

Natalie Sciberras

Architecture & Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

S4.55(1A) MODIFICATION

21 Moore Street, Clontarf

THIS DA REFERENCES PREVIOUS APPROVED ALTERATIONS& ADDITIONS

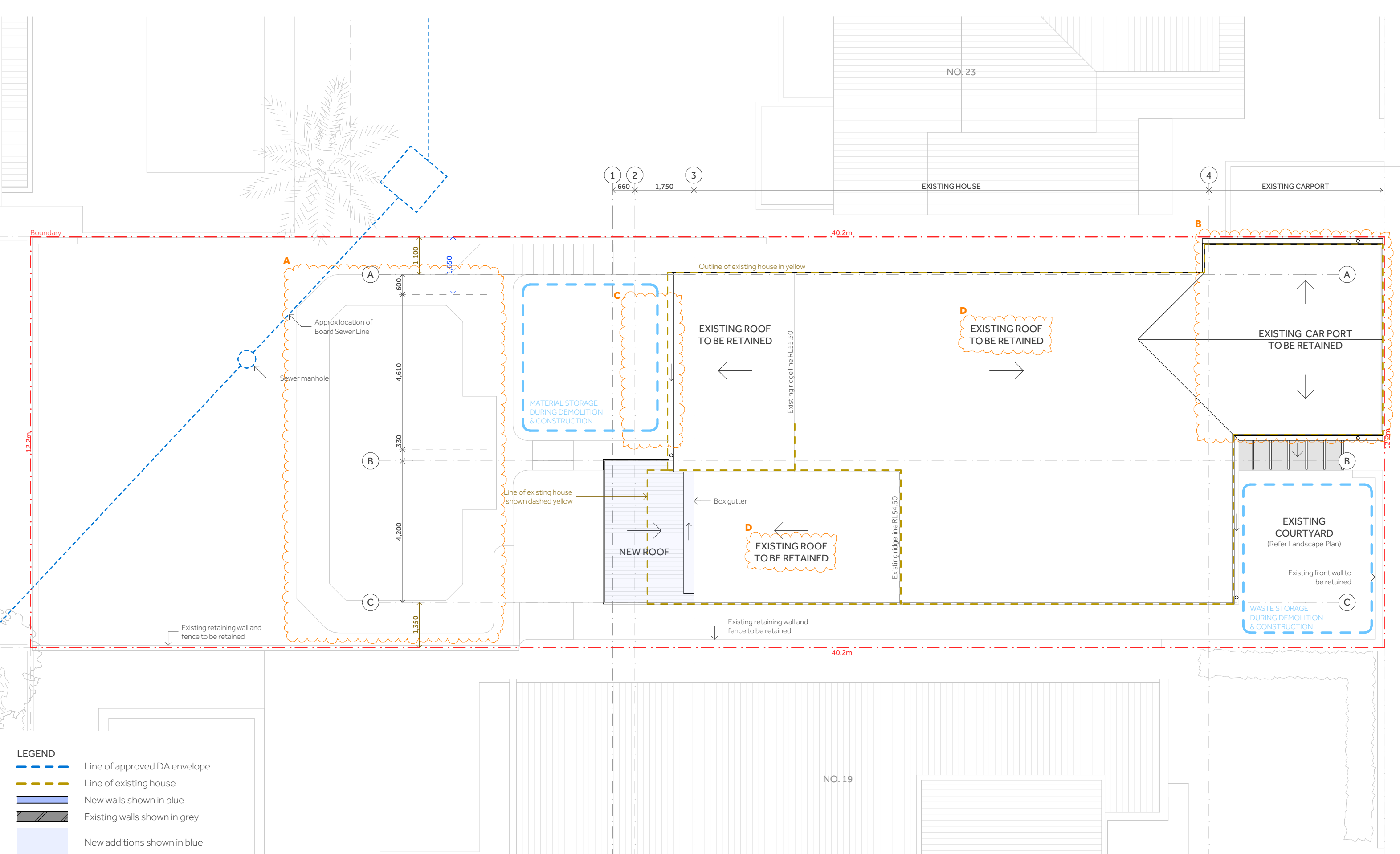
REFER APPROVED DA2023/1578

Alterations and additions to a dwelling house

November 2024

Submitted for Rod & Natalie Pindar





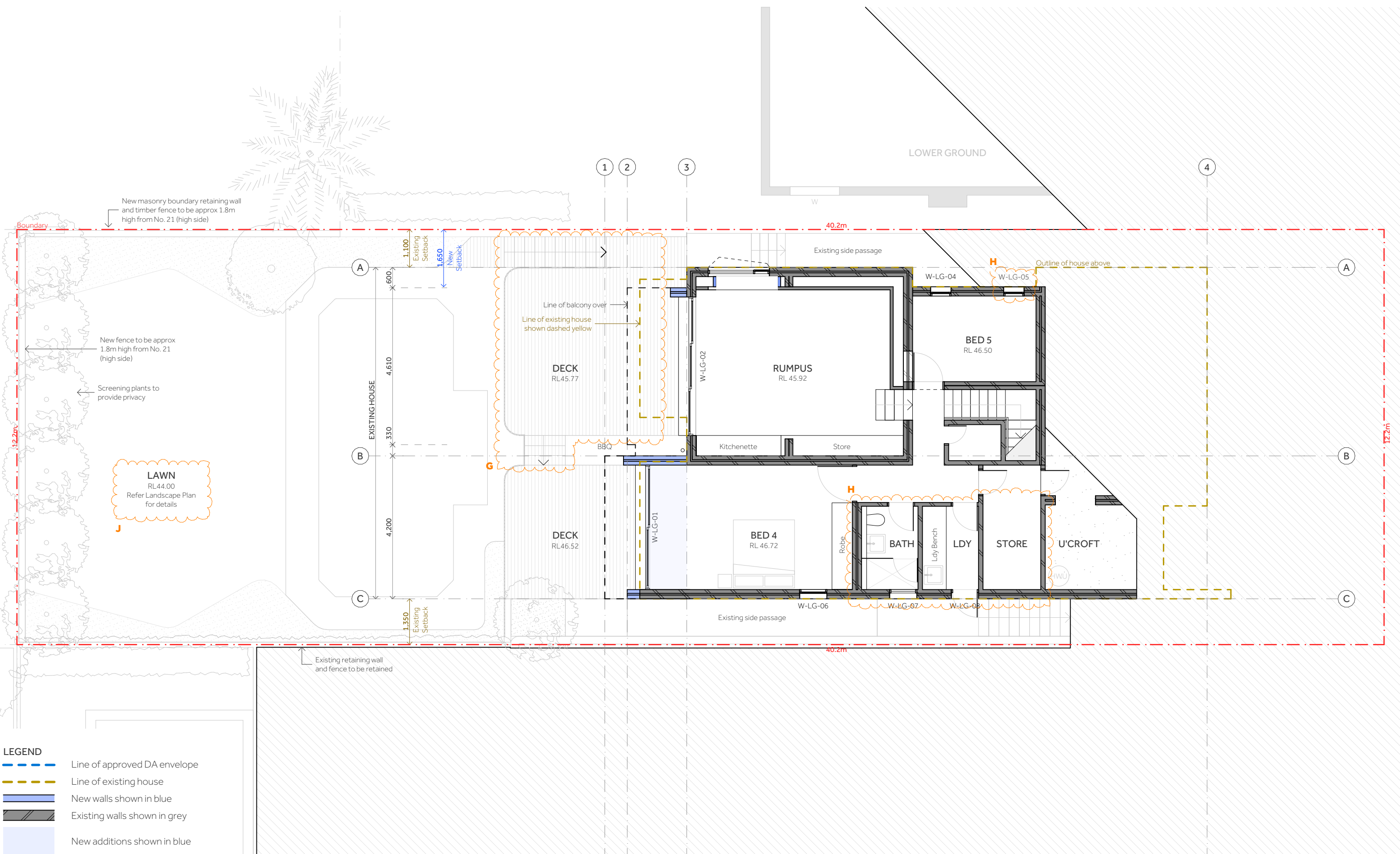
Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title Site & Roof Level Plan
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-08
issue B



LEGEND

- Line of approved DA envelope
- Line of existing house
- New walls shown in blue
- Existing walls shown in grey
- New additions shown in blue

Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

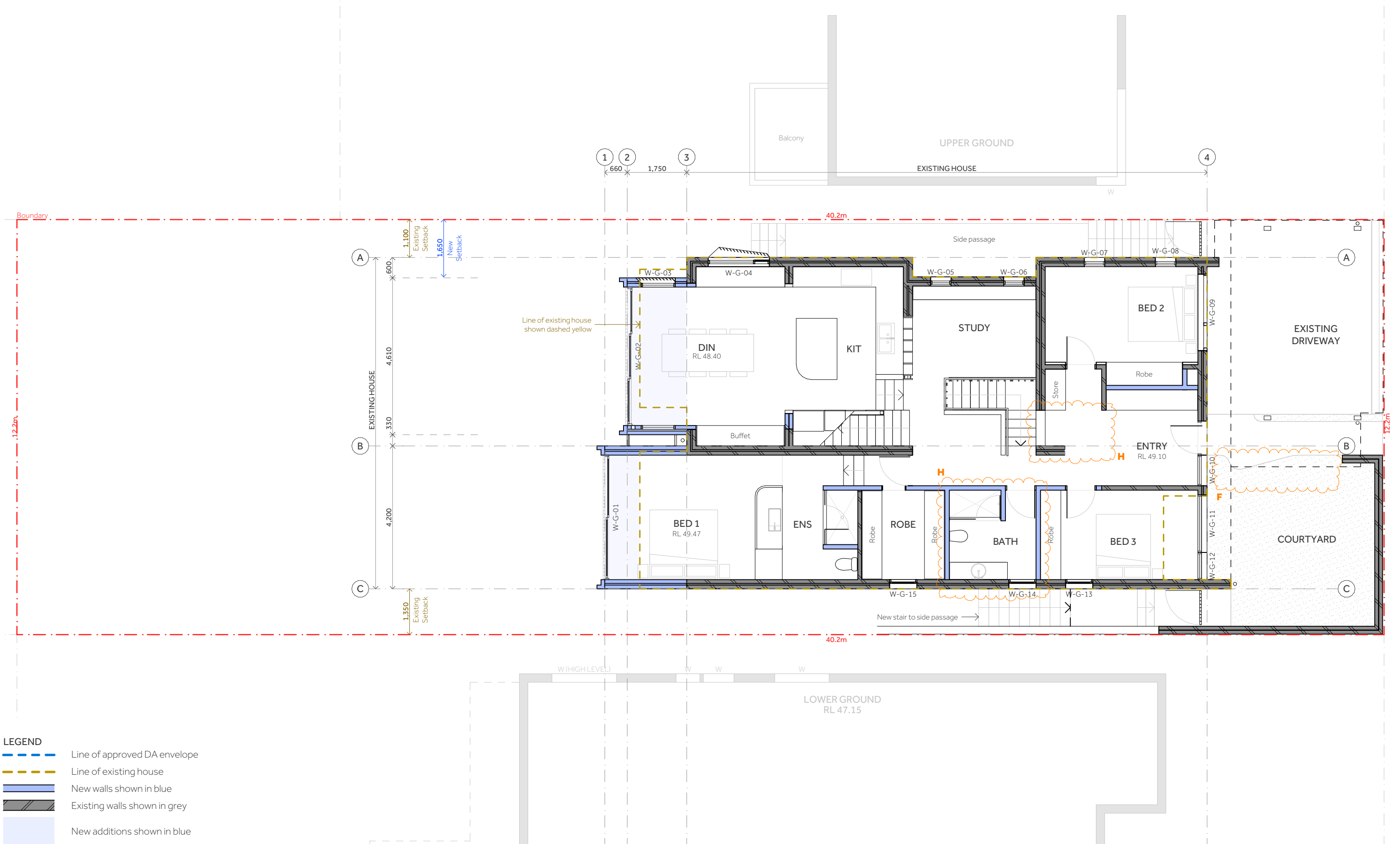
LIST OF PROPOSED MODIFICATIONS

- a) Removal of proposed new pool (retain existing)
- b) Removal of proposed new car port (retain existing)
- c) Removal of proposed pergola and associated structure over Level 1 balcony
- d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
- e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- f) Removal of fence and gate to Front Courtyard
- g) Proposed new lower ground terrace replaced with new timber deck and stair
- h) Minor internal layout changes including associated changes to windows on elevations
- i) Material change to rear extension from brick to fibre cement VJboard cladding
- j) Landscaping modifications throughout including reduced rear garden level

project Alterations & Additions
address 21 Moore Street
client Rod & Natalie Pindar

Do not scale these drawings. Verify all dimensions on site.

title Lower Level Plan
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-09
issue B



Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

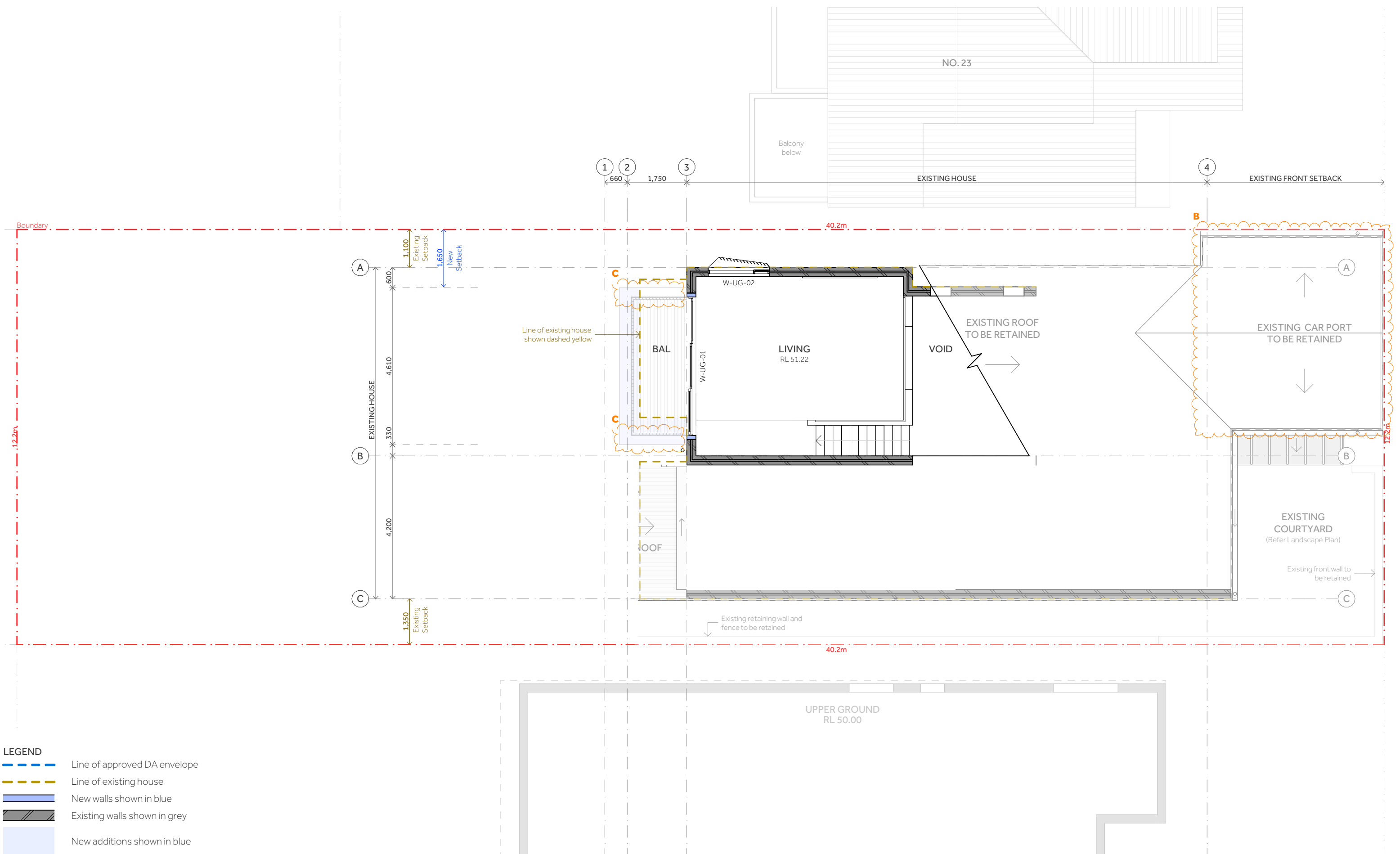
LIST OF PROPOSED MODIFICATIONS

- Removal of proposed new pool (retain existing)
- Removal of proposed new car port (retain existing)
- Removal of proposed pergola and associated structure over Level 1 balcony
- Removal of proposed new roof lining, solar PV and skylights (retain existing)
- Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- Removal of fence and gate to Front Courtyard
- Proposed new lower ground terrace replaced with new timber deck and stair
- Minor internal layout changes including associated changes to windows on elevations
- Material change to rear extension from brick to fibre cement VJboard cladding
- Landscaping modifications throughout including reduced rear garden level

project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title
scale
date
drawing no.
issue

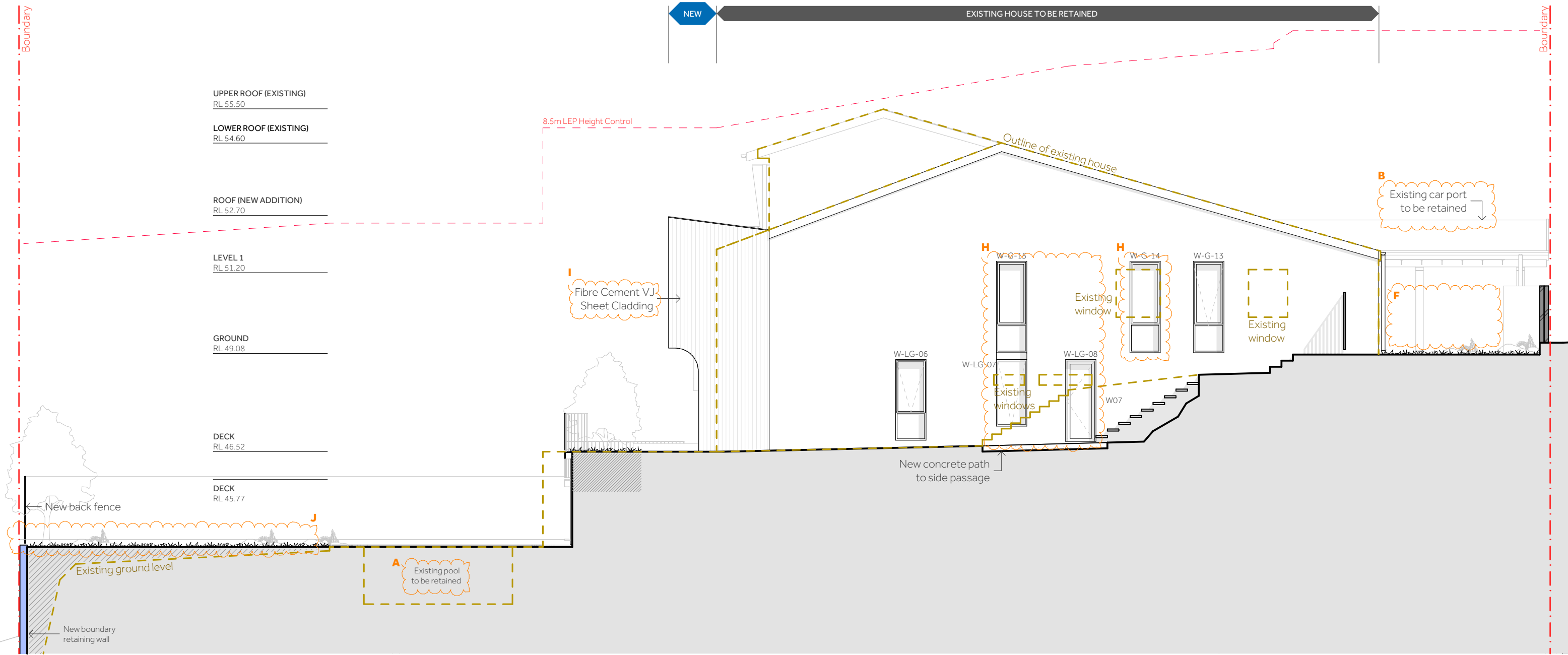
Ground Level Plan
1:100 @ A3
11 November 2024
DA-10
B



Natalie Sciberras

Architecture and Interior Design

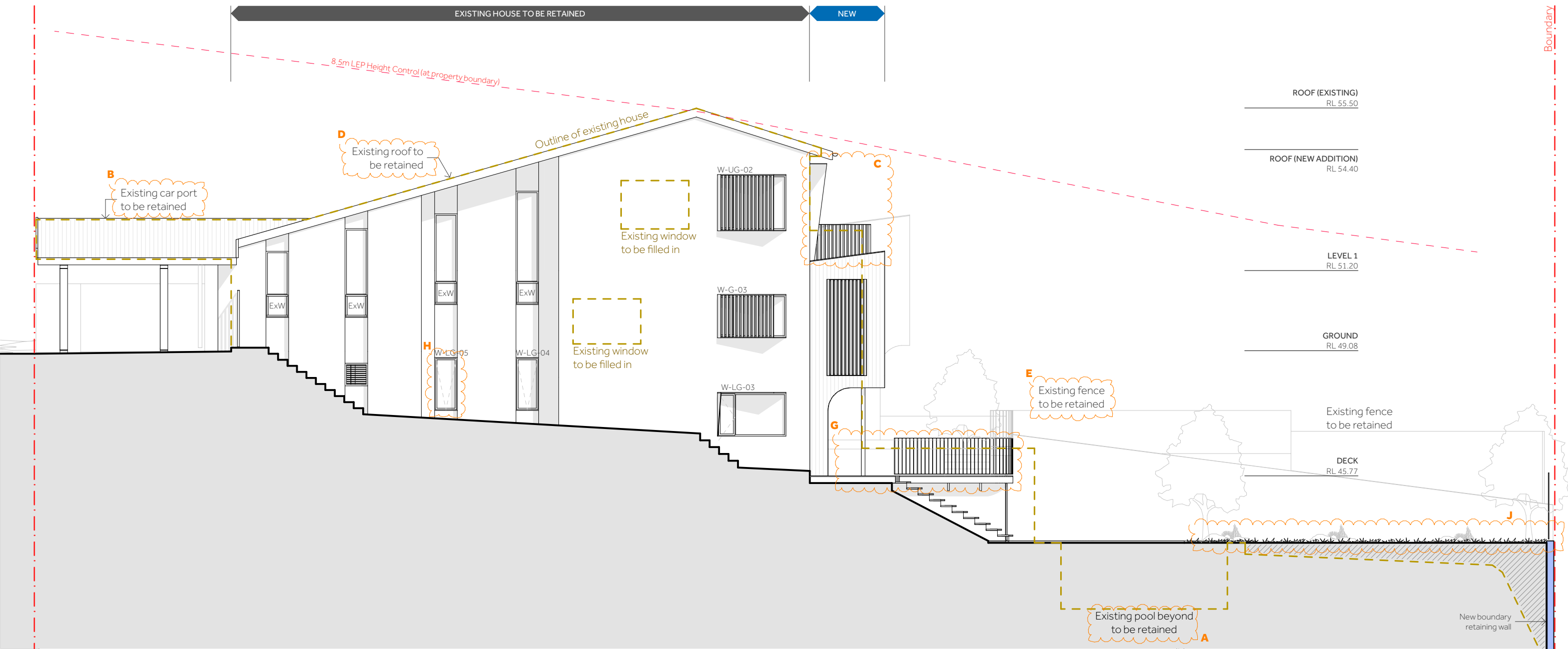
m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com



LEGEND

- Outline of approved DA envelope
- Outline of existing house
- Existing house shown in yellow
- New additions shown in blue

Natalie Sciberras Architecture and Interior Design m 0410 605 357 w www.nataliesciberras.com e natalie@nataliesciberras.com	LIST OF PROPOSED MODIFICATIONS a) Removal of proposed new pool (retain existing) b) Removal of proposed new car port (retain existing) c) Removal of proposed pergola and associated structure over Level 1 balcony d) Removal of proposed new roof lining, solar PV and skylights (retain existing) e) Removal of new fencing and retaining walls to the eastern boundary (retain existing) f) Removal of fence and gate to Front Courtyard g) Proposed new lower ground terrace replaced with new timber deck and stair h) Minor internal layout changes including associated changes to windows on elevations i) Material change to rear extension from brick to fibre cement VJ board cladding j) Landscaping modifications throughout including reduced rear garden level	project Alterations & Additions address 21 Moore Street Clontarf client Rod & Natalie Pindar Do not scale these drawings. Verify all dimensions on site.	title East Elevation scale 1:100 @ A3 date 11 November 2024 drawing no. DA-12 issue B
---	--	---	--



Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

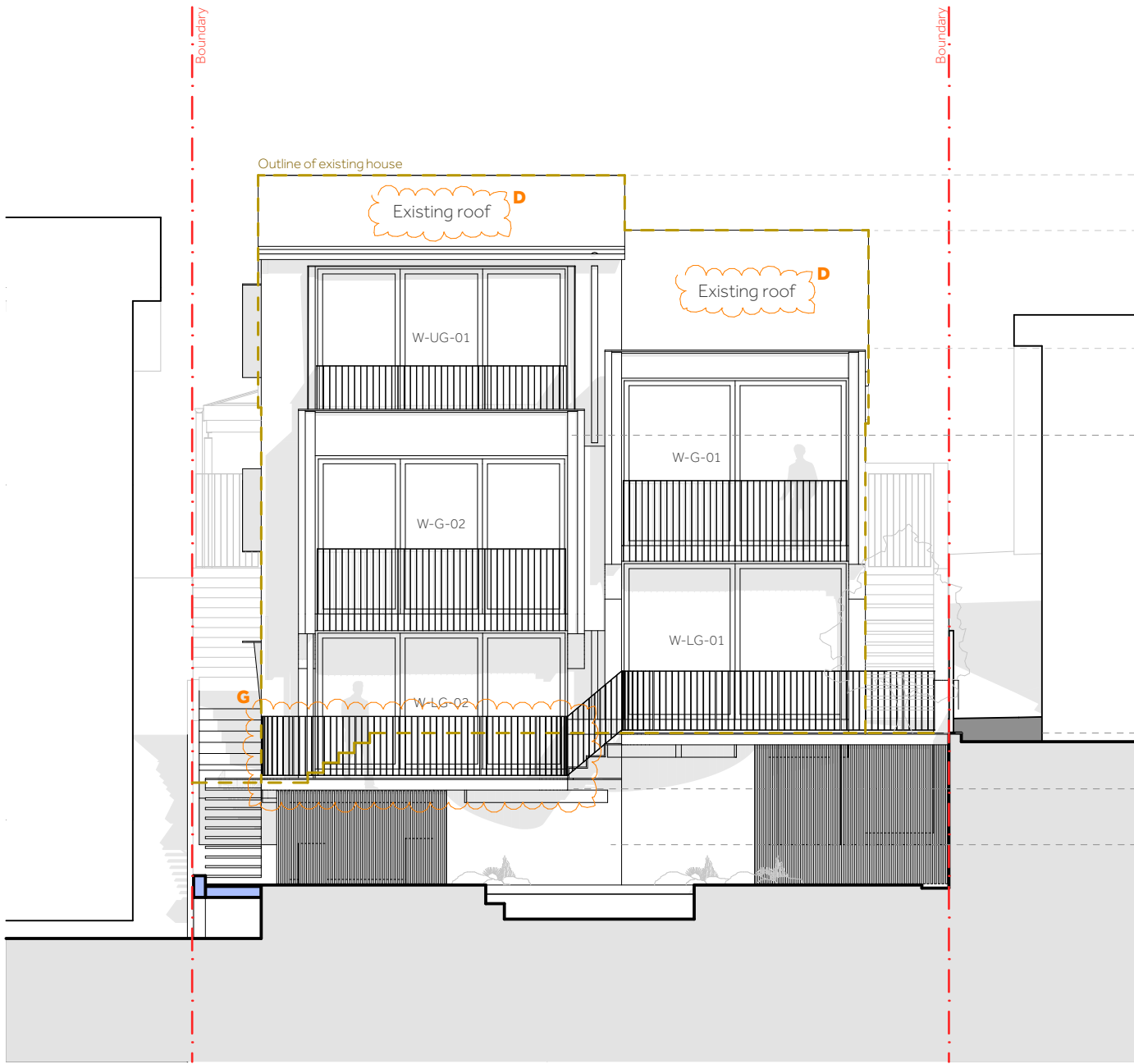
LIST OF PROPOSED MODIFICATIONS

- Removal of proposed new pool (retain existing)
- Removal of proposed new car port (retain existing)
- Removal of proposed pergola and associated structure over Level 1 balcony
- Removal of proposed new roof lining, solar PV and skylights (retain existing)
- Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- Removal of fence and gate to Front Courtyard
- Proposed new lower ground terrace replaced with new timber deck and stair
- Minor internal layout changes including associated changes to windows on elevations
- Material change to rear extension from brick to fibre cement VJ board cladding
- Landscaping modifications throughout including reduced rear garden level

project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title
scale
date
drawing no.
issue

West Elevation
1:100 @ A3
11 November 2024
DA-13
B



South Elevation

LEGEND

- Outline of approved DA envelope
- Outline of existing house
- Existing house shown in yellow
- New additions shown in blue

- UPPER ROOF (EXISTING)
RL 55.50
- LOWER ROOF (EXISTING)
RL 54.60
- ROOF (NEW ADDITION)
RL 52.70
- LEVEL 1
RL 51.20
- GROUND
RL 49.08
- DECK
RL 46.52
- TERRACE
RL 45.62
- LAWN
RL 44.70



North Elevation

Natalie Sciberras

Architecture and Interior Design

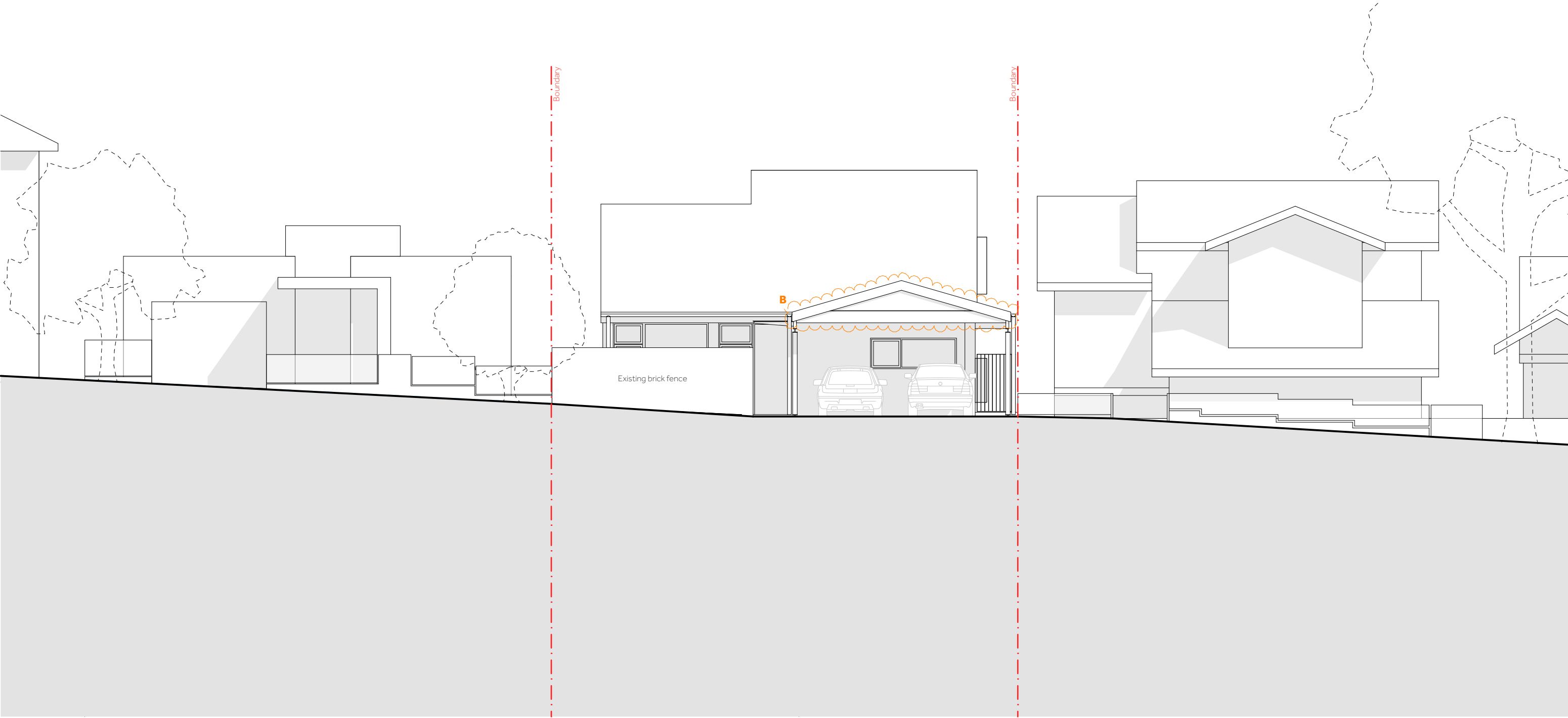
m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

- LIST OF PROPOSED MODIFICATIONS**
- a) Removal of proposed new pool (retain existing)
 - b) Removal of proposed new car port (retain existing)
 - c) Removal of proposed pergola and associated structure over Level 1 balcony
 - d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
 - e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
 - f) Removal of fence and gate to Front Courtyard
 - g) Proposed new lower ground terrace replaced with new timber deck and stair
 - h) Minor internal layout changes including associated changes to windows on elevations
 - i) Material change to rear extension from brick to fibre cement VJ board cladding
 - j) Landscaping modifications throughout including reduced rear garden level



project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title North & South Elevation
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-14
issue B



Natalie Sciberras

Architecture and Interior Design

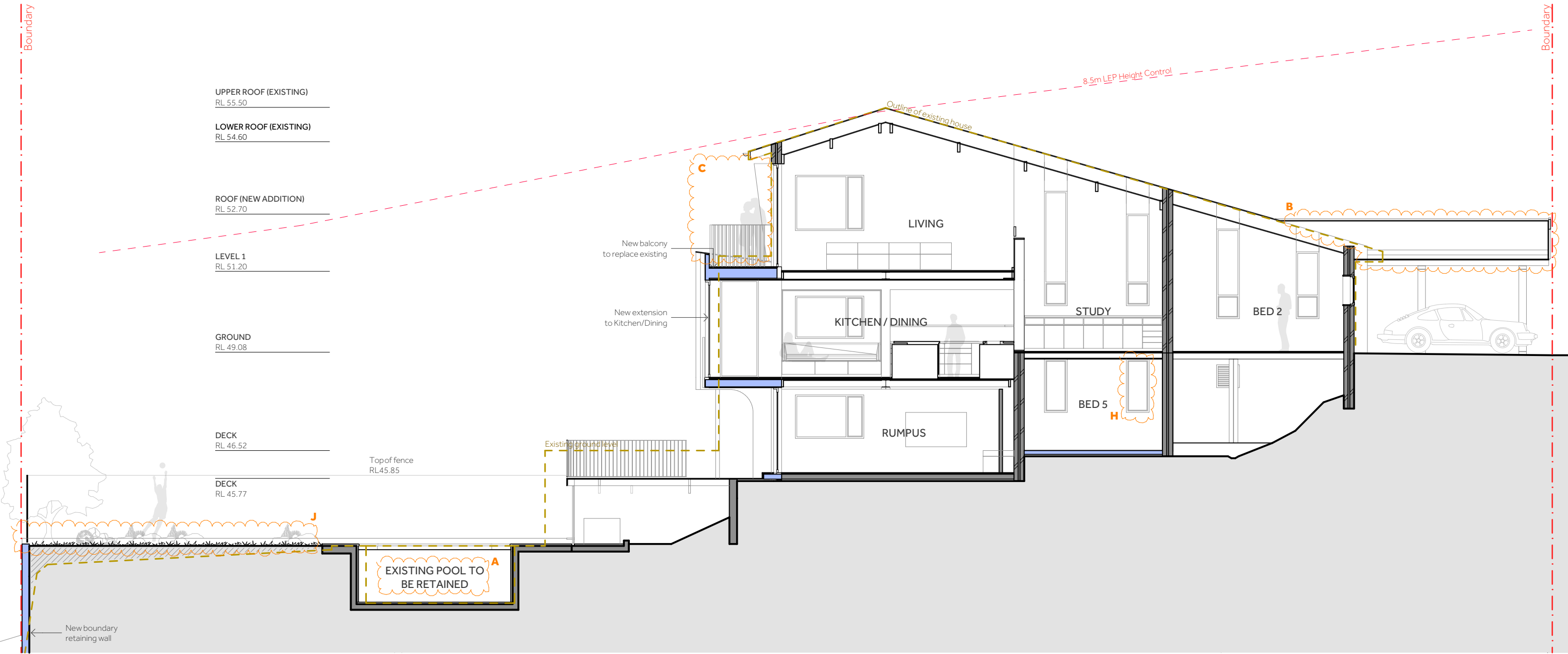
m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

- LIST OF PROPOSED MODIFICATIONS
- a) Removal of proposed new pool (retain existing)
 - b) Removal of proposed new car port (retain existing)
 - c) Removal of proposed pergola and associated structure over Level 1 balcony
 - d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
 - e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
 - f) Removal of fence and gate to Front Courtyard
 - g) Proposed new lower ground terrace replaced with new timber deck and stair
 - h) Minor internal layout changes including associated changes to windows on elevations
 - i) Material change to rear extension from brick to fibre cement VJboard cladding
 - j) Landscaping modifications throughout including reduced rear garden level



project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title Street Elevation
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-15
issue B



LEGEND

Outline of approved DA envelope

Outline of existing house

Existing house shown in yellow

New additions shown in blue

New walls shown in blue

Existing walls shown in grey

Natalie Sciberras

Architecture and Interior Design

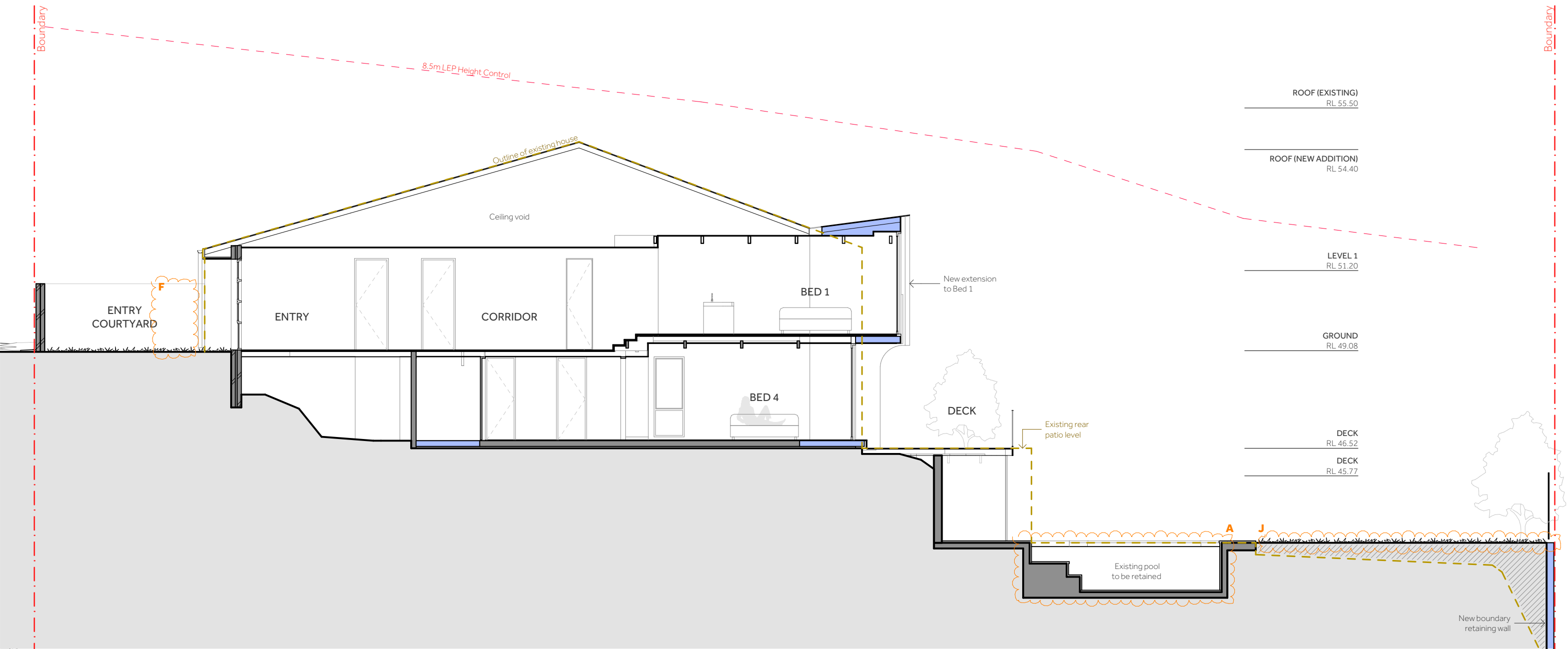
m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

- LIST OF PROPOSED MODIFICATIONS**
- a) Removal of proposed new pool (retain existing)
 - b) Removal of proposed new car port (retain existing)
 - c) Removal of proposed pergola and associated structure over Level 1 balcony
 - d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
 - e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
 - f) Removal of fence and gate to Front Courtyard
 - g) Proposed new lower ground terrace replaced with new timber deck and stair
 - h) Minor internal layout changes including associated changes to windows on elevations
 - i) Material change to rear extension from brick to fibre cement VJ board cladding
 - j) Landscaping modifications throughout including reduced rear garden level



project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title Section AA
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-16
issue B



LEGEND

Outline of approved DA envelope

Outline of existing house

Existing house shown in yellow

New additions shown in blue

New walls shown in blue

Existing walls shown in grey

- LIST OF PROPOSED MODIFICATIONS
- a)

Removal of proposed new pool (retain existing)
- b)

Removal of proposed new car port (retain existing)
- c)

Removal of proposed pergola and associated structure over Level 1 balcony
- d)

Removal of proposed new roof lining, solar PV and skylights (retain existing)
- e)

Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- f)

Removal of fence and gate to Front Courtyard
- g)

Proposed new lower ground terrace replaced with new timber deck and stair
- h)

Minor internal layout changes including associated changes to windows on elevations
- i)

Material change to rear extension from brick to fibre cement VJ board cladding
- j)

Landscaping modifications throughout including reduced rear garden level



project

Alterations & Additions

address

21 Moore Street

Clontarf

Rod & Natalie Pindar

client

Do not scale these drawings. Verify all dimensions on site.

title

scale

date

drawing no.

issue

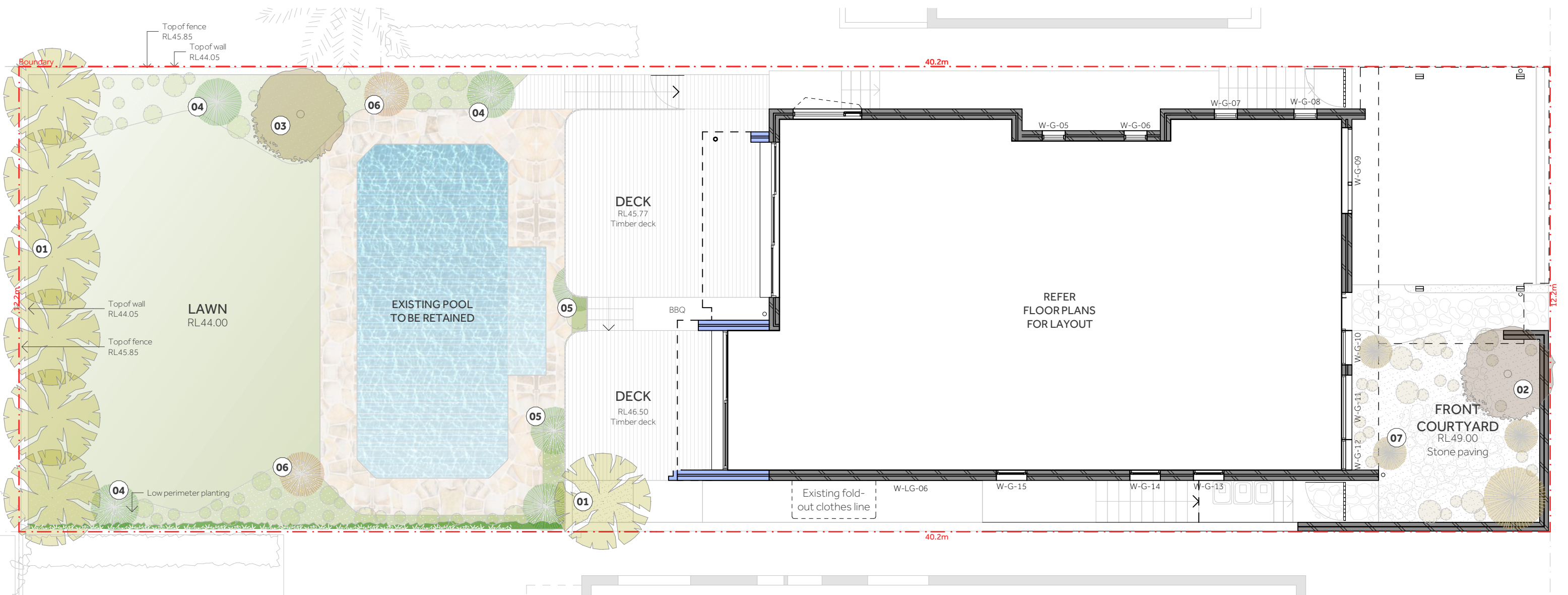
Section BB

1:100 @ A3

11 November 2024

DA-17

B



FEATURE PLANTS

01	<i>Dypsis Lutescens</i>	Golden Cane Palm	45 Ltr	3-4m	7
02	<i>Banksia Serrata</i>	Saw ToothBanksia	25 Ltr	6m	3
03	<i>Chamaerops Humilis</i>	Fan Palm	100 Ltr	2-3m	1
04	<i>Doryanthes Palmeri</i>	Giant Spear Lily	200mm	1m	6
05	<i>Cycas Revoluta</i>	Cycad	200mm	<1m	3
06	<i>Alcantarea Imperialis</i>	Imperial Bromeliad	200mm	<1m	2
07	<i>Cuasarina Glauca</i>	Green Wave	200mm	<1m	20

* Golden Cane Palms to be used as hedging and maintained at a maximum of 3-4m

REAR GARDEN

<i>Leucophyta Brownii</i>	Cushion Bush	200mm	<1m	10
<i>Westringia Fruticosa</i>	Native Rosemary	200mm	<1m	6
<i>Senecio Mandraliscae</i>	Blue Chalksticks	200mm	<1m	30
<i>Senecio Taliniodes</i>	Narrow Leaf Chalksticks	200mm	0.4	10
<i>Zoysia Tenuifolia</i>	Long growing grass	200mm	<1m	10

FRONT COURTYARD

<i>Senecio Mandraliscae</i>	Blue Chalksticks	200mm	<1m	20
<i>Cotyledon rbiculata</i>	Pig's ear	200mm	<1m	10
<i>Agave</i>	Blue Glow	200mm	<1m	4
<i>Agave Angustifolia</i>	Caribbean Agave	200mm	<1m	2
<i>Sedum Mexicanum</i>	Gold Mound	200mm	<1m	8
<i>Zoysia Tenuifolia</i>	Long growing grass	200mm	<1m	10
<i>Kalanchoe Tomentosa</i>	Panda Plant	200mm	<1m	6
<i>Agave Geminiflora</i>	TwinFlower Agave	200mm	<1m	2



Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

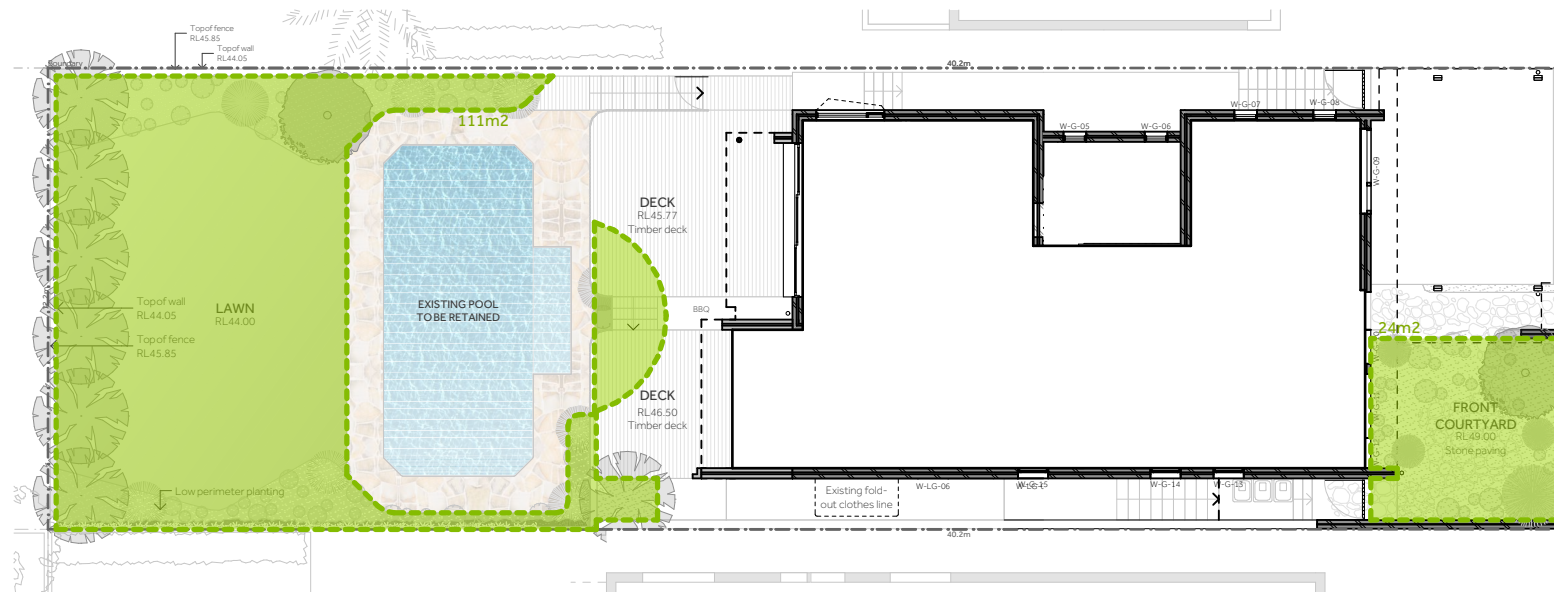
LIST OF PROPOSED MODIFICATIONS

- a) Removal of proposed new pool (retain existing)
- b) Removal of proposed new car port (retain existing)
- c) Removal of proposed pergola and associated structure over Level 1 balcony
- d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
- e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- f) Removal of fence and gate to Front Courtyard
- g) Proposed new lower ground terrace replaced with new timber deck and stair
- h) Minor internal layout changes including associated changes to windows on elevations
- i) Material change to rear extension from brick to fibre cement VJboard cladding
- j) Landscaping modifications throughout including reduced rear garden level

project Alterations & Additions
address 21 Moore Street
client Clontarf
Rod & Natalie Pindar

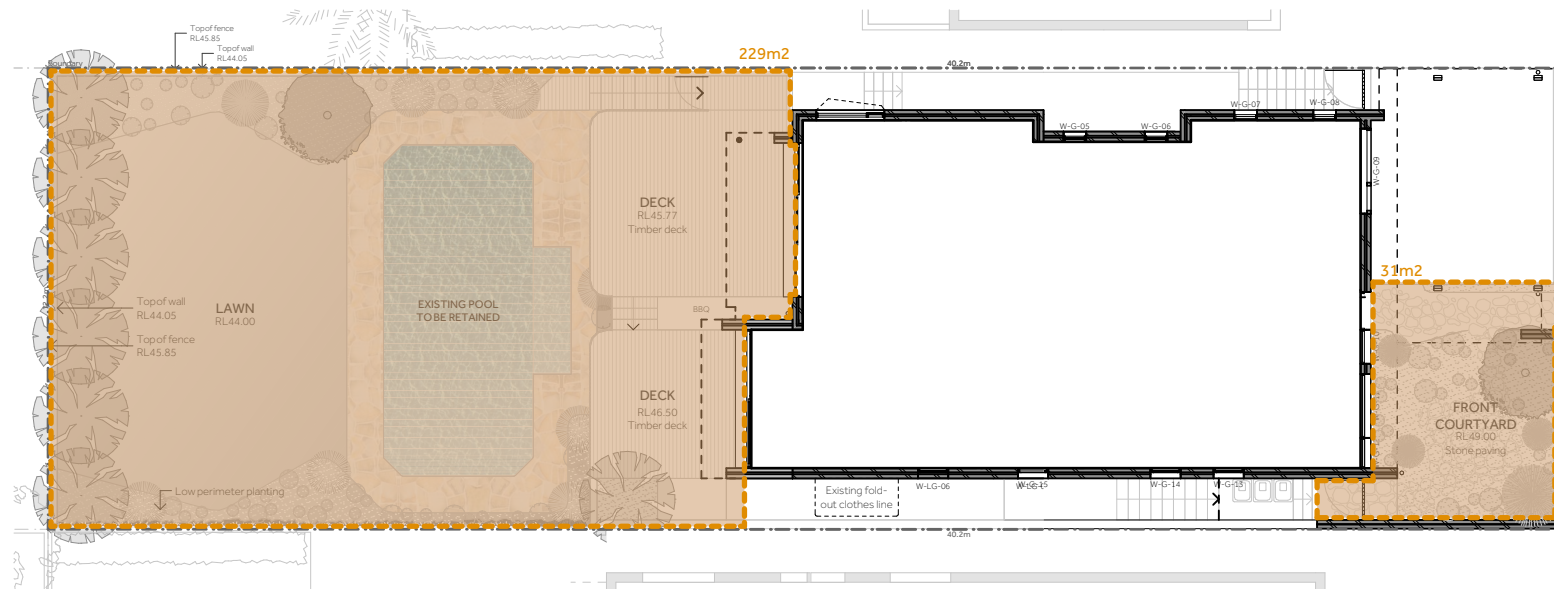
Do not scale these drawings. Verify all dimensions on site.

title Landscape Plan
scale 1:100 @ A3
date 16 January 2024
drawing no. DA-18
issue C



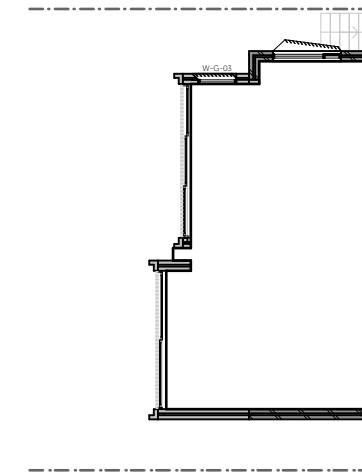
Landscaped Area

Totallandscaped area = 135m2

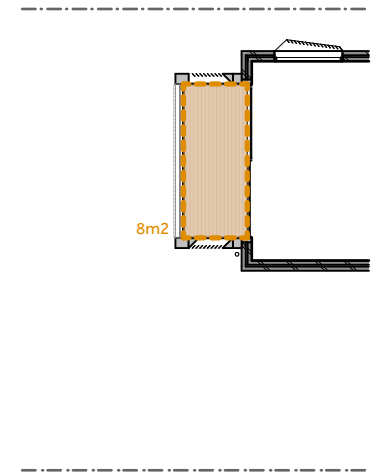


Open Space

Open space (on-grade) = 260m2
Open space (balconies) = 8m2
Total open space = 268m2



Open Space (Upper Ground)



Open Space (Level 1)

Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

LIST OF PROPOSED MODIFICATIONS

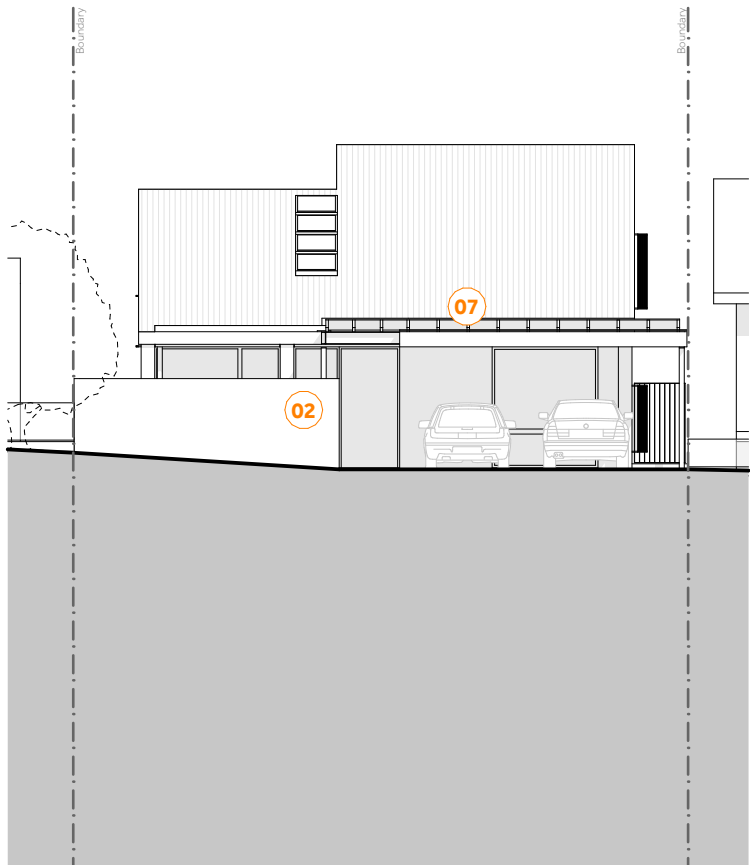
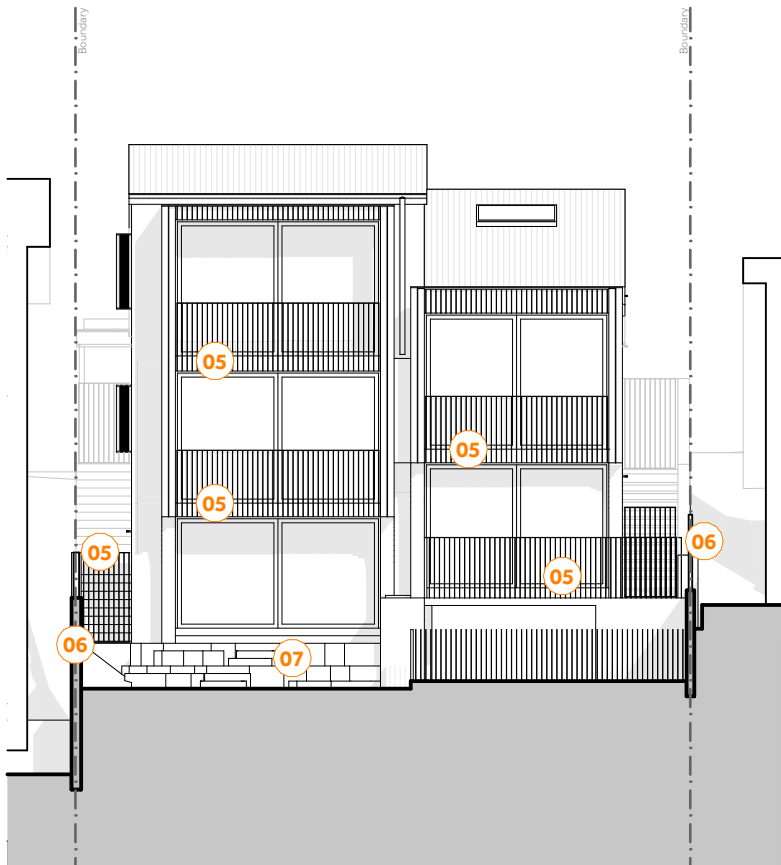
- a) Removal of proposed new pool (retain existing)
- b) Removal of proposed new car port (retain existing)
- c) Removal of proposed pergola and associated structure over Level 1 balcony
- d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
- e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- f) Removal of fence and gate to Front Courtyard
- g) Proposed new lower ground terrace replaced with new timber deck and stair
- h) Minor internal layout changes including associated changes to windows on elevations
- i) Material change to rear extension from brick to fibre cement VJboard cladding
- j) Landscaping modifications throughout including reduced rear garden level



project Alterations & Additions
address 21 Moore Street
Clontarf
client Rod & Natalie Pindar
Do not scale these drawings. Verify all dimensions on site.

title
scale
date
drawing no.
issue

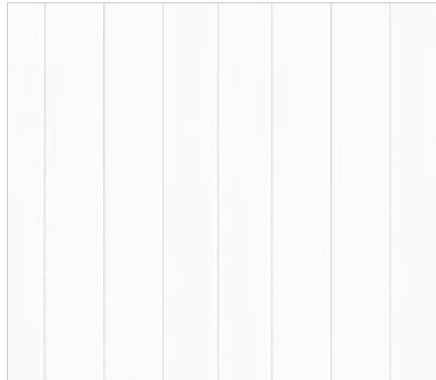
Landscape Area Summary
1:200 @ A3
11 November 2024
DA-19
B



01

Material: VJBoard Cladding
Colour: White

VJBoard Cladding (James Hardie Scyon Axon or similar) is proposed for the new rear addition. A light colour (white) is proposed to minimise solar heat gain and present a colour palette consistent with a coastal aesthetic.



02

Material: Painted brickwork
Colour: White

The existing house comprises painted brick facades which are to be retained. This materiality will be continued through various internal and external parts of the proposed alterations and additions.



03

Material: Hardwood timber
Colour: Natural oil finish

Certain elements of the new rear addition are proposed to be hardwood timber boards to provide a warm, natural aesthetic. These areas include all balcony floor decking and soffit cladding.



04

Material: Painted steel balustrade
Colour: White

Gates and fencing is proposed to be steel flat bar with a durable white paint finish. This is in keeping with a coastal aesthetic and allows high visibility through to showcase plants and landscaping.



05

Material: Hardwood timber fencing
Colour: Natural oil finish

Side perimeter fencing is proposed to be hardwood timber with a natural oil finish. This is in keeping with the recently constructed fencing to No. 19 adjacent and provides a natural backdrop to perimeter planting.



06

Material: Stone Paving
Colour: Limestone

Front and rear paving is proposed to be Limestone crazy-paving. Limestone is durable and hardwearing and combined with the landscape design contributes to the overall natural, coastal aesthetic.



07

Material: Polycarbonate
Colour: Clear

Polycarbonate sheeting is proposed to be used for the roof of the new car port. The use of a translucent material will allow additional light into the front of the house and the north-facing window to Bed 2.



Natalie Sciberras

Architecture and Interior Design

m 0410 605 357
w www.nataliesciberras.com
e natalie@nataliesciberras.com

LIST OF PROPOSED MODIFICATIONS

- a) Removal of proposed new pool (retain existing)
- b) Removal of proposed new car port (retain existing)
- c) Removal of proposed pergola and associated structure over Level 1 balcony
- d) Removal of proposed new roof lining, solar PV and skylights (retain existing)
- e) Removal of new fencing and retaining walls to the eastern boundary (retain existing)
- f) Removal of fence and gate to Front Courtyard
- g) Proposed new lower ground terrace replaced with new timber deck and stair
- h) Minor internal layout changes including associated changes to windows on elevations
- i) Material change to rear extension from brick to fibre cement VJboard cladding
- j) Landscaping modifications throughout including reduced rear garden level

project

Alterations & Additions

address

21 Moore Street

Clontarf

client

Rod & Natalie Pindar

Do not scale these drawings. Verify all dimensions on site.

title

Schedule of Materials, Colours & Finishes

scale

1:150 @ A3

date

11 November 2024

drawing no.

DA-24

issue

B