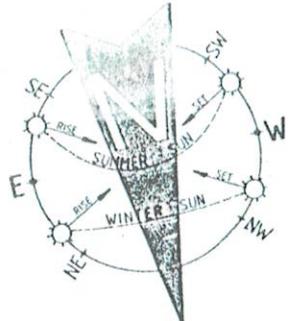


SITE PLAN
LOT 1 IN D.P. 308956



- NOTES:**
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

DEVELOPMENT CALCULATIONS		
SITE AREA	1018.00 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
FLOOR	112.77	117.57
ROOF	112.77	117.57
VERANDAH'S	43.22	55.22
DRIVEWAY	16.35	16.35
CARPORT	31.20	—
DECK'S & STAIRS	—	63.75
GARAGE	—	51.00
TOTAL HARD SURFACE	203.54 (19.99%)	303.89 (29.85%)

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAME" code.
5. Any detailing in addition to what is specified shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be approved by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

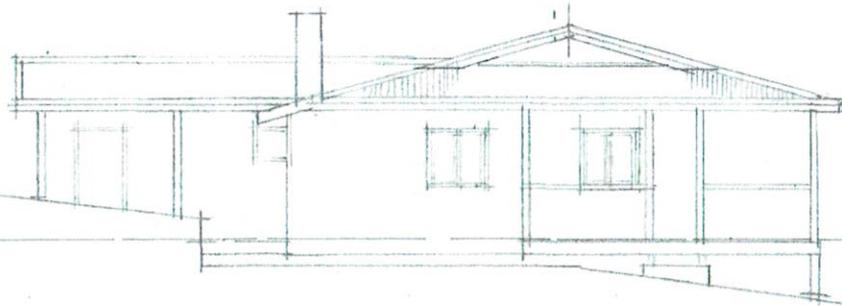
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NO. 214
DATE

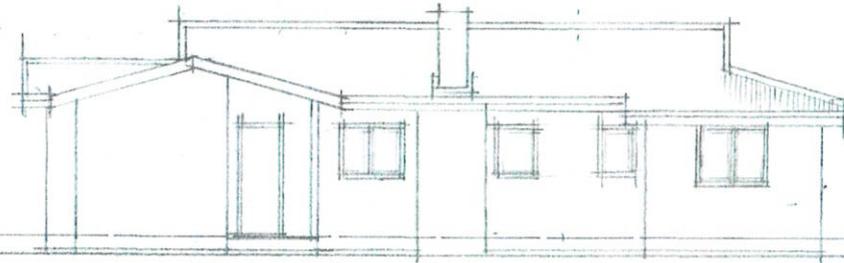
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PHONE 9999 4566 MOBILE 0418 976 596
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PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 34 HUDSON PARADE
CLAREVILLE N. S. W. 2107
CLIENT
BOB & BRITT GOLDIE

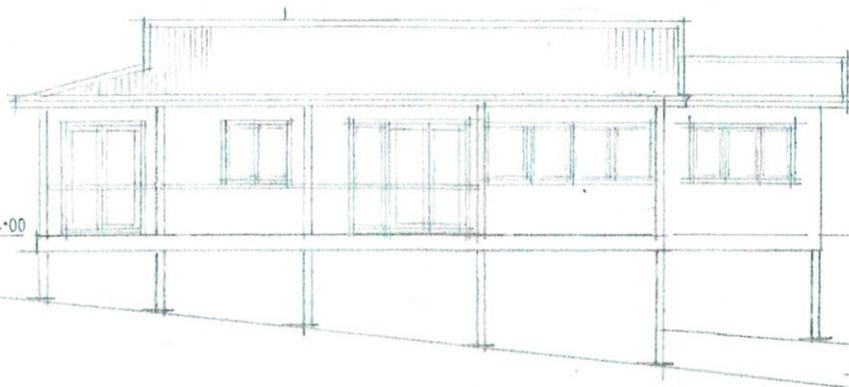
DATE 19/11/2019 SCALE 1:200
DRAWN JOE CHECKED
DRAWING NO. 2002-1 ISSUE A
24.9.20



NORTH ELEVATION

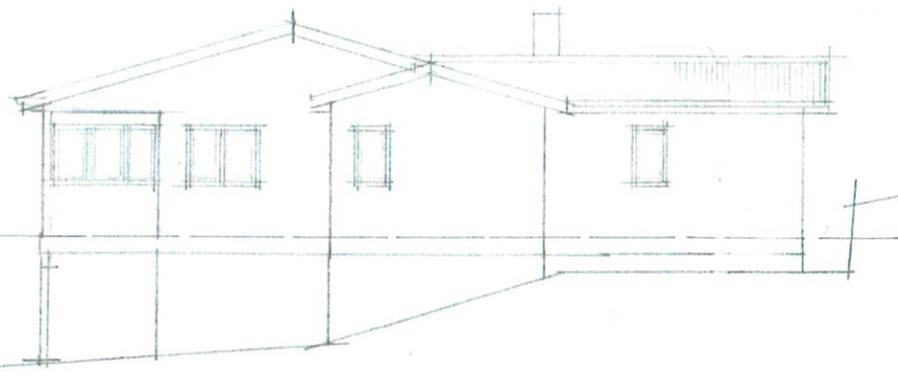


EAST ELEVATION



FLOOR LEVEL RL14.00

WEST ELEVATION



SOUTH ELEVATION

EXISTING ELEVATIONS

1. Reader to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "Timber Framing" code.
5. Any detailing in addition to what is supplied shall be referred between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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APPROVED	DATE
	21/0
A HOME OFFICE DELIVER	
AMENDMENT	

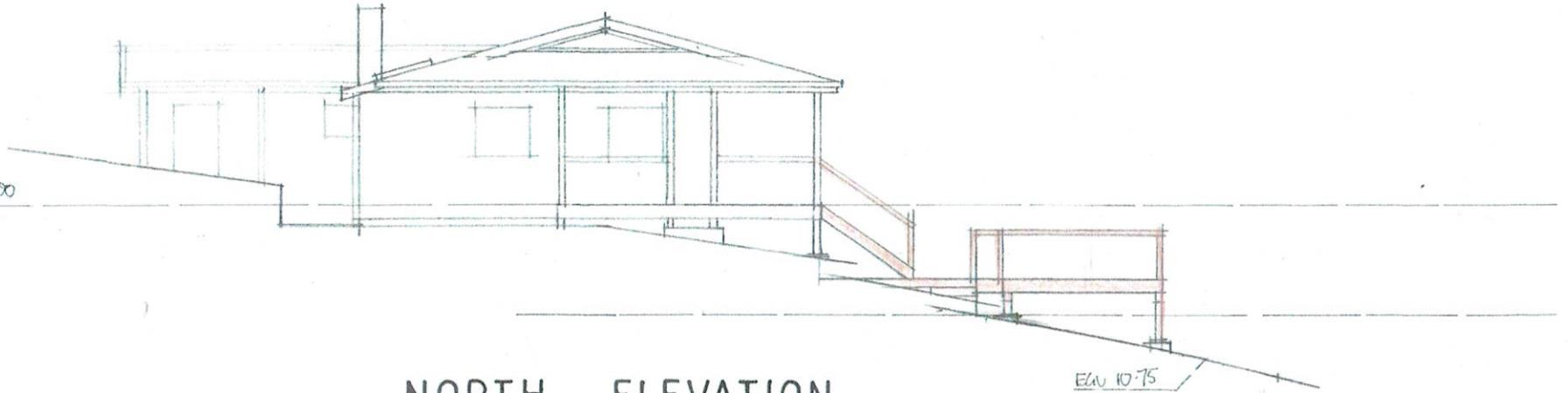


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 CLIENT
BOB & BRITT GOLDIE

DATE 19/11/2019	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING NO. 2002-4	ISSUE A
	21-9-20

FLOOR LEVEL RU 14.00



NORTH ELEVATION

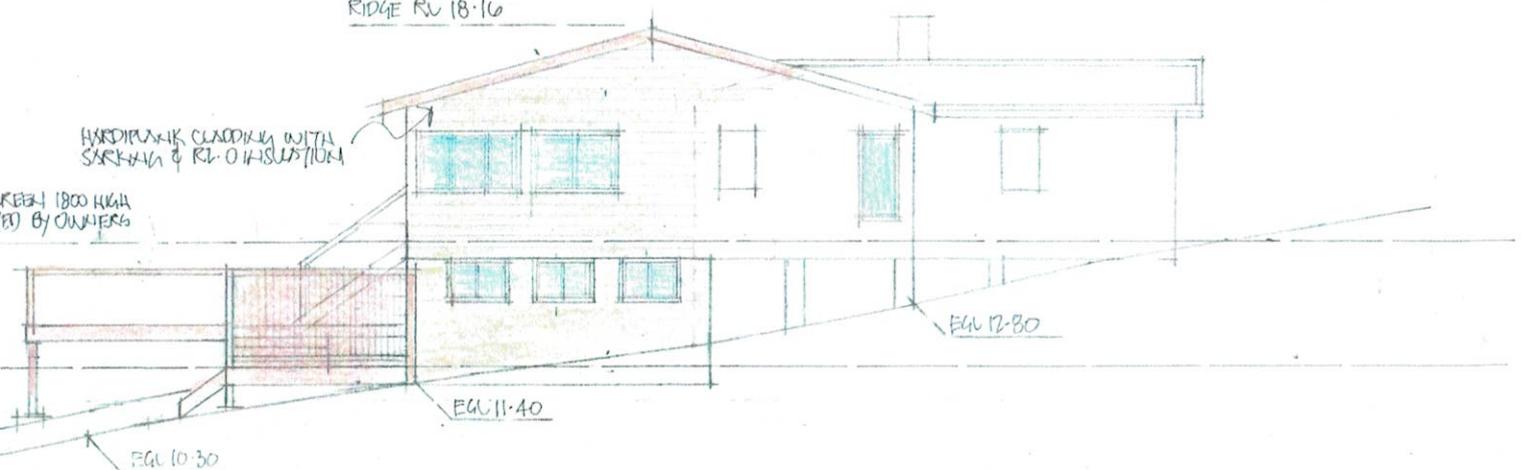
RIDGE RU 18.16

FLOOR LEVEL RU 14.00

PRIVACY SCREEN 1800 HIGH
AS SELECTED BY OWNERS

HARDIPANEL CLADDING WITH
SARKHAN & R. O'HISLUSTON

LOWER FLOOR & DECK 2 RU 11.55



SOUTH ELEVATION

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All tender construction to be in accordance with the "MILES PLANES" code.
5. Any detailing in addition to what is specified shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & rain-water drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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HOME OFFICE DEVELOP	214
AMENDMENT	DATE



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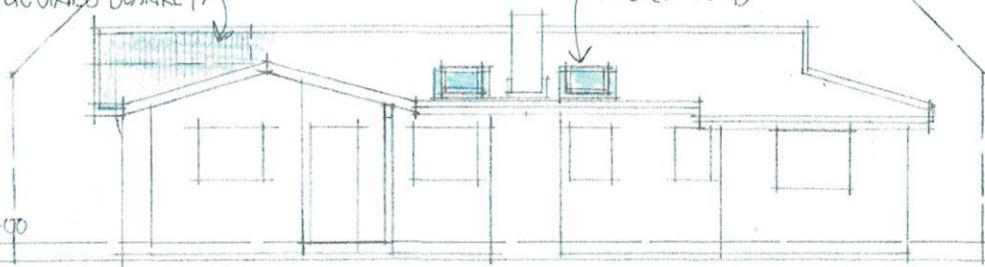
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CLIENT
BOB & BRITT GOLDIE

DATE 19/11/2019	SCALE 1:100
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DRAWING NO. 2002-5	ISSUE A

COVERBOARD CUSTOM ORB ROOF SHEETING
FIXED OVER FOL LINED BLANKET

NEW VELUX SKYLIGHTS
M08 (VSE1004)

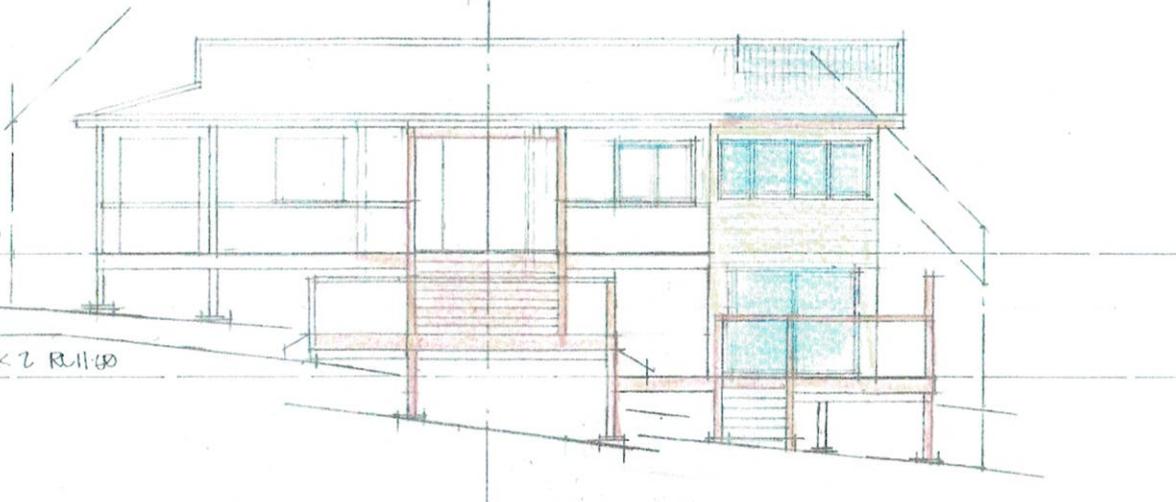
FLOOR LEVEL RL 14.00



EAST ELEVATION

FLOOR LEVEL RL 14.00

LOWER FLOOR & DECK 2 RL 11.00



WEST ELEVATION

SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES:

1. ALL NEW & ALTERED SHOWER HEADS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR 3 STAR WATER RATING.
2. ALL NEW & ALTERED TOILET FLUSHING SYSTEMS TO HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
3. ALL NEW & ALTERED TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR 3 STAR WATER RATING.

SOLAR (GAS BOOSTED).

THERMAL COMFORT COMMITMENTS

CONSTRUCTION INSULATION REQUIREMENTS

1. THE PROJECT MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET-OUT IN THE CERTIFICATE NUMBER A366920, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS.

WINDOWS & GLAZED DOORS GLAZING REQUIREMENTS

1. THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE CERTIFICATE NUMBER. A366920. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR
2. FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST NOT BE OR MORE THAN 500MM ABOVE THE HEAD OF A WINDOW OR HEAD OF A GLAZED DOOR & NO MORE THAN 2400MM ABOVE THE SILL.

ENERGY COMMITMENTS

LIGHTING

1. THE APPLICANT MUST HAVE A MINIMUM OF 40% OF NEW AND ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

VENTILATION

1. THE APPLICANT MUST HAVE INSTALLED THE FOLLOWING EXHAUST SYSTEM:
 - a. AT LEAST 1 BATHROOM: NO MECHANICAL VENTILATION (IE. NATURAL).
 - b. KITCHEN: INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF.

NATURAL LIGHTING

1. THE DEVELOPMENT MUST HAVE A WINDOW IN THE KITCHEN FOR NATURAL VENTILATION.
2. THE DEVELOPMENT MUST HAVE A WINDOW IN ALL BATHROOMS AND TOILETS FOR NATURAL VENTILATION.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All timber construction to be in accordance with the "Timber (Timber)" code.
 5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
 6. Roof water & air-out drainage to be disposed of in the approved manner or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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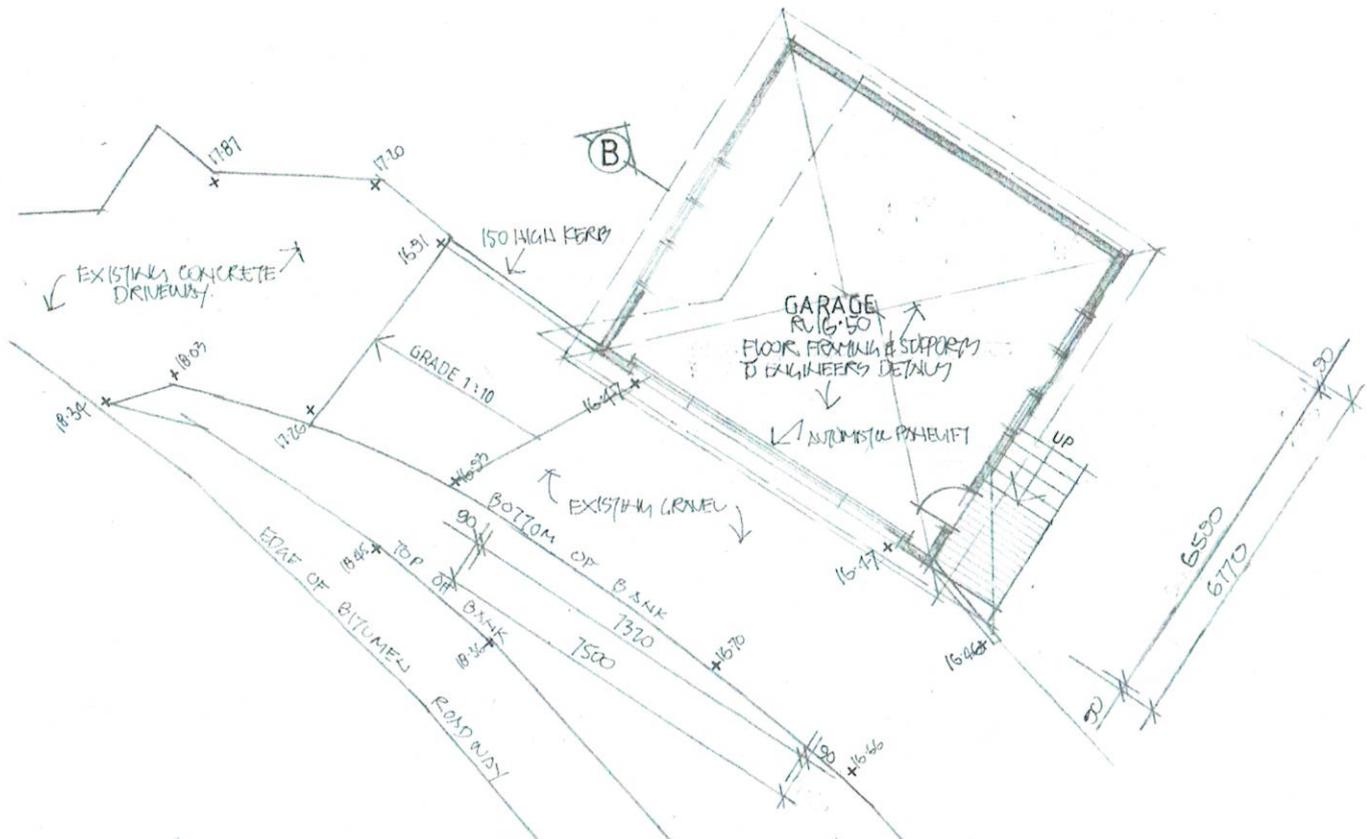
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 www.jdeco.com.au email info@jdeco.com.au

PROJECT
 PROPOSED ALTERATIONS/ADDITIONS
 No. 34 HUDSON PARADE
 CLAREVILLE N. S. W. 2107
 CLIENT
 BOB & BRITT GOLDIE

DATE 19/11/2019 SCALE 1:100
 DRAWN JDE CHECKED
 DRAWING No. 2002-6 ISSUE A
 21.4.20



GARAGE FLOOR PLAN

- NOTES:**
1. LIGHTING OF BATHROOM AND WC TO BE IN ACCORDANCE WITH PART 3.8.4 OF THE BUILDING CODE OF AUSTRALIA AND AS / NZS 1680.0.
 2. VENTILATION OF BATHROOM AND WC TO BE IN ACCORDANCE WITH PART 3.8.3.3 OF THE BUILDING CODE OF AUSTRALIA AND AS / NZS 1680.2.
 3. THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AMENDMENT 3, PART 3.8.3.3 (TO EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
 4. SMOKE ALARMS TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE BUILDING CODE OF AUSTRALIA AND AS / NZS 3786 / 1993.
 5. TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH PART 3.1.3 OF THE BUILDING CODE OF AUSTRALIA.
 6. SOUND INSULATION TO BE IN ACCORDANCE WITH PART 3.8.6 OF THE BUILDING CODE OF AUSTRALIA.
 7. ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.
 8. ALL GLAZED ASSEMBLIES TO COMPLY WITH AS. 2047 AND AS. 1288.
 9. WATERPROOFING OF ALL WET AREAS TO COMPLY WITH AS 3740-2004.
 10. AN APPROVED NON-VENTILATED COVER OR SHIELD WHICH ALLOWS FOR THE INSULATION TO BE CLOSELY INSTALLED TO THE SIDES & TOP TO ALL DOWNLIGHTS.

- NOTES:**
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to the boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All similar construction to be in accordance with the "TRADE PRACTICE" code.
 5. Any detailing in addition to what is supplied shall be required between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
 6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

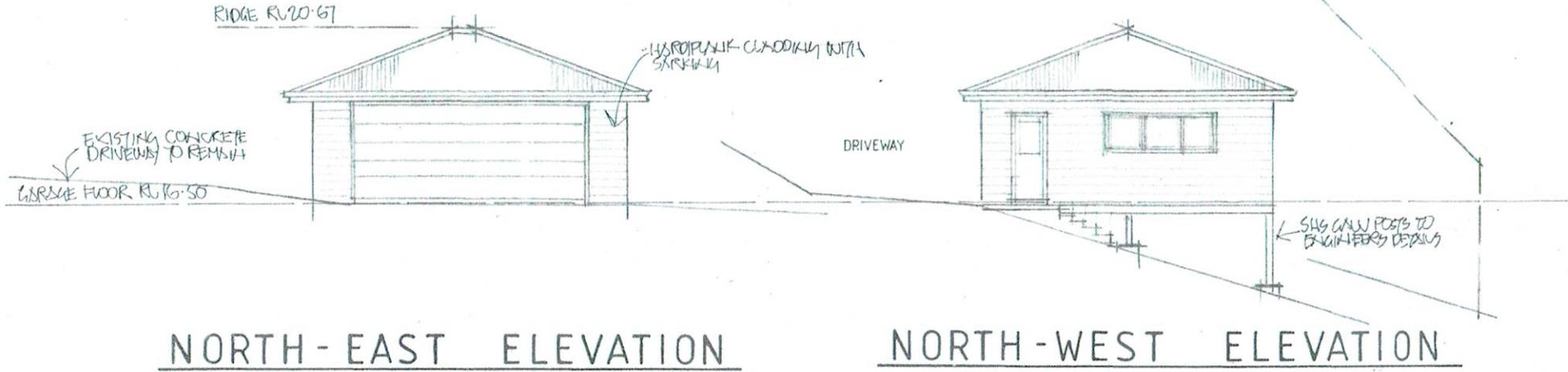
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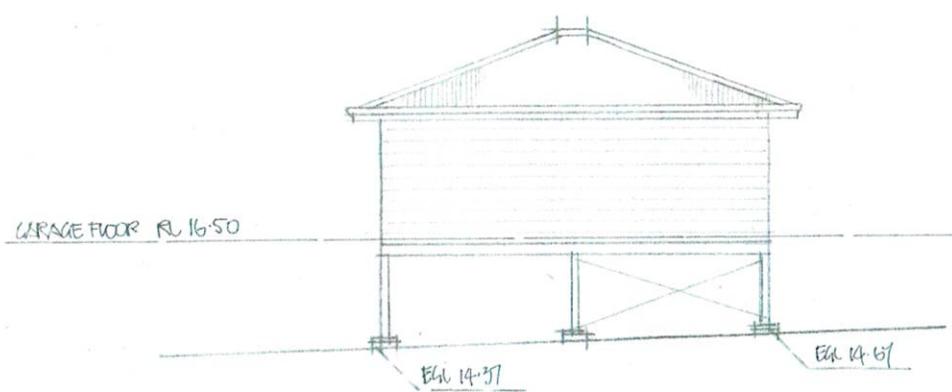
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DATE 19/11/2019	SCALE 1:100
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DRAWING No. 2002-7	ISSUE A

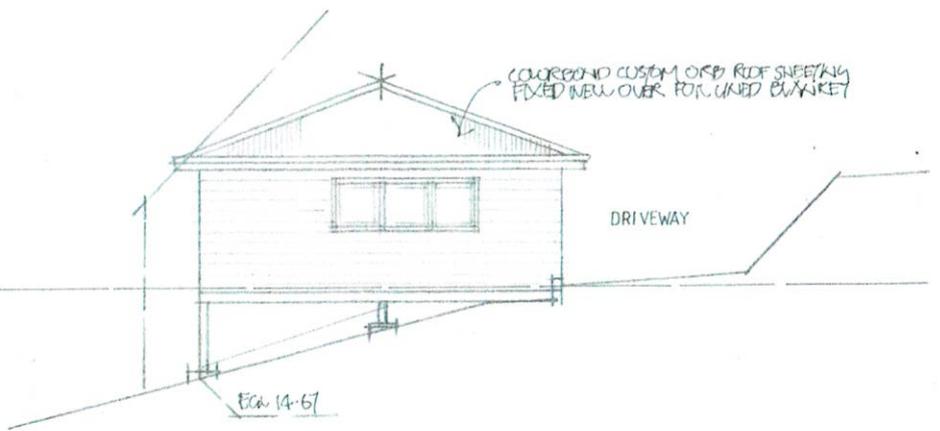


NORTH - EAST ELEVATION

NORTH - WEST ELEVATION



SOUTH - WEST ELEVATION



SOUTH - EAST ELEVATION

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All timber construction to be in accordance with the "TIMBER FRAMEWORK" code.
 5. Any detailing in addition to what is specified shall be mutual between the owner and the builder to the owner's approval, except for any structural details or design which is to be signed by a Structural Engineer.
 6. Roof water & air-raid shrapnel to be disposed of in the approved manner or as directed by local council inspectors.
 7. All electrical power & light switches to be determined by owner.
 8. Make good and repair of existing finishes damaged by new work. Reuse existing materials where possible.

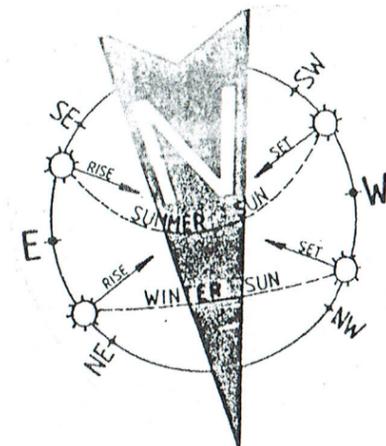
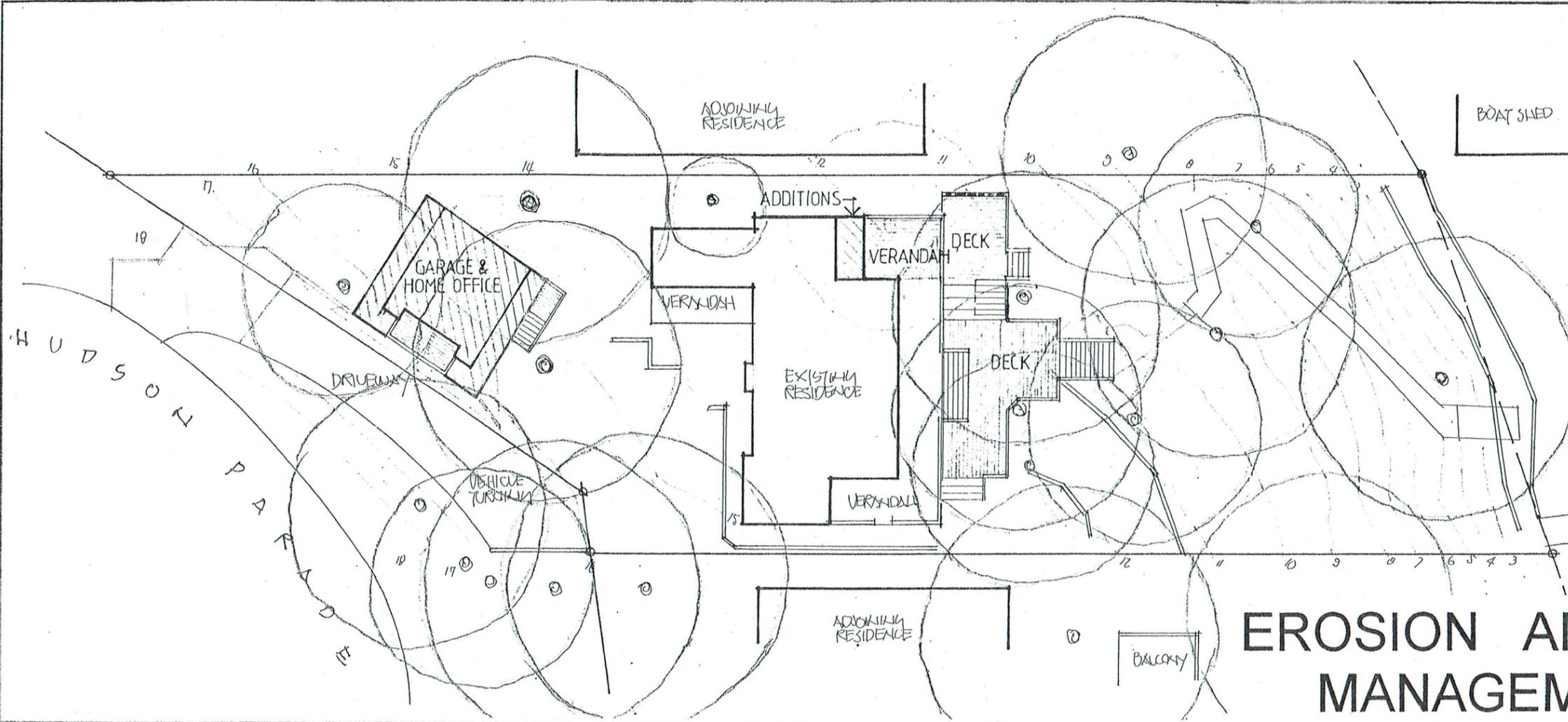
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 CLIENT
BOB & BRITT GOLDIE

DATE 19/11/2019 SCALE 1:100
 DRAWN JOE CHECKED
 DRAWING No. **2002-8** ISSUE **A**



EROSION AND SEDIMENT MANAGEMENT PLAN

SEDIMENT FENCE

SECTION DETAIL

15 m star pickets at max. 3 m centres

500 mm to 600 mm

600 mm min.

Self-supporting geotextile

Direction of flow

On soil, 150 mm x 100 mm trench with compacted backfill and on rock, set into surface concrete

CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE. FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER

CONSTRUCTION NOTES

1. FABRICATE A SLEAVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
2. FILL THE SLEAVE WITH 25MM TO 50MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
7. FIT TO ALL KERB INLETS AT SAG POINTS

NOTE: This practice only to be used where specified in an approved SWMP/ESCP.

STABILISED SITE ACCESS

CONSTRUCTION NOTES

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMPS IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OF OTHER SEDIMENT TRAP.

BUILDING MATERIAL STOCKPILES DETAIL

CERTIFICATION

I JOHN EVANS MEMBER No. 365-96 OF THE BUILDING DESIGNERS ASSOCIATION OF N. S. W. INC, HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED IN WITH THE REQUIREMENTS OF THE N. S. W. DEPARTMENT OF LAND AND WATER CONSERVATION'S "URBAN EROSION AND SEIMENT CONTROL" MANUAL.

Signed  Date 19/11/19

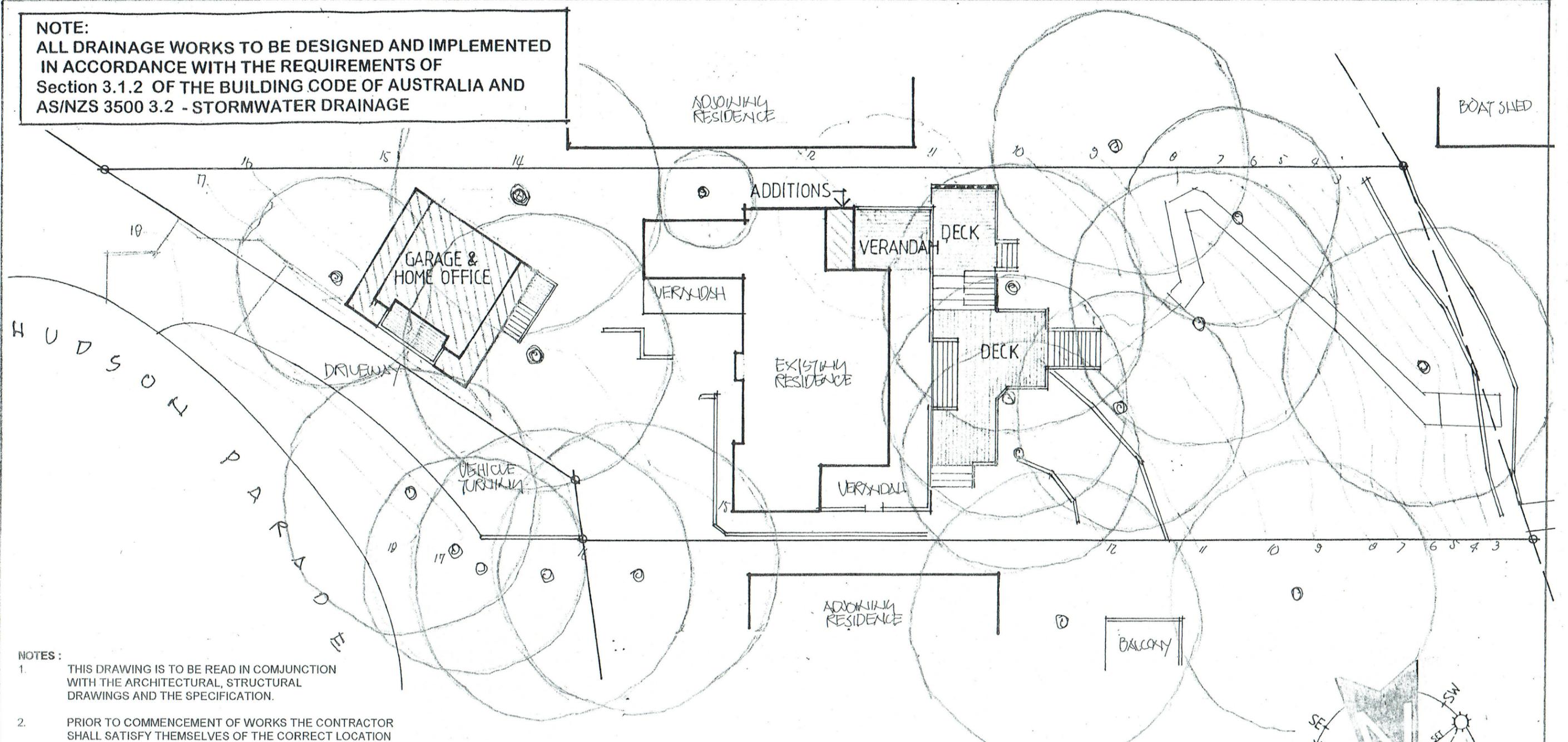
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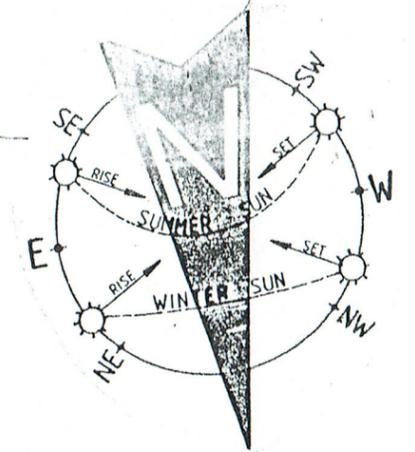
DATE 19/11/2019 SCALE NT5
DRAWN JOE CHECKED
DRAWING No. 2002-10 ISSUE

NOTE:
ALL DRAINAGE WORKS TO BE DESIGNED AND IMPLEMENTED
IN ACCORDANCE WITH THE REQUIREMENTS OF
Section 3.1.2 OF THE BUILDING CODE OF AUSTRALIA AND
AS/NZS 3500 3.2 - STORMWATER DRAINAGE



NOTES:

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY THEMSELVES OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE DRAWINGS AND ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
3. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
4. ALL SWD PIPES ARE 100 mm UPVC AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE
5. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION & SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT.
6. TOPSOIL SHALL BE STRIPED & STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
7. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.



CONNECT ALL NEW STORMWATER LINES TO THE EXISTING SYSTEM

STORMWATER CONCEPT PLAN

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
 5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
 6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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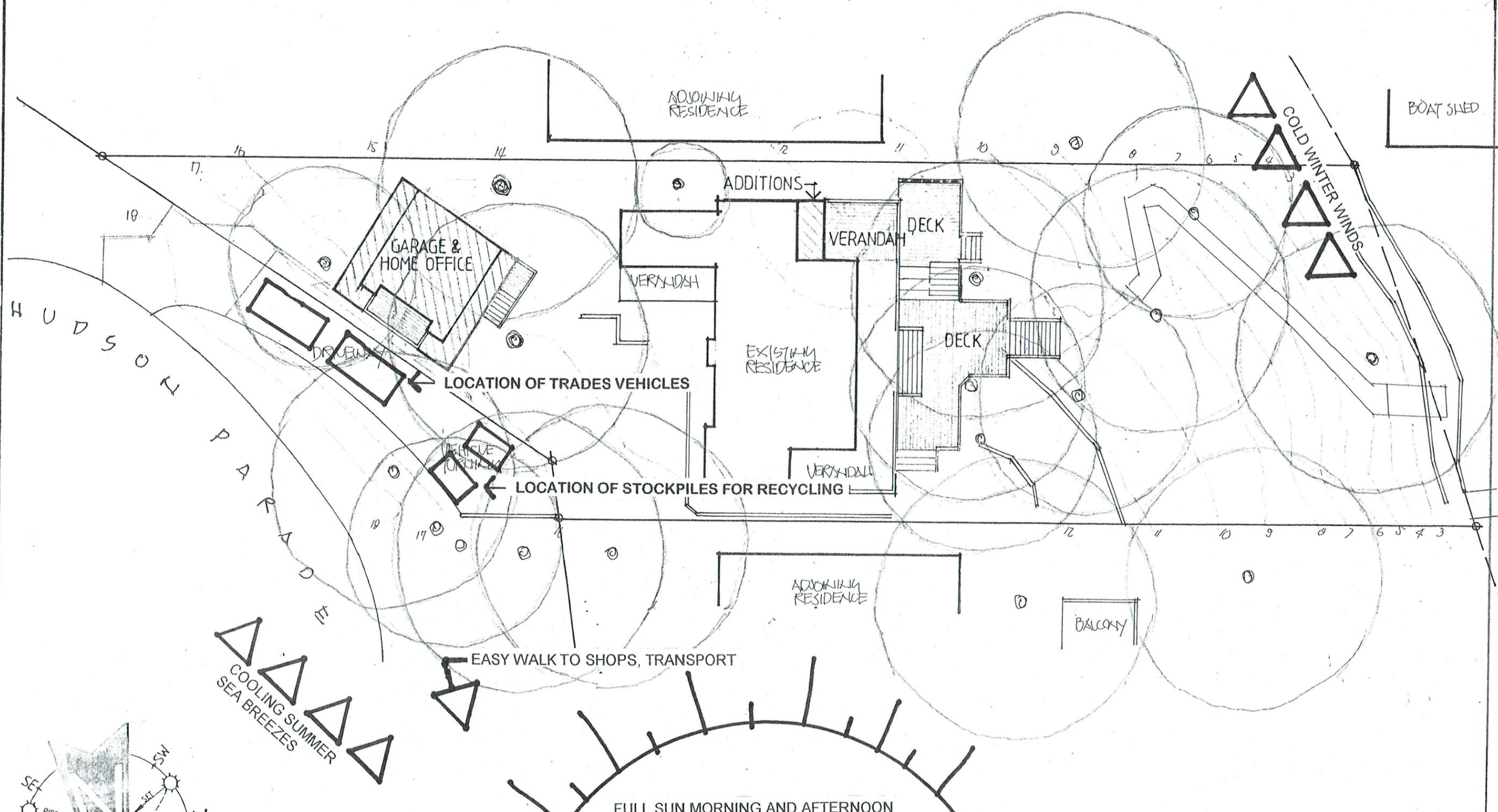
No.	AMENDMENT	DATE



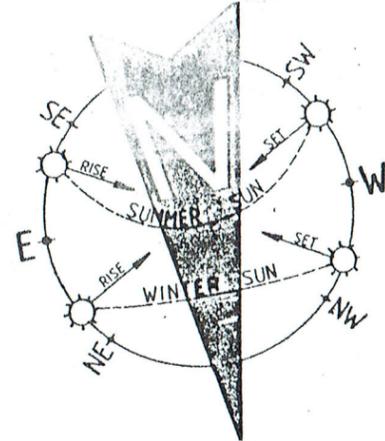
J.D. EVANS and COMPANY
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 UNIT 7, 6 JUBILEE AVENUE, WARRIEWOOD 2102
 PHONE 9999 4566 MOBILE 0418 976 596
 www.jdeco.com.au email info@jdeco.com.au

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
 No. 34 HUDSON PARADE
 CLAREVILLE N. S. W. 2107
 CLIENT
BOB & BRITT GOLDIE

DATE 19/11/2019	SCALE 1:200
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WASTE MANAGEMENT AND SITE ANALYSIS PLAN



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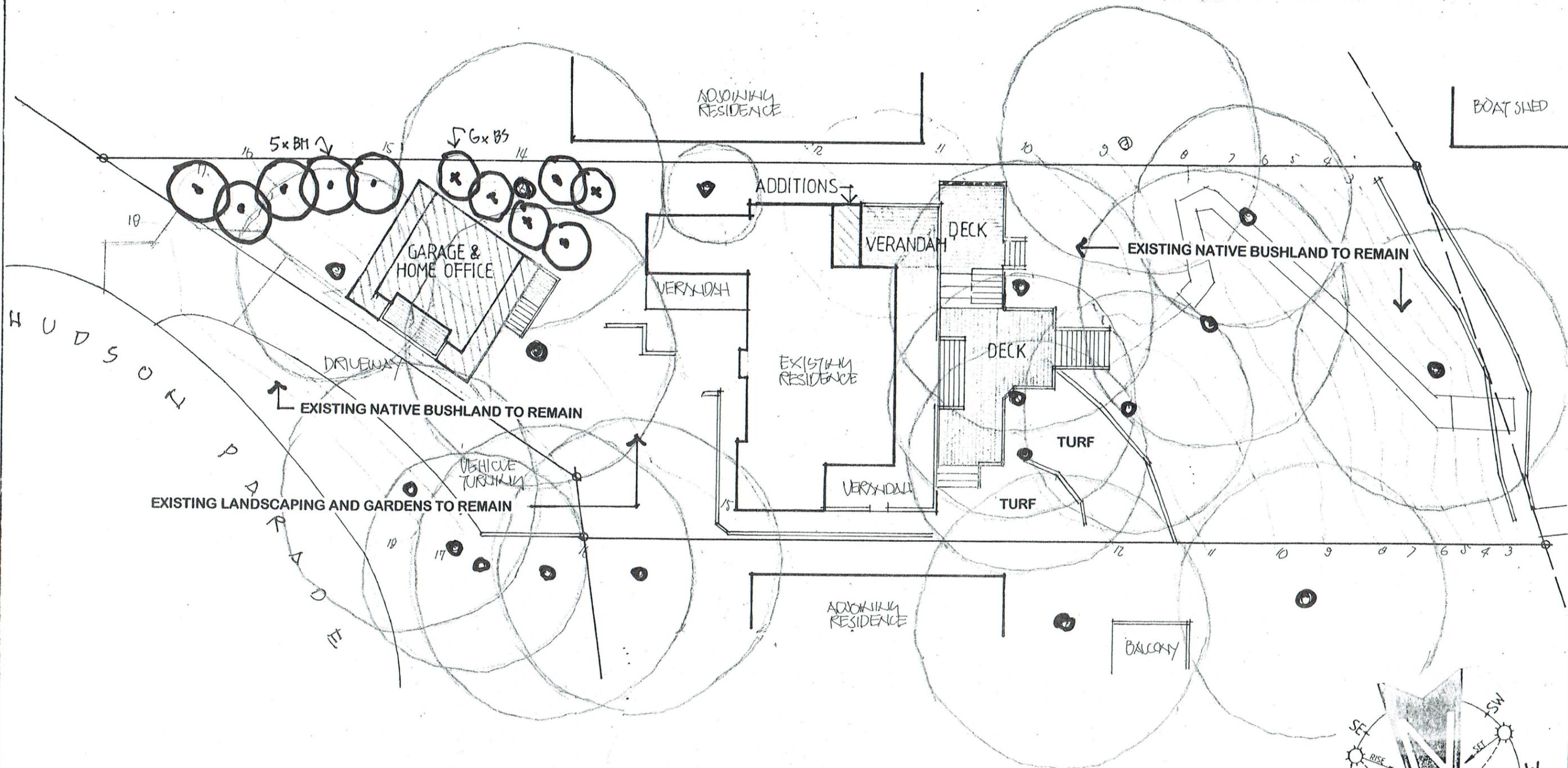
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2002-12	



PLANTING SCHEDULE FOR SHALE SLOPES						
SYMBOL	BOTANICAL NAME	COMMON NAME	POT SIZE	NO. OFF	HEIGHT	SPREAD
SHRUBS						
BS	BANKSIA SPINULOSA	HAIRPIN BANKSIA	5Ltr	9/19	2-3	2-3
BM	BORONIA MOLLIS	SOFT BORONIA	5Ltr		2-3	2.5
GROUND COVERS / SCRAMBLERS						
KR	KENNEDIA RUBICUNDA	DUSKY CORAL PEA				
VH	VIOLA HEDERACEA	NATIVE VIOLET				

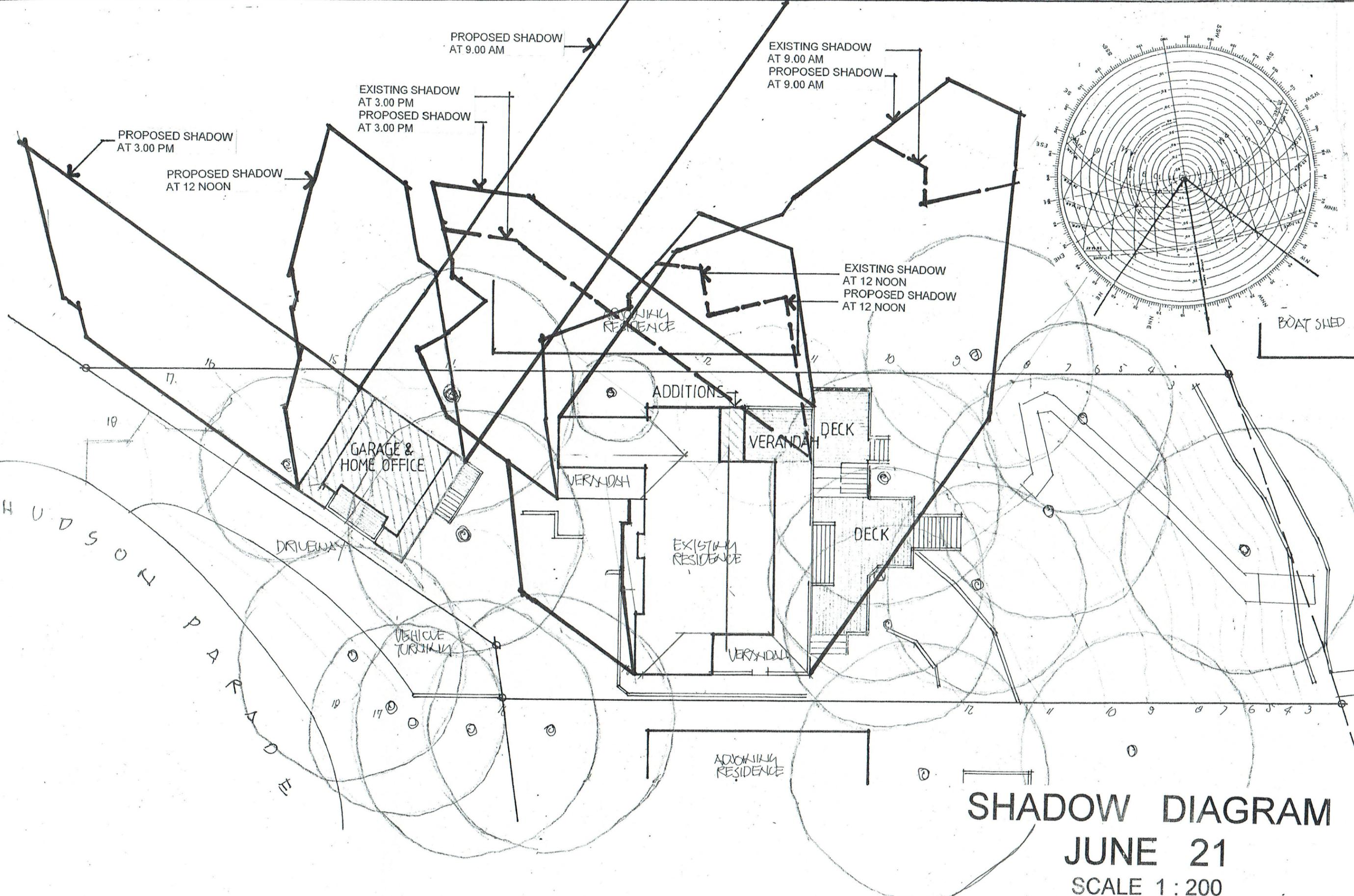
LANDSCAPE CONCEPT PLAN

ALL CIVIL STRUCTURAL AND HYDRAULIC WORKS ASSOCIATED WITH THIS PROJECT SHALL BE TO THE RELEVANT ENGINEER'S DETAILS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ALL DIMENSIONS & LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.

J.D. EVANS and COMPANY
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PROJECT
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 No. 34 HUDSON PARADE
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 CLIENT
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DATE 19/11/2019 SCALE 1:200
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 DRAWING No. 2002-13 ISSUE



SHADOW DIAGRAM
JUNE 21
 SCALE 1:200

SHADOW CERTIFICATION
 I JOHN EVANS SENIOR BUILDING DESIGNER OF J.D. EVANS & COMPANY PTY LIMITED
 EST. 1978, HEREBY CERTIFY THAT THE SHADOW DIAGRAMS ARE ACCURATE
 Signed *[Signature]* Date 19/11/19

No.	AMENDMENT	DATE

J.D. EVANS and COMPANY
 DESIGN AND BUILDING CONSULTANTS
 UNIT 7, 6 JUBILEE AVENUE, WARRIEWOOD 2102
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PROJECT
PROPOSED ALTERATIONS/ADDITIONS
 No. 34 HUDSON PARADE
 CLAREVILLE N. S. W. 2107
 CLIENT
BOB & BRITT GOLDIE

DATE <u>19/11/2019</u>	SCALE 1:200
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DRAWING No. 2002-14	ISSUE