

22 June 2011

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/ Madam

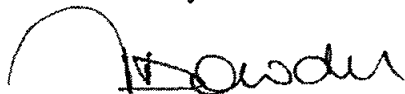
**Determination of Complying Development Certificate Application
80 Irrubel Road, Newport**

For Council's information, please find enclosed Complying Development Certificate No 2011/128CDC issued for minor alterations & additions to an existing dwelling & rear timber deck at the above address, accompanied by

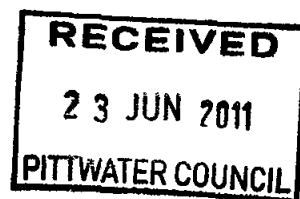
- Copy of Complying Development Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Builder's Home Warranty Insurance
- Cheque for \$30 00 being the prescribed fee to receive the above certificate

NB Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660**

Yours faithfully



Tom Bowden
Insight Building Certifiers Pty Ltd



\$30 REC 303662 23/6/11

Determination of a Complying Development Certificate Application

made under the Environmental
Planning and Assessment Act 1979
Section 85 and 85A

Certificate No 2011/128CDC

Name	Mr Paul & Mrs Stacey Hrobat
Address	80 Irrubel Road Newport NSW 2106
Determination	Approved
Date of issue	22 June 2011
Land to which this certificate applies	
Address	80 Irrubel Road, Newport NSW 2106
Lot, DP No	Lot 8 DP 13746
Land Use Zone	2(a) (Residential A")
Local Government Area	Pittwater
Proposed Development	Minor Alterations & Additions to an Existing Dwelling & Rear Timber Deck
Building Code of Australia Classification	1a & 10b
Estimated cost of work	\$4 500 00
I certify that the proposed development is complying development and that if carried out in accordance with the plans, specifications and attached schedule of conditions will comply with the requirements of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 Part 3 General Housing Code, including the relevant conditions under Division 3, all requirements of the Environmental Planning and Assessment Regulations 2000 concerning the issue of the Certificate and the relevant provisions of the Building Code of Australia The development must be in accordance with 1 Architectural Plans & Construction Specifications reference no. BA15 Drawing no's A1 & A2, prepared by Mitch Clark Drafting Services dated February 2011 2 Structural Detail reference no 27612-S1 prepared & endorsed by Jack Hodgson Consulting dated 15 June 2011 3 Sydney Water approval dated 2 May 2011 4 Bushfire Attack Level (BAL) Assessment prepared by Bushfire Planning Services Pty Ltd dated 20 June 2011 and any other supporting documentation submitted as part of the application Dated 22 JUN 2011 Dated on which this Certificate will lapse 22 JUN 2016 Tom Bowden Registration No BPB0042	

Schedule of Conditions for Complying Development Certificate No 2011/128CDC

Conditions applying before works commence

Protection of adjoining areas

- 1 A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works
 - could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
 - could cause damage to adjoining lands by falling objects, or
 - involve the enclosure of a public place or part of a public place

Toilet facilities

- 1 Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site
- 2 Each toilet must
 - be a standard flushing toilet connected to a public sewer, or
 - have an on-site effluent disposal system approved under the Local Government Act 1993, or
 - be a temporary chemical closet approved under the Local Government Act 1993

Garbage receptacle

- 1 A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed
- 2 The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers

Notification to neighbours

- 1 The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out

Adjoining wall dilapidation report

- 1 If a wall on a lot is to be built to a boundary and there is a wall (the ***adjoining wall***) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall
- 2 If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall
- 3 (3) In this clause

dilapidation report means a report, prepared by a professional engineer, confirming the structural condition of the adjoining wall before the development commences

Conditions applying during the works

Note The Protection of the Environment Operations Act 1997 and the Protection of the Environment Operations (Noise Control) Regulation 2008 contain provisions relating to noise

Hours of construction

- 1 Construction may only be carried out between 7 00 am and 5 00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday

Compliance with plans

- 1 Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates

Sedimentation and erosion controls

- 1 Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped

Maintenance of site

- 1 Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held
- 2 Demolition materials and waste materials must be disposed of at a waste management facility
- 3 The work site must be left clear of waste and debris at the completion of the works

Construction requirements

Staging construction

- 1 If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed
- 2 Any approval that is required for connection to the drainage system under the Local Government Act 1993 must be held before the connection is carried out
- 3 If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained

Utility services

- 1 If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out
-

Further requirements

Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989

- 1 A complying development certificate for development that involves any building work must be issued subject to the following conditions
 - (a) that the work must be carried out in accordance with the requirements of the Building Code of Australia,
 - (b) in the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance must be entered into and be in force before any building work authorised to be carried out by the certificate commences
- 2 A complying development certificate for a temporary structure that is used as an entertainment venue must be issued subject to the condition that the temporary structure must comply with Part B1 and NSW Part H102 of Volume One of the Building Code of Australia (as in force on the date the application for the relevant complying development certificate is made)
- 3 This clause does not limit any other conditions to which a complying development certificate may be subject, as referred to in section 85A (6) (a) of the Act
- 4 This clause does not apply
 - (a) to the extent to which an exemption is in force under clause 187 or 188, subject to the terms of any condition or requirement referred to in clause 187 (6) or 188 (4), or
 - (b) to the erection of a temporary building, other than a temporary structure that is used as an entertainment venue
- 5 In this clause, a reference to the Building Code of Australia is a reference to that Code as in force on the date the application for the relevant complying development certificate is made
Note There are no relevant provisions in the Building Code of Australia in respect of temporary structures that are not entertainment venues

Erection of signs

- 1 A complying development certificate for development that involves any building work, subdivision work or demolition work must be issued subject to a condition that the requirements of subclauses (2) and (3) are complied with
 - 2 A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out
 - (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited
 - 3 Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed
-

Further requirements

Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989

- 1 A complying development certificate for development that involves any building work must be issued subject to the following conditions
 - (a) that the work must be carried out in accordance with the requirements of the Building Code of Australia,
 - (b) in the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance must be entered into and be in force before any building work authorised to be carried out by the certificate commences
- 2 A complying development certificate for a temporary structure that is used as an entertainment venue must be issued subject to the condition that the temporary structure must comply with Part B1 and NSW Part H102 of Volume One of the Building Code of Australia (as in force on the date the application for the relevant complying development certificate is made)
- 3 This clause does not limit any other conditions to which a complying development certificate may be subject, as referred to in section 85A (6) (a) of the Act
- 4 This clause does not apply
 - (a) to the extent to which an exemption is in force under clause 187 or 188, subject to the terms of any condition or requirement referred to in clause 187 (6) or 188 (4), or
 - (b) to the erection of a temporary building, other than a temporary structure that is used as an entertainment venue
- 5 In this clause, a reference to the Building Code of Australia is a reference to that Code as in force on the date the application for the relevant complying development certificate is made
Note There are no relevant provisions in the Building Code of Australia in respect of temporary structures that are not entertainment venues

Erection of signs

- 1 A complying development certificate for development that involves any building work, subdivision work or demolition work must be issued subject to a condition that the requirements of subclauses (2) and (3) are complied with
- 2 A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out
 - (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited
- 3 Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed

- 4 This clause does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building, that does not affect the external walls of the building
- 5 This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws
- 6 This clause applies to a complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date
Note Principal certifying authorities and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100)

Notification of Home Building Act 1989 requirements

- 1 A complying development certificate for development that involves any residential building work within the meaning of the Home Building Act 1989 must be issued subject to a condition that the work is carried out in accordance with the requirements of this clause
- 2 Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information
 - (a) in the case of work for which a principal contractor is required to be appointed
 - (i) the name and licence number of the principal contractor, and
 - (ii) the name of the insurer by which the work is insured under Part 6 of that Act,
 - (b) in the case of work to be done by an owner-builder
 - (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit
- 3 If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the updated information
- 4 This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws

Fulfilment of BASIX commitments

- 1 This clause applies to the following development
 - (a) BASIX affected development,
 - (b) any BASIX optional development in relation to which a person has made an application for a complying development certificate that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 4A of Schedule 1 for it to be so accompanied)

- 2 A complying development certificate for development to which this clause applies must be issued subject to a condition that the commitments listed in each relevant BASIX certificate for the development must be fulfilled

Development involving bonded asbestos material and friable asbestos material

- 1 A complying development certificate for development that involves building work or demolition work must be issued subject to the following conditions
 - (a) work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 318 of the Occupational Health and Safety Regulation 2001,
 - (b) the person having the benefit of the complying development certificate must provide the principal certifying authority with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
 - (c) any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered
- 2 This clause applies only to a complying development certificate issued after the commencement of this clause
- 3 In this clause, bonded asbestos material, bonded asbestos removal work, friable asbestos material and friable asbestos removal work have the same meanings as in clause 317 of the Occupational Health and Safety Regulation 2001
 - Note 1 Under clause 317 removal work refers to work in which the bonded asbestos material or friable asbestos material is removed, repaired or disturbed
 - Note 2 The effect of subclause (1) (a) is that the development will be a workplace to which the Occupational Health and Safety Regulation 2001 applies while removal work involving bonded asbestos material or friable asbestos material is being undertaken
 - Note 3 Information on the removal and disposal of asbestos to landfill sites licensed to accept this waste is available from the Department of Environment, Climate Change and Water
 - Note 4 Demolition undertaken in relation to complying development under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 must be carried out in accordance with Australian Standard AS 2601—2001, Demolition of structures

Condition relating to shoring and adequacy of adjoining property

- 1 A complying development certificate for development must be issued subject to a condition that if the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the certificate must at the person's own expense
 - (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage
- 2 The condition referred to in subclause (1) does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much detail as possible.

Mr ☒ Mrs ☒ Ms ☐ Dr ☐ Other

Given Names (or ACN)

Family Name (or Company)

Paul & Stacey

Hobart

Postal Address (we will post all mail to this address)

80 Irubel Rd

Newport

Post Code 2106

Daytime telephone

Alternate no

Mobile no

0413806459

0421840269

I request this application to be assessed under the following environmental planning instrument:



State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

OR



The Council's Local Environmental Plan or Development Control Plan for Exempt and Complying Development

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Owners Corporation or the appointed Managing Agent.

Owner(s)

Paul & Stacey Hobart

Address

80 Irubel Rd

Newport

As the owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

As the owner(s) I/We also confirm the legal requirements of any covenants (if any) applying to the land are complied with.

Signature(s)

Paul Hobart Stacey Hobart

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (e.g. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no

80

Street name

IRELUBEL RD

Suburb

NEWPORT

Post code

2106

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no

8

DP no

13746

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved

5m² extension to the back left hand corner of our residence to extend the size of the Kitchen

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work

\$ 4500 —

6. Builder's details

If known, to be completed in the case of residential building work

Name

Ian Bailey

Licence no

234650C

ph

0425 265 899

Owner/builder permit no

7. Applicant's declaration

I apply for a Complying Development to carry out building works as described in this application. To the best of knowledge, all the information in this application and checklist is true and correct.

Signature

Date

Paul Probst

21/6/11

(Please Note: If the Applicant is not the owner of the land, a statement signed by the owner of the land to the effect that the owner consents to the making of this application)

Bushfire Construction Specification

BAL 29

(as modified by Planning for Bushfire Protection)

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SECTION 7 CONSTRUCTION FOR BUSH FIRE ATTACK LEVEL 29 (BAL—29)

SARKING

Any sarking used for BAL-12.5, BAL-19, BAL-29 or BAL-40 shall be

- a) Non-combustible, or
- b) Breather-type sarking complying with AS/NZS 4200.1 and with a flammability index of not more than 5 (see AS1530.2) and sarked on the outside of the frame, or
- c) An insulation material conforming to the appropriate Australian Standard for that material

7.1 GENERAL

A building assessed in Section 2 as being BAL—29 shall comply with Section 3 and Clauses 7.2 to 7.8

NOTE There are a number of Standards that specify requirements for construction, however, where this Standard does not provide construction requirements for a particular element, the other Standards apply

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 7.2 to 7.8 (see Clause 3.8)

NOTE BAL—29 is primarily concerned with protection from ember attack and radiant heat greater than 19 kW/m² up to and including 29 kW/m²

7.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—

- a) a wall that complies with Clause 7.4, or
- b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium, or
- c) a combination of Items (a) and (b) above

d) Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—

- (i) of non-combustible material, or
- (ii) of bushfire-resisting timber (see Appendix F), or
- (iii) a combination of Items (i) and (ii) above

NOTE This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7)

C7.2 Combustible materials stored in the subfloor space may be ignited by embers and cause an impact to the building

7.3 FLOORS

7.3.1 Concrete slabs on ground

This Standard does not provide construction requirements for concrete slabs on ground

7.3.2 Elevated floors

7.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- a) a wall that complies with Clause 7.4, or
- b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium, or
- c) a combination of Items (a) and (b) above

7.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall be one of the following

(a) Materials that comply with the following

(i) Bearers and joists shall be—

- (A) non-combustible, or
- (B) bushfire-resisting timber (see Appendix F), or
- (C) a combination of Items (A) and (B) above

(ii) Flooring shall be—

- (A) non-combustible, or
- (B) bushfire-resisting timber (see Appendix F), or
- (C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation, or
- (D) a combination of any of Items (A), (B) or (C) above or

(b) A system complying with AS 1530 8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level

7.4 EXTERNAL WALLS

7.4.1 Walls

Walls shall be one of the following

- a) Made of non-combustible material (e.g., full masonry, brick veneer, mud brick, concrete, aerated concrete) or
- b) Made of timber-framed or steel-framed walls that are sarked on the outside of the frame and clad with—
 - (i) fibre-cement external cladding, a minimum of 6 mm in thickness, or
 - (ii) steel sheet, or
 - (iii) bushfire-resisting timber (see Appendix F), or
 - (iv) a combination of any of Items (i), (ii) or (iii) above or
- c) A combination of Items (a) and (b) above

7.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm

Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding

7.4.3 Vents and weepholes

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where they are less than 3 mm (see Clause 3 6)

7 5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

7 5 1 Bushfire shutters

Where fitted, bushfire shutters shall comply with Clause 3 7 and be made from—

- a) non-combustible material, or
- b) bushfire-resisting timber (see Appendix F), or
- c) a combination of Items (a) and (b) above

7 5 1A Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium

Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm

The frame supporting the mesh or perforated sheet shall be made from—

- a) metal, or
- b) bushfire-resisting timber (see Appendix F)

7 5 2 Windows

Windows shall comply with one of the following

- a) They shall be completely protected by a bushfire shutter that complies with Clause 7 5 1 or
 - b) They shall comply with the following
- (1) Window frames and window joinery and shall be made from one of the following
- (A) Bushfire-resisting timber (see Appendix F) or
 - (B) Metal or

- (C) Metal-reinforced PVC-U The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel, and the frame and the sash shall satisfy the design load, performance and structural strength of the member
- (ii) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal
- (iii) Glazing shall be toughened glass minimum 5 mm
- (iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), that portion shall be screened externally with a screen that complies with Clause 7 5 1A
- (v) The openable portions of windows shall be screened internally or externally with screens that comply with Clause 7 5 1A

7 5 3 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following

- a) They shall be protected by a bushfire shutter that complies with Clause 7 5 1 or
- b) They shall be completely protected externally by screens that comply with Clause 7 5 1A or
- c) They shall comply with the following
- (i) Doors shall be—
- (A) non-combustible, or
- (B) a solid timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold, or
- (C) a door, including a hollow core door, protected externally by a screen that complies with Clause 7 5 1A, or
- (D) a fully framed glazed door, where the framing is made from noncombustible materials or from bushfire-resisting timber (see Appendix F)

- (ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal
- (iii) Where doors incorporate glazing, the glazing shall be toughened glass minimum 6 mm
- (iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that portion shall be screened externally with screens that comply with Clause 7.5.1A
- (v) Door frames shall be made from one of the following
 - (A) Bushfire-resisting timber (see Appendix F) or
 - (B) Metal or
 - (C) Metal-reinforced PVC-U The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member
- (vi) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable
- (vii) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors

7.5.4 Doors—Sliding doors

Sliding doors shall comply with one of the following

- a) They shall be protected by a bushfire shutter that complies with Clause 7.5.1 or
 - b) They shall be completely protected externally by screens that comply with Clause 7.5.1A or
 - c) They shall comply with the following
- (i) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be one of the following
 - (A) Bushfire-resisting timber (see Appendix F), or
 - (B) Metal, or

- (C) Metal-reinforced PVC-U The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member
- (ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal
- (iii) Where sliding doors incorporate glazing, the glazing shall be toughened glass minimum 6 mm, except where both the fixed and openable portions of doors are screened externally with screens that comply with Clause 7 5 1A
- (iv) Sliding doors shall be tight-fitting in the frames

7 5 5 Doors—Vehicle access doors (garage doors)

The following apply to vehicle access doors

- a) Vehicle access doors shall be made from—
- (i) non-combustible material, or
 - (ii) bushfire-resisting timber (see Appendix F), or
 - (iii) fibre-cement sheet, a minimum of 6 mm in thickness, or
 - (iv) a combination of any of Items (i), (ii) or (iii) above
- b) (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm
- c) (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4, Appendix D)
- d) (d) Vehicle access doors shall not include ventilation slots

7 6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)

7 6 1 General

The following apply to all types of roofs and roofing systems

- a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible

- b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall
- c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium
- d) A pipe or conduit that penetrates the roof covering shall be non-combustible

7 6 2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

- a) have a flammability index of not more than 5, when tested to AS 1530 2,
- b) be located directly below the roof battens
- c) cover the entire roof area including the ridge, and
- d) extend into gutters and valleys

7 6 3 Sheet roofs

Sheet roofs shall—

- a) be fully sarked in accordance with Clause 7 6 2, except that foil-backed insulation blankets may be installed over the battens, or
- b) have any gaps greater than 3 mm under corrugations or ribs of sheet roofing and between roof components sealed at the fascia or wall line and at valleys, hips and ridges by—
 - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, or
 - (ii) mineral wool, or
 - (iii) other non-combustible material, or
 - (iv) a combination of any of Items (i), (ii) or (iii) above

7 6 4 Veranda, carport and awning roofs

The following apply to veranda, carport and awning roofs

- a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 7 6 1, 7 6 2, 7 6 3, 7 6 5 and 7 6 6

- b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 7.4 shall have a non-combustible roof covering and the support structure shall be—
- (i) of non-combustible material, or
 - (ii) bushfire-resisting timber (see Appendix F), or
 - (iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material complying with AS 1530.8.1, or
 - (iv) a combination of any of Items (i), (ii) or (iii) above

7.6.5 Roof penetrations

The following apply to roof penetrations

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to flash the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (c) All overhead glazing shall be Grade A safety glass complying with AS 1288.
- (d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm, shall be used in the outer pane of the IGU.
- (e) Where roof lights are installed in roofs having a pitch of less than 18 degrees to the horizontal, the glazing shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (f) Evaporative cooling units shall be fitted with butterfly closers at or near the ceiling level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or

7 7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

7 7 1 General

Decking may be spaced

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings

C7 7 1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice), however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other ‘permissible gaps’) in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

7 7 2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

7 7 2 1 Materials to enclose a subfloor space

The subfloor spaces of verandas, decks, steps, ramps and landings are considered to be ‘enclosed’ when—

- a) the material used to enclose the subfloor space complies with Clause 7 4, and
- b) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium

7 7 2 2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles

7 7 2 3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists)

7 7 2 4 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- a) of non-combustible material, or
- b) of bushfire-resisting timber (see Appendix F), or
- c) a combination of Items (a) and (b) above

7 7 3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

7 7 3 1 Supports

Support posts, columns, stumps, stringers, piers and poles shall be—

- a) of non-combustible material, or
- b) of bushfire-resisting timber (see Appendix F), or
- c) a combination of Items (a) and (b) above

7 7 3 2 Framing

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be—

- a) of non-combustible material or
- b) of bushfire-resisting timber (see Appendix F), or
- c) a combination of Items (a) and (b) above

7 7 3 3 Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- a) of non-combustible material, or
- b) of bushfire-resisting timber (see Appendix F), or
- c) a combination of Items (a) and (b) above

7 7 4 Balustrades, handrails or other barriers

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—

- a) of non-combustible material, or
- b) bushfire-resisting timber (see Appendix F), or
- c) a combination of Items (i) and (ii) above

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements

7 8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes shall be metal

Appendix F list of Timbers AS3959, 2009

Black-butt - *Eucalyptus pilularis*

Turpentine - *Syncarpia glomulifera*

Silver Top Ash - *Eucalyptus sieberi*

Spotted Gum - *Corymbia maculata* - *Corymbia henryi* - *Corymbia citriodora*

Red Iron Bark - *Eucalyptus sideroxylon*

Kwila[Merbau] - *Intsia bijuga*

Red River Gum - *Eucalyptus camaldulensis*

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Suite 13/90 Mona Vale Road Mona Vale NSW 2103 PO Box 326 Mona Vale NSW 1660 **ph 9999 0003** fax 9979 1555
email info@insightcert.com.au **web** www.insightbuildingcertifiers.com.au **ABN** 54 115 090 456

Bushfire Planning Services Pty Limited



Matthew Willis
(Grad Dip Design for Bushfire Prone Areas)
15 Parkcrest Place
Kenthurst 2156
Tel 02 96543228
Mob 0428 408 577
Email mattw@bushfireconsultants.com.au

20/06/2011

Bushfire Attack Level (BAL) Assessment

In relation to proposed development at

80 Irrubel Road Newport

Bushfire Planning Services Pty Limited has undertaken a bushfire attack level [BAL] risk assessment in accordance with the requirements of AS3959, 2009, Table 2 4 2

Determination of Bushfire Attack Level [BAL] - FDI 100 1090K for the above mentioned property

Based on the site assessment contained in Table 1 of this document, this is to certify that the subject site, lot 8, DP 13746, number 80 Irrubel Road Newport, has been assessed as having a an anticipated radiant heat level of less than 29 kw/m² and the subsequent BAL level is AS3959, 2009 BAL-29

Direction	Distance of APZ	Vegetation Classification	Assessment of Effective Slope	Bushfire Attack Level (BAL)
North	14	Ramforest ¹	All upslopes and flat land	BAL-29
East	N/A	Managed Land	N/A	BAL-LOW
South	N/A	Managed Land	N/A	BAL LOW
West	N/A	Managed Land	N/A	BAL-LOW

Determination of category of bushfire attack for the site and subsequent required building standards

Notes

1 This Certificate is valid for 12 months from the date of issue

Matthew Willis

Grad Dip Building in Bushfire Prone Areas [UWS – 2005]
Corporate Member - Fire Protection Association Australia
FPAA BPAD- A accredited consultant



¹ per vegetation assessment by Landscape Architects International dated 20/6/2011 (attached)



Date: 20 June 2011

Re: Plant Community identification along the Northern boundary of 80 Irrubel Road Newport
Attention: Matt Willis

Dear Matt

Upon completion of a ground inspection only of the northern boundary of 80 Irrubel Road Newport on Friday 17 June 2011 it is clear that the plant community is a Closed (Subtropical) Rainforest

Some of the Characteristics of a Closed Rainforest community evident were the south facing deep ravine with limited sunshine and high moisture content

Some of the typical tree and shrub species evident on the site at the time of inspection were

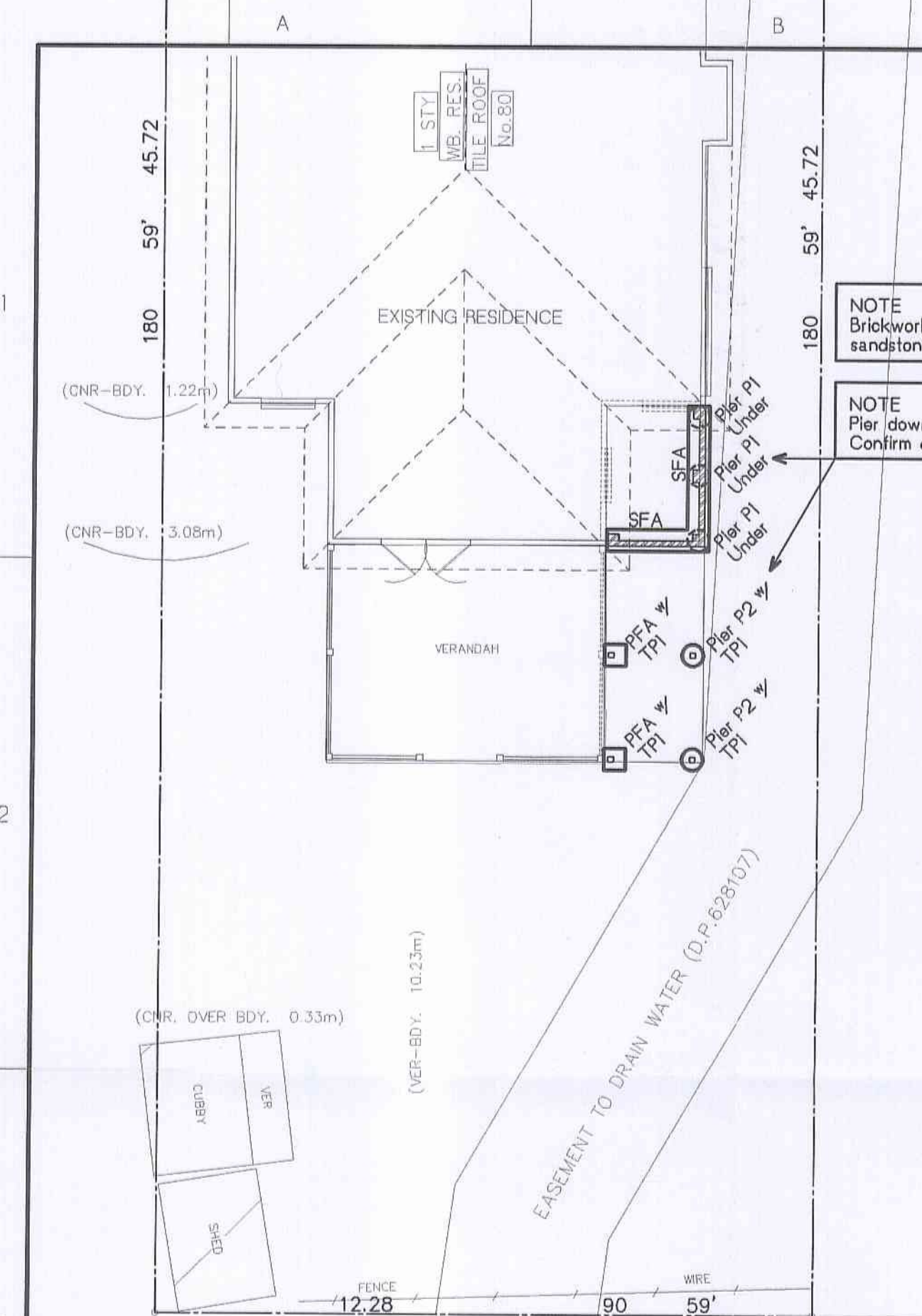
<i>Crystalline australis</i>	Cabbage Tree Palm
<i>Ceratopetalum apetalum</i>	Coachwood
<i>Acmena smithii</i>	Lilly Pilli
<i>Pittosporum undulatum</i>	Sweet Pittosporum

This type of plant community generally remains wet and the understory and forest floor are always moist to the touch

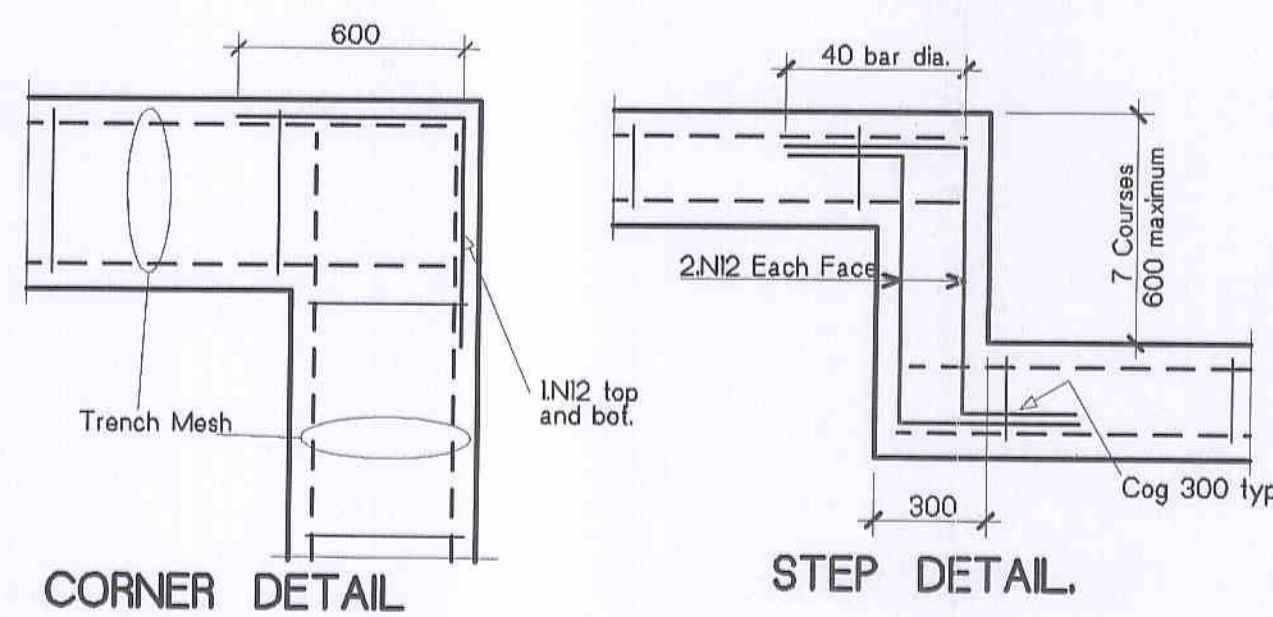
Kind regards

Ted Webster
Bachelor Landscape Architecture 1989
Registered Member Australian Institute of Landscape Architects
Certificate IV Horticulture 2004

Australian Institute
of Landscape Architects

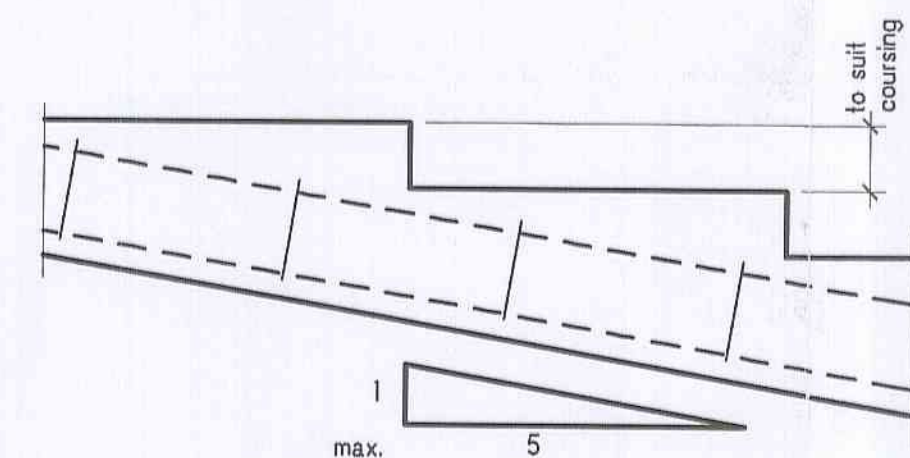


FOOTING PLAN
Scale 1:100

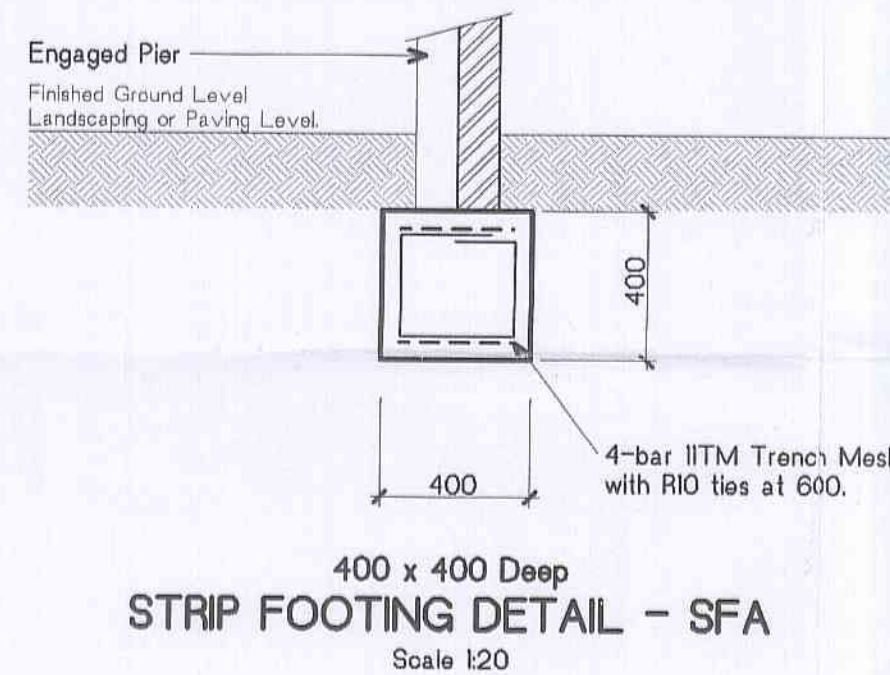


CORNER DETAIL

STEP DETAIL.

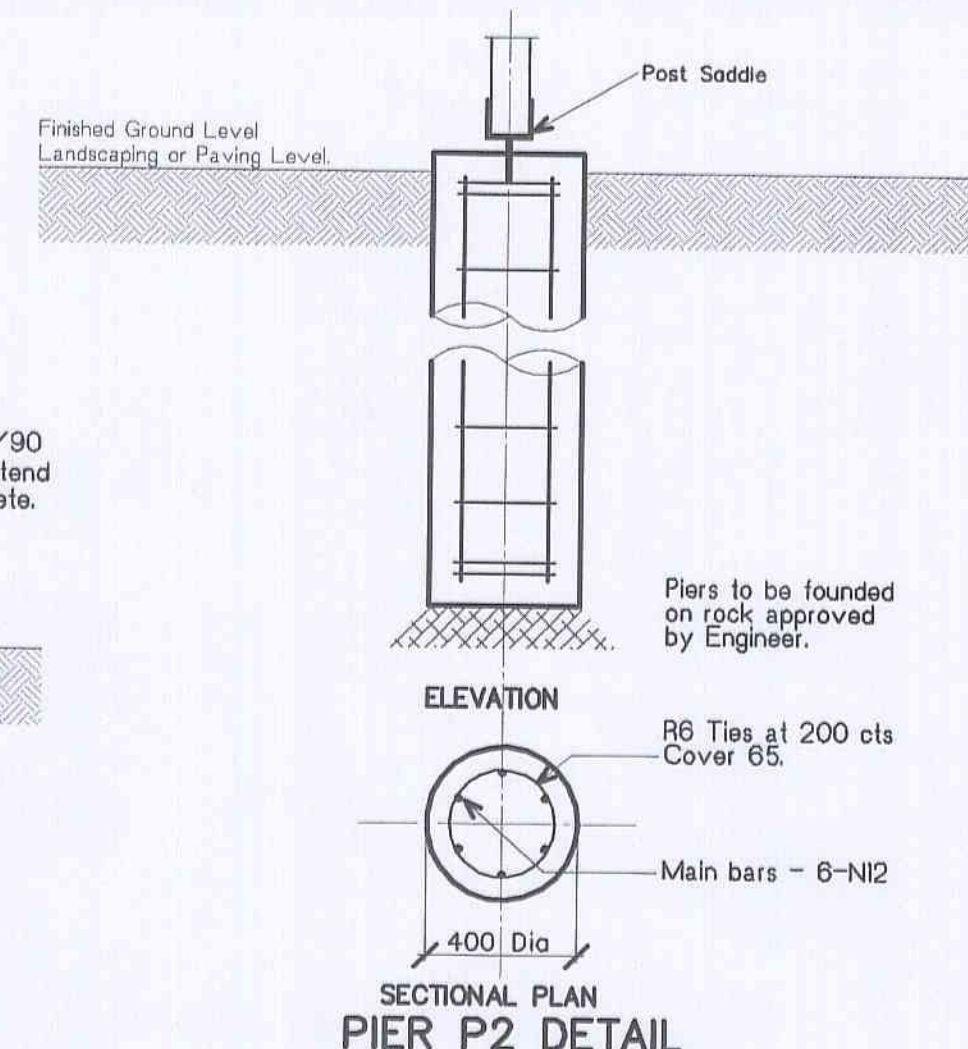


STEP DETAIL FOR GENTLE SLOPES.

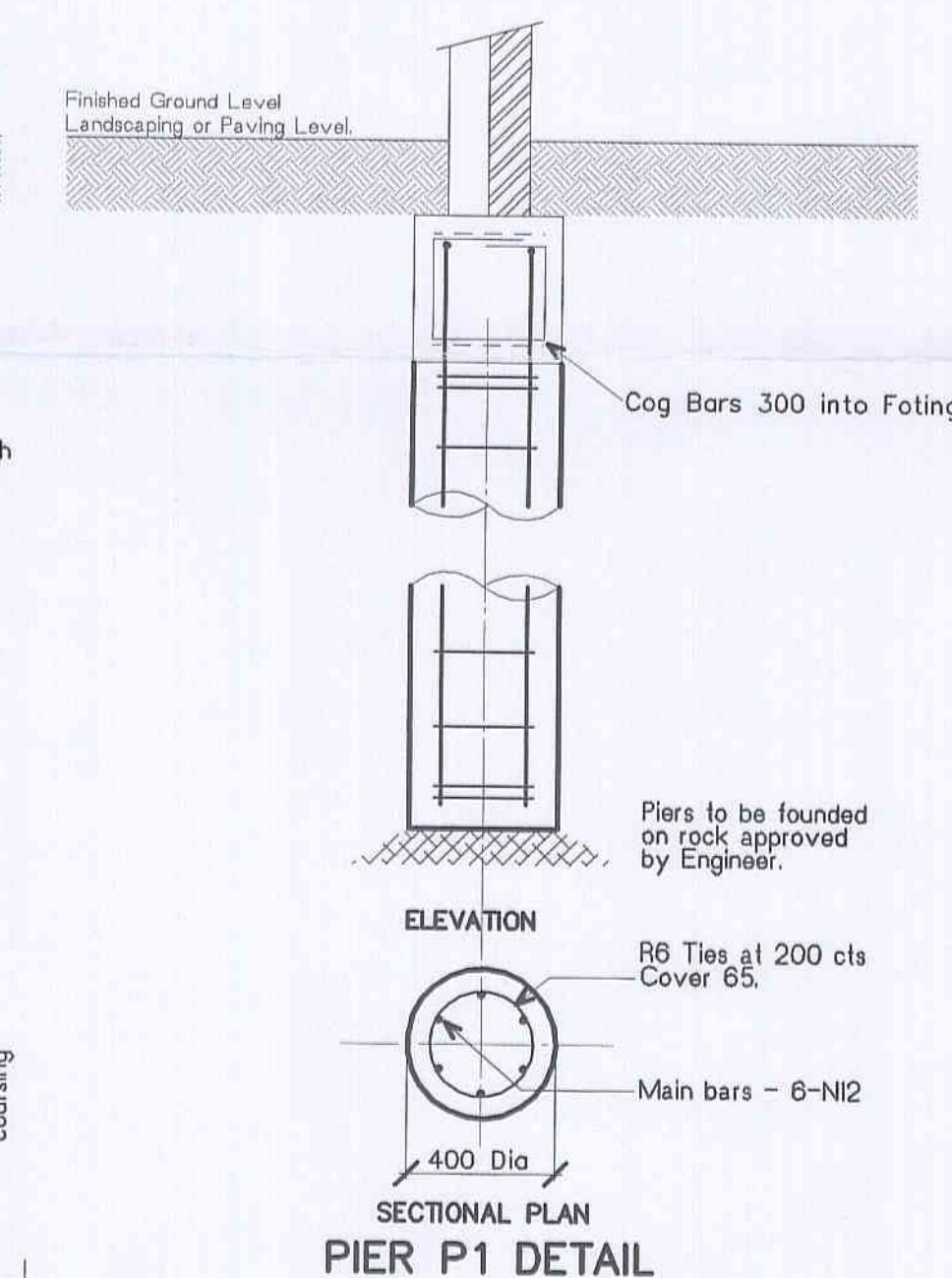


PAD FOOTING DETAIL 'PFA'

STRIP FOOTING DETAIL - SFA
Scale 1:20



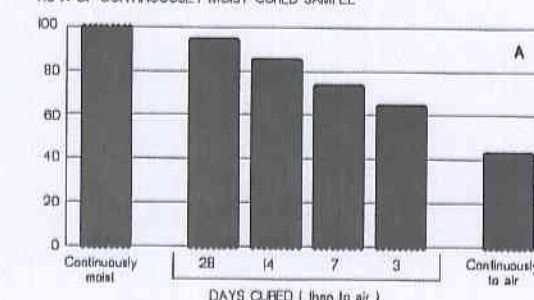
SECTIONAL PLAN
PIER P2 DETAIL



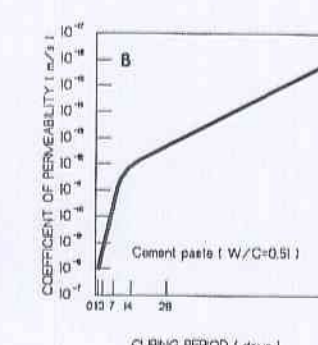
SECTIONAL PLAN
PIER P1 DETAIL

IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 28 DAYS
AS % OF CONTINUOUSLY MOST CURED SAMPLE



Effect of curing duration on: (A) compressive strength and (B) concrete permeability
Acknowledgement: Diagram is based on Fig 12 of Guide to Concrete Repair & Protection (SAA/1894:1998)



TIMBER NOTES:

- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 3660.1, AS 1664.2, AS 1720.1 and the specification.
- Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
- All timber shall be free of Gum veins, pockets, knots holes or splits within 25mm of any connection.
- Refer to specification for preservatives and finishes to timbers.
- All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.
- All F5 timber shown are nominal sizes only.

CONCRETE NOTES:

- All concrete work to be in accordance with AS 3600.
- Fc Refer to table.
- Maximum aggregate size = 20 for footings, slabs & beams, = 10 for block filling.
- Slump = 80.
- All concrete, including block filling, to be vibrated.
- Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
- Bar Chairs to be no more than 800mm c/c to c/c spacing.
- Reinforcing Steel to comply with AS/NZS 4672:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
- Steel Reinforcement to be cut & bent in accordance with AS 3600.
- Reinforcement to be tied at every other intersection minimum.
- Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.

Element	Cover (mm)	Fc at 28 days
	Protected	Exposed
Piers	65	25 MPa
Footings	50	25 MPa

The minimum clear cover is to reinforcement ties and stirrups.

No.	Amendment	Drawn	Date
PLAN OR DOCUMENT CERTIFICATION I am a qualified.....CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER..... I hold the following qualifications or licence No.....M.Eng.Sc..... F.I.E.Aust.....Nper3.....Struct.Civil.No.149788..... Further I am appropriately qualified to certify this component of the project. I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia. A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3500, A.S.3600, A.S.3700, A.S.4100 & A.S.1163 Jack D. Hodgson / 5-6-11 Name Date Signature			

FOOTING PLAN AND DETAILS

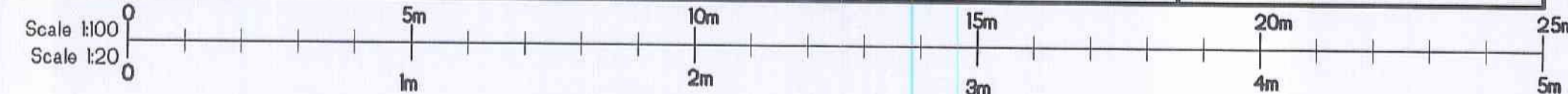
PROPOSED ALTERATIONS AND ADDITIONS
80 IRRUBEL ROAD
NEWPORT
MR PAUL HROBAT

Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/builder. (mitchCLARK Design and Draft Date: FEB 2011 Dwg No:DA15) Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.

The Structural Details shown on this Drawing are NOT to change under any circumstance.
NO Certificate will be issued for work NOT in accordance with the Drawing

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
67 Darley Street, MONA VALE 2103 P.O. Box 388 Post Code 1660.
Telephone (02) 9979 8733 Facsimile (02) 9979 8926
Email info@jackhodgson.com.au web www.jackhodgson.com.au A.C.N. 053 405 011

Designed	MJC	Drawn	MJC	Job No.	27612-S1
Design Check	JDH	Drawing Check	JDH		
Date	14 JUNE 2011				

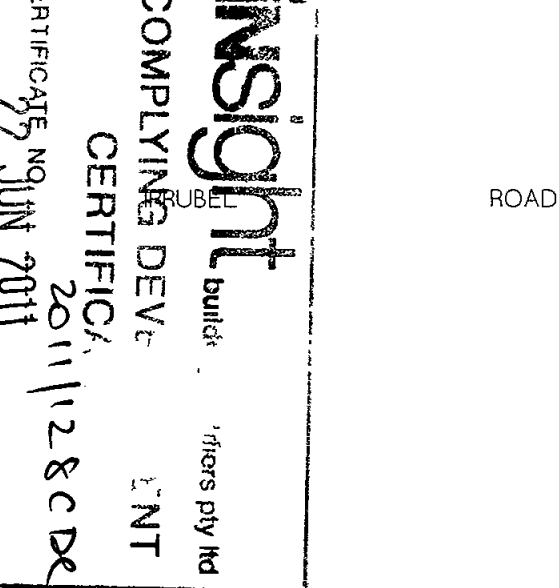
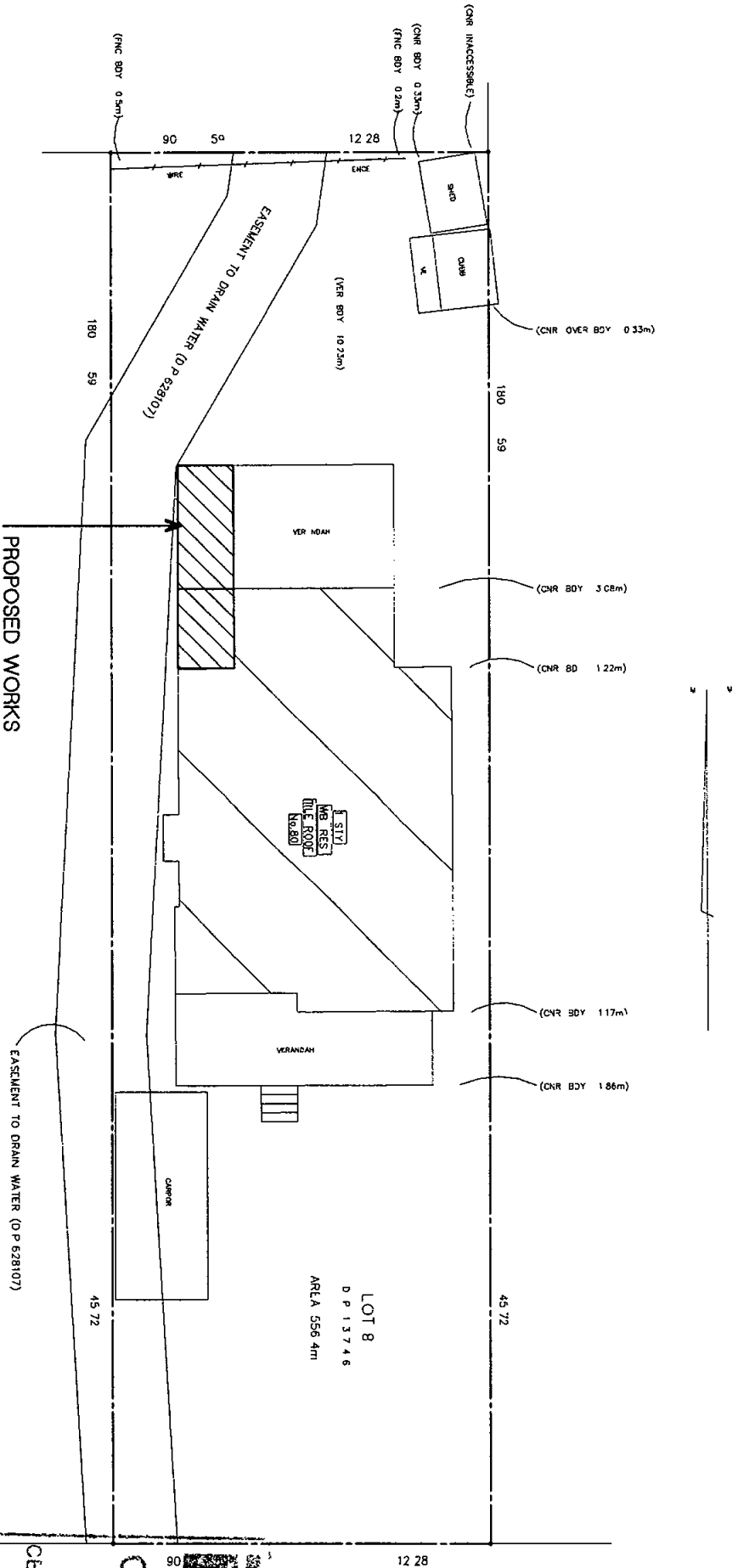


HROBAT RESIDENCE

80 IRRUBEL ROAD
NEWPORT
2106 , N.S.W.

PROPOSED ALTERATIONS AND ADDITIONS

FEB 2011

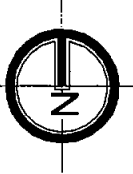


NOTE ALL NEW WORKS ARE TO BE CONSTRUCTED TO SATISFY THE REQUIREMENTS OF BUSHFIRE ATTACK LEVEL (BAL) 29 OF AS3959-2009 & PLANNING FOR BUSHFIRE PROTECTION 2006 (AS AMENDED)

LOCALITY PLAN

SITE PLAN

SCALE 1200



SITE CALCULATIONS
SITE AREA NO 556 4m²
EXISTING HARD SURFACE AREA 246m²
HARD SURFACE AREA TO BE RETAINED 246m²
PROPOSED ADDITIONAL HARD SURFACE 0m²
PROPOSED ADDITIONAL FLOOR SURFACE 5m²
EXISTING SITE COVERAGE 42.11%
PROPOSED SITE COVERAGE 42.11%
LANDSCAPE AREA 57.89%

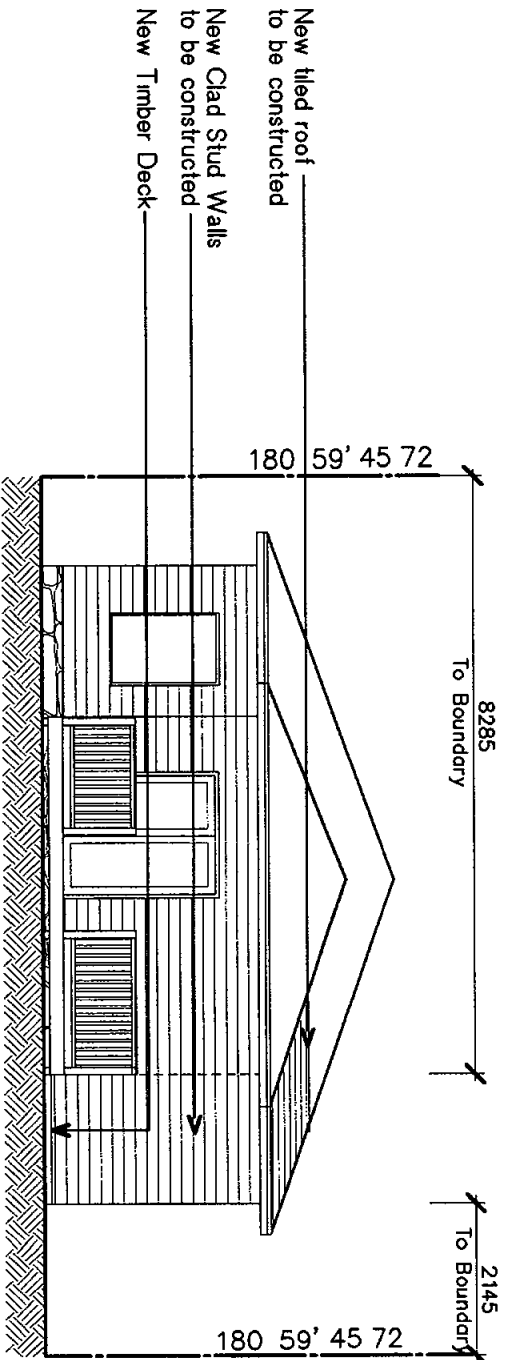
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DRAWING SERVICES
MOB 0439 654 562
email mitchclarkdrt@hotmail.com

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Drawing Title
SITE PLAN, EXISTING GROUND FLOOR PLAN, PROPOSED GROUND FLOOR PLANS
ELEVATIONS AND SECTIONS
Project
PROPOSED ALTERATIONS & ADDITIONS

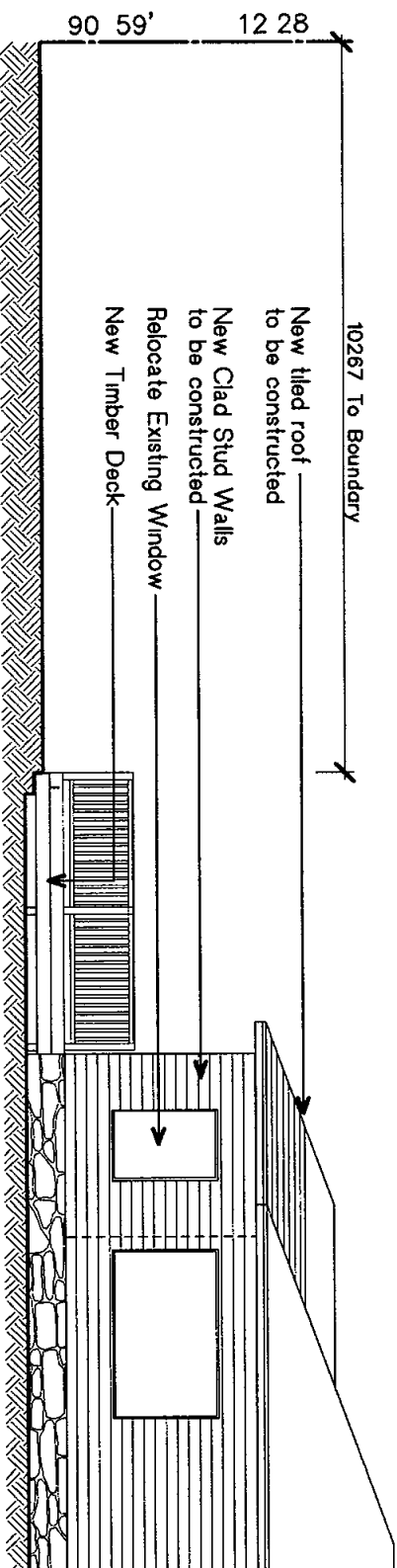
Client
MR PAUL HROBAT
80 IRRUBEL ROAD NEWPORT

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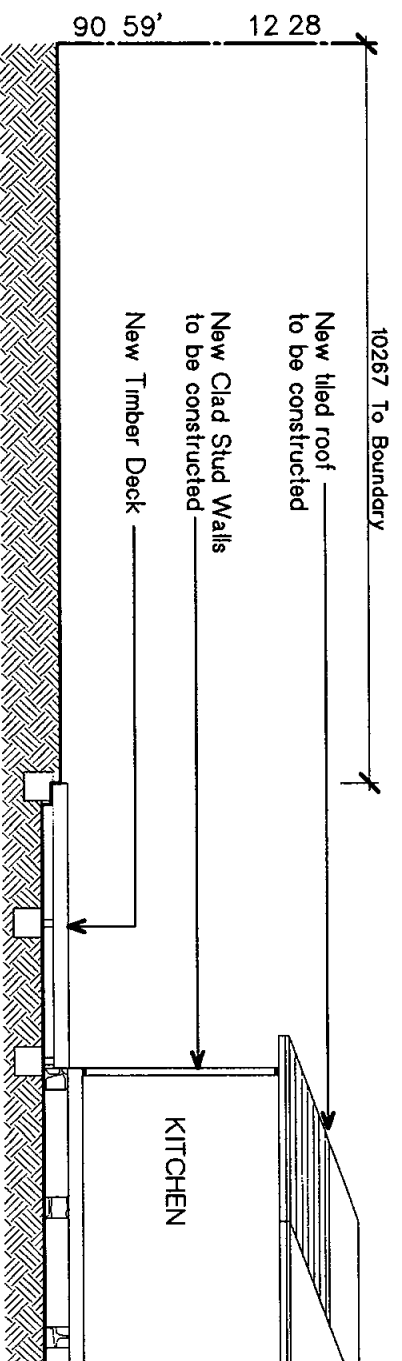


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NORTH ELEVATION



WEST ELEVATION



SECTION AA
Scale 1:100

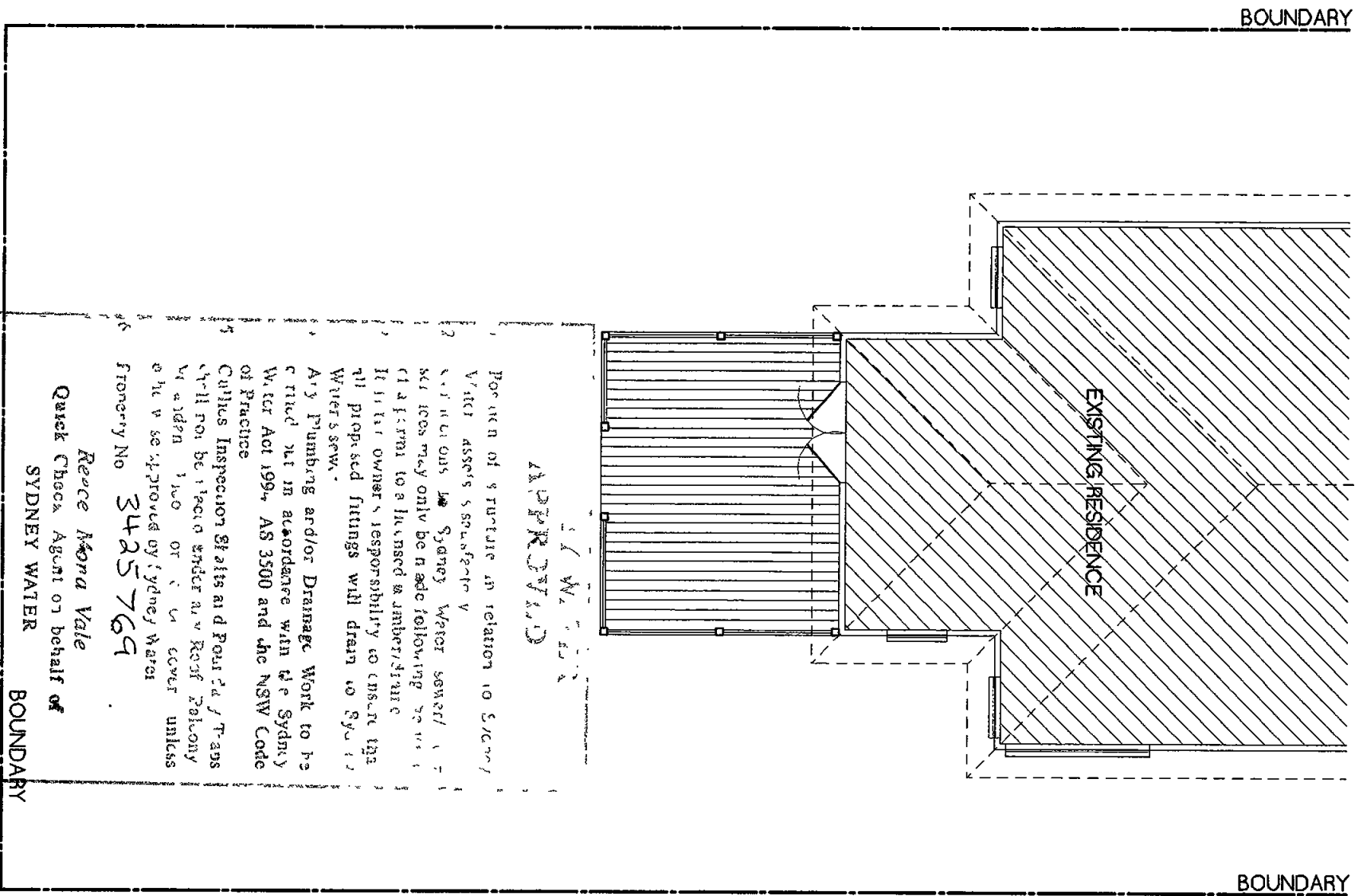
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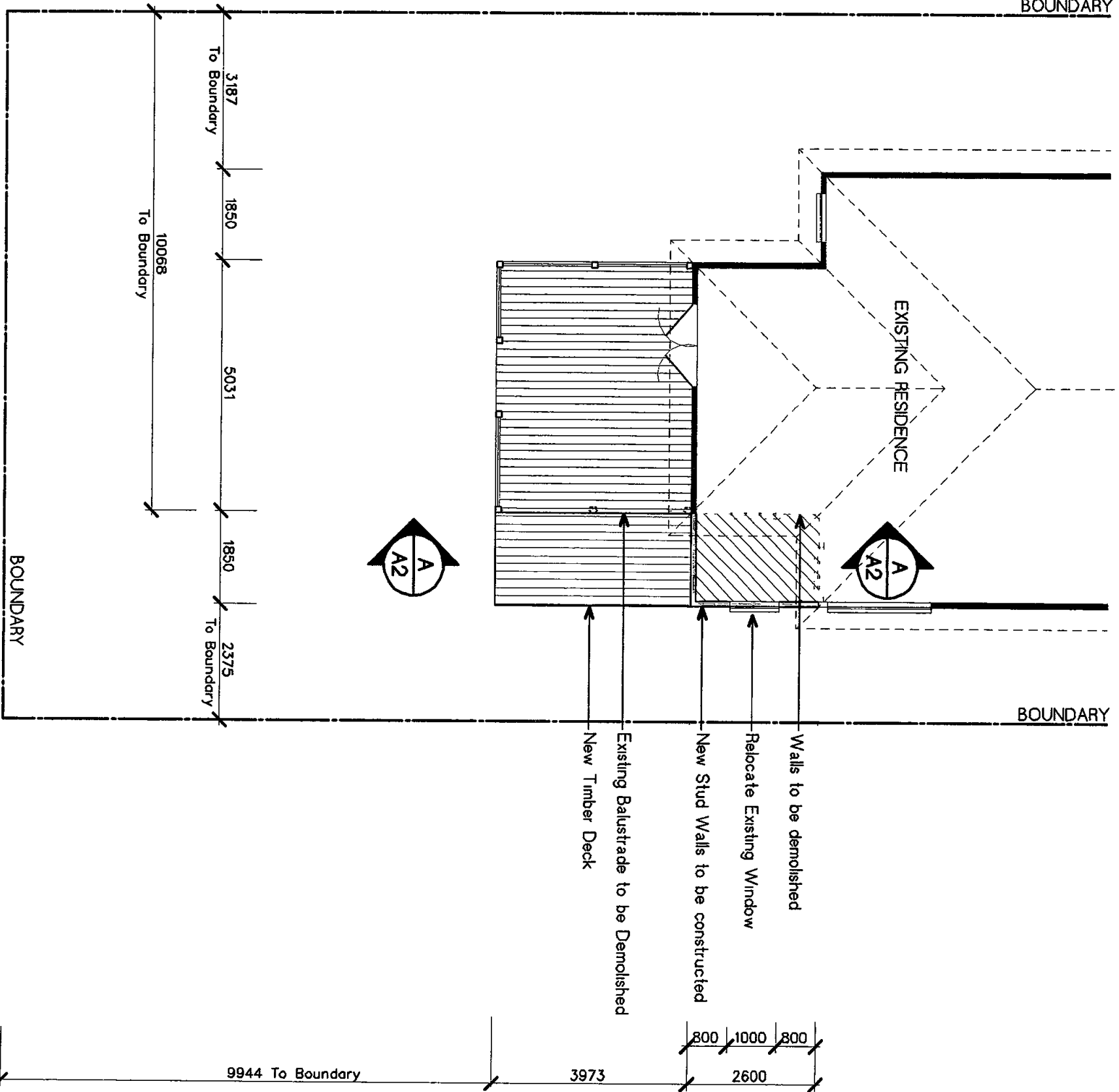
Drawing Title
SITE PLAN EXISTING GROUND FLOOR PLAN
PROPOSED GROUND FLOOR PLANS
ELEVATIONS AND SECTIONS
Project
PROPOSED ALTERATIONS & ADDITIONS

Client
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80 IRRUBEL ROAD NEWPORT

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EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

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Drawing Title
EXISTING GROUND FLOOR PLAN,
PROPOSED GROUND FLOOR PLANS
ELEVATIONS AND SECTIONS
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MOB 0439 654 567
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