

23 Jan 25

**286 Sydney Rd Balgowlah
Stormwater Drainage**

This document is provided in support of Section 8.2 . . . Application for Review of Decision by Consent Authority, under the Environmental Planning and Assessment Act 1979.

References

- A. 16 December Covering Letter to Notice of Determination
- B. Northern Beaches Council DA Assessment report under cover of Ref A letter dated 16 Dec 24
- C. TfNSW SYD24/01653/03 dated 20 Jan 25 concurring to driveway and stormwater discharge to Sydney Rd
- D. Submission to TfNSW dated 27 Dec 24 (11 pages) Sect 1 Driveway Sect 2 Storm water drainage – Proposed discharge to Sydney Rd gutter
- E. Submission to TfNSW 9 Jan 25 Storm water drainage – Proposed discharge to Sydney Rd gutter (supplementary to Ref D above)
- F. TfNSW letter dated 4 October 2024 Reference: SYD24-01653
- G. Drawing: SW01 Rev F Stormwater Drainage Management
- H. Drawing: SW02 Rev E(1) Stormwater Schematic
- I. Drawing: C8 Rev A Driveway Plan and Sections
- J. Drawing: C9 Rev A Driveway Details

The background to this Section 8.2 submission includes the following stormwater related matters . .

- a. Applicant purchases the property at 286 Sydney Rd on the understanding that a Stormwater easement is available on the northern boundary of the property, there being no Section 10.7 advice to the contrary
- b. Original DA questioned by council in terms of using stormwater easement shown on land title. Applicant responds without knowing (at that stage) that the easement is not available.
- c. Council advises that stormwater easement is not available and that other stormwater disposal methods must be pursued in order of preference shown in council Water Management Development Policy . . . i.e. . . .
 - Stage 1 Exhaustive search for Inter-allotment drainage solution
 - Stage 2 On site absorption system
 - Stage 3 Level spreader
- d. Owner seeks a response from owners at 284 Sydney Rd and 31 Boyle St, as to whether an easement may be negotiated. (knowing that a gravitating easement through 31 Boyle St was not viable because the building on that site is on the boundary . . and . . noting that 31 Boyle Street drainage is, according to the owner, partly drained by pump out). Owner at 284 Sydney Rd advises ‘no’ on council proforma. Owner at 31 does not agree to discuss the matter or to respond with council proforma
- e. On the basis of TfNSW letter (Ref F) and TfNSW telephone advice, Engineer makes application to TfNSW for approval to discharge roof water to Sydney Rd. (Ref D) . . based on design drawings SW01 Rev F and SW02 Rev E.
- f. TfNSW responds (Ref C) concurring to the proposal *“TfNSW has reviewed the submitted information and will provide concurrence to the proposed driveway, kerb and gutter works and stormwater drainage works on Sydney Road under Section 138 of the Roads Act 1993”*

Note. At no stage since Nov 24 has any telephone call to Jordan Howard (council planner) or Uma Shanmugalingam (council engineer) ever been returned i.e. calls made seeking discussion as to how council satisfaction might be achieved on the stormwater issues have never been returned.

Request for review

Taking, in particular, items c., d. and f. above into account, and on the basis of drawings

- SW01 Rev F Stormwater Drainage Management (Ref G) and
- SW02 Rev E(1) Stormwater Schematic (Ref H)

It is requested that the consent authority reviews the stormwater drainage plan for this property.

In terms of the process set out in section 5.5.1.1 of Water Management for Development Policy . .the following comments apply

5.5.1.1.1 Stage 1 – Inter-Allotment Drainage Easements

This stage was pursued without success as outlined in para d. above. A separate survey was carried out to find out where a drain pipe from the rear of 286 Sydney Rd (RL41.36), at a fall of 2%, would break out to the Boyle St gutter. The result is that a break out point (at RL 40.44) would be in front of 33 Boyle with more than 17m of trenching in the nature strip through rock. Part of the trench would be 3m deep on 284 Sydney Rd.

5.5.1.1.2 Stage 2 – Onsite Stormwater Absorption

The hydraulic conductivity of the site soil at the rear of 286 Sydney Rd is estimated at about 0.12m /day.

At that rate, an absorption system alone, would not be viable, but could nevertheless contribute to the distribution of runoff, along with a discharge control pit and spreader. This is what is now shown on both SW01 and SW02 (attached)

5.5.1.1.3 Stage 3 – Level Spreader

A combination of absorption and spreader shown on SW01 and SW02 (attached).

Critics of the proposed system could consider a comparison between

- the proposed system of roof run off to the street and other runoff to an absorption pond area with spreader, . . and
- leaving the property as it has been for the last 80 years or more (status quo), with the total property area draining in an uncontrolled manner to the north.

Clearly, the proposed system is the best that is available, and, for neighbouring properties would be a great improvement on the status quo . . (doing nothing and leaving the property as it has been for at least 80 years)

5.5.1.1.4 Stage 4 – Other Methods

On the basis of what has apparently been allowed on 31 Boyle St, pump out of collected surface water from the rear of the property, to Sydney Rd may be considered with council support . . . but the council policy does not include 'Pump Out' , presumably because it relies on the continuity of power supply.



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Attached (to email)

- Ref D Submission to TfNSW dated 27 Dec 24 (11 pages) Sect 1 Driveway Sect 2 Storm water drainage – Proposed discharge to Sydney Rd gutter
- Ref E Submission to TfNSW 9 Jan 25 Storm water drainage – Proposed discharge to Sydney Rd gutter
- Ref G Drawing: SW01 Rev F Stormwater Drainage Management
- Ref H. Drawing: SW02 Rev E(1) Stormwater Schematic
- Ref I Drawing: C8 Rev A Driveway Plan and Sections
- Ref J Drawing: C9 Rev A Driveway Details

Feb 25

286 Sydney Rd Balgowlah**Captioned Images in support of Sect 8.2 submission**

From: DYPXCPWEB@northernbeaches.nsw.gov.au
Sent: 14/11/2024 3:46:06 PM
To: DA Submission Mailbox
Subject: Online Submission

14/11/2024

MR Domenico PARIS
2 / 103 - 2 SEAFORTH CRES
SEAFORTH NSW 2092

RE: DA2024/1201 - 286 Sydney Road BALGOWLAH NSW 2093

I refer to this application. I am only responding now because I only just recently received Council's notification letter.

I am the Owner of 31 Boyle Street that is directly behind the proposed development. The Applicant has proposed to access an alleged easement over 31 Boyle St. Currently ground storm water on our property is collected on a pit and pumped to Boyle St. Does the applicant intend to access this? The pit was designed for neighbouring properties. Where will the stormwater go? Will they require access through 33 Boyle, 35 Boyle etc etc.. Surely a pump out system pumping to Sydney Road for ground water would be a better solution. Roof stormwater could be fed to Sydney road by gravity.

Fig 1. Letter to Council – from 31 Boyle Owner – states that stormwater discharge is via Pump Out – Fig 4 below shows roof downpipes (on the boundary) discharging to pipework which apparently feeds to the pump out tank

From: DYPXCPWEB@northernbeaches.nsw.gov.au
Sent: 2/12/2024 1:13:56 PM
To: DA Submission Mailbox
Subject: Online Submission

02/12/2024

MR Matthew McKenzie
2 / 31 Boyle ST
BALGOWLAH NSW 2093

RE: DA2024/1201 - 286 Sydney Road BALGOWLAH NSW 2093

I am the Owner and Resident of 31A (2/31) Boyle St - the property directly behind and downhill from the proposed development. In The Applicant's proposed storm water management plans, there is plans to access an alleged easement under 31 Boyle St.

To manage storm water on our property (31 Boyle St), a storm water pit tank with pump system to Boyle is used. This system was designed and implemented to divert rain and storm water from flowing to neighbouring down hill properties.

Questions regarding this proposed development storm water management are as follows:

- 1) Is our rainwater pit and pump what The Applicant is intending to access and use?
- 2) Or is there another easement at 33 and 35 Boyle St that they intend to access? How will this be done without damage or disruption to 31 Boyle St?
- 3) Is a pit and pump out system, on 286 Sydney Rd, pumping ground water run to Sydney Road a better solution with roof storm water fed to Sydney road by gravity?

Fig 2. Letter to Council – from 31A Boyle Owner – states that stormwater discharge is via Pump Out to Boyle St – Fig 4 below shows roof downpipes (on the boundary) discharging to pipework which apparently feeds to the pump out tank



Fig 3. This is the wall on the southern boundary of 31 Boyle. Repeat . . this wall is on the boundary. It precludes a conventional easement from 286 Sydney Rd through to Boyle St

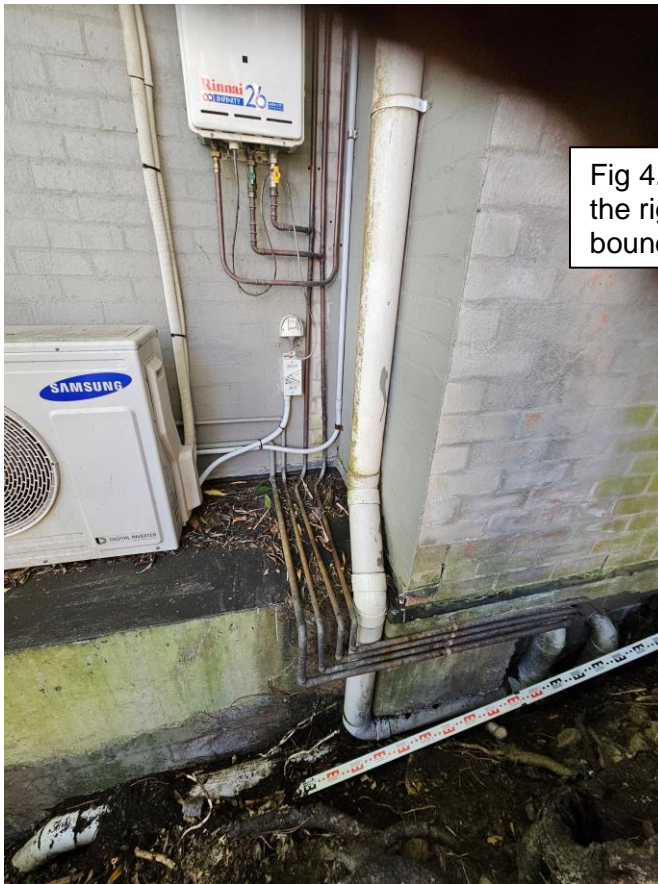


Fig 4. South side of 31 Boyle St. The wall to the right of the down pipe is on the southern boundary of 31 Boyle.

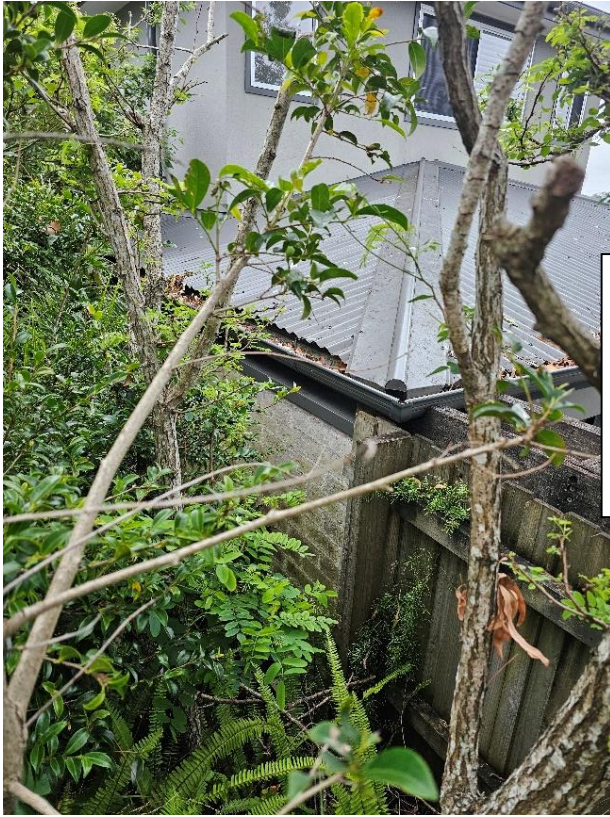


Fig 5. South side of 31 Boyle St. The wall is on the southern boundary of 31 Boyle. The boundary fence (out to Boyle St) abuts the south eastern corner of brick walling on 31 Boyle.

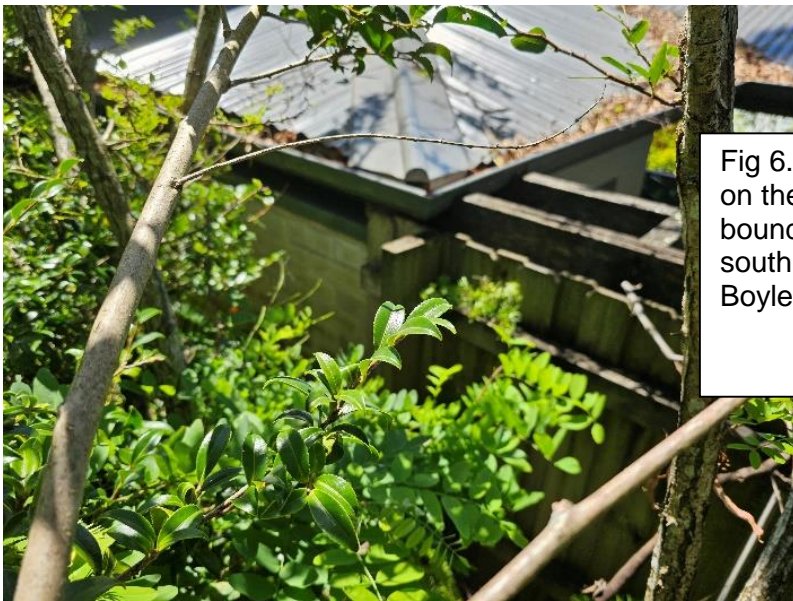


Fig 6. South side of 31 Boyle St. The wall is on the southern boundary of 31 Boyle. The boundary fence (out to Boyle St) abuts the south eastern corner of brick walling on 31 Boyle.

Fig 7. Taken from Boyle St looking along the boundary between 31 Boyle and 284 Sydney Rd

The 31 Boyle building wall is on the southern boundary of 31 Boyle, hidden by foliage. See Fig 8 below – taken just north of Fig 7.



Fig 8. Taken from Boyle St just north of the boundary between 31 Boyle and 284 Sydney Rd

The boundary fence and retaining wall (out to Boyle St) abuts the south eastern corner of brick walling on 31 Boyle.

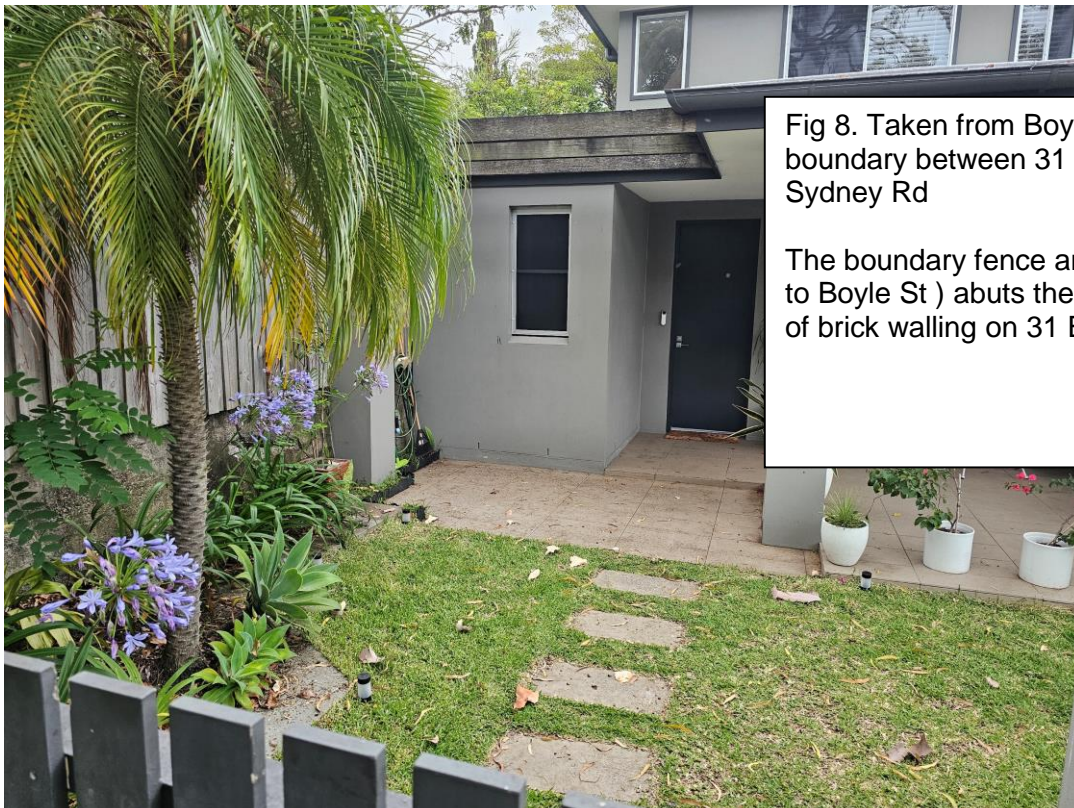




Fig 9. Looking west along driveway access to 31 and 31A Boyle St . . showing how the property falls away from the Street . . requiring stormwater to be pumped out to the Boyle St kerb.



Fig 10 Google St view looking west taking in same view as Fig 8 and 9. Pump out discharge to kerb from 31 Boyle and 31A Boyle is shown at Boyle St kerb behind grey car





Fig 11 Google St view looking west taking in same view as Fig 8 and 9. Showing boundary fence and south eastern corner of building on 31 Boyle St – located on the boundary with 284 Sydney Rd



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