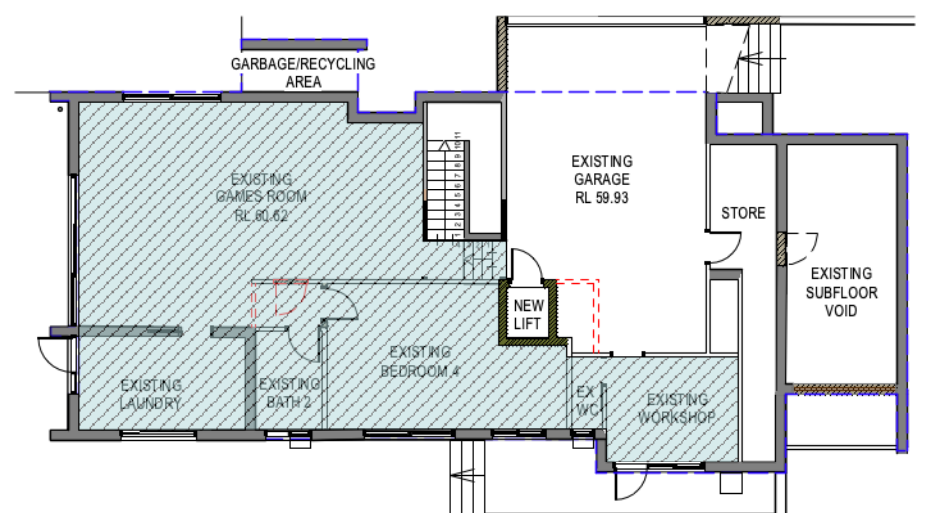


TOTAL OPEN SPACE - AREA CALCULATIONS

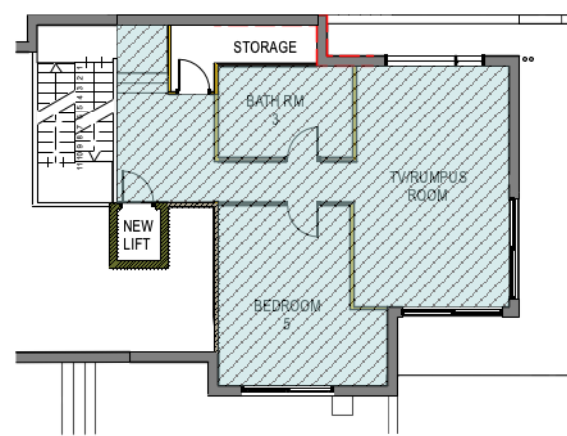
HARD PAVING	174.0
LANDSCAPED AREA	510.0
POOL + SURROUNDS	78.0
OPEN SPACE ABOVE GROUND	111.0
TOTAL PROPOSED OPEN SPACE	873.0m²
TOTAL REQUIRED OPEN SPACE	
60% X 1114 = 669.0m²	

LANDSCAPE - AREA CALCULATIONS

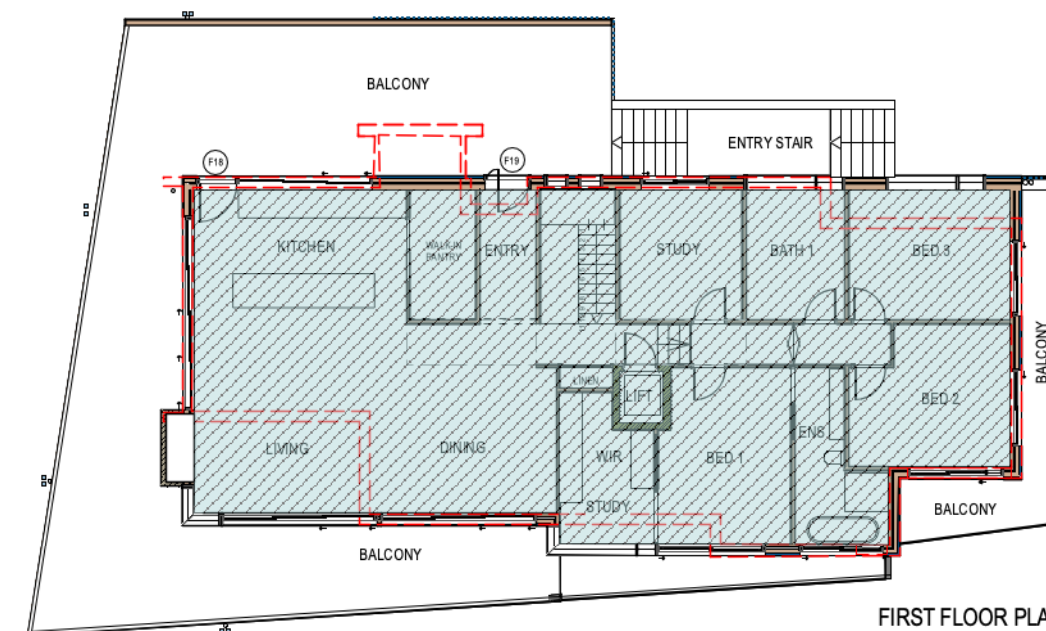
TOTAL PROPOSED LANDSCAPED AREA	510.0m²
TOTAL REQUIRED LANDSCAPED AREA	
40% X 873.0 = 349.0m²	



GROUND FLOOR PLAN
GFA 104m²



MEZZANINE FLOOR PLAN
GFA 68m²



FIRST FLOOR PLAN
GFA 188m²

TOTAL GROSS FLOOR AREA + FSR CALCULATIONS

GROUND FLOOR	104
MEZZ FLOOR	68
FIRST FLOOR	188
TOTAL PROPOSED GFA	360m²
PROPOSED FSR	0.32:1
MAXIMUM ALLOWABLE FSR	0.4:1



Megan McGlinchey
Architect
31 Cutler Road
Clontarf NSW 2093
e megan@macmil.com.au
m 0425262745 reg 5761

A		10/11/23	DEVELOPMENT APPLICATION	
ISSUE	DATE	REVISION		
PROJECT	Alterations + Additions - 1 Cutler Rd Clontarf			PROJECT # 6/2020
CLIENT	R + C JOYCE			DWG # DA14
DWG	Site Plan -Landscape + FSR			
CHKD	MM	REVISION	A	