

Our reference: 150015

30 September 2015

The General Manager Pittwater Council PO Box 882, Mona Vale NSW 1660

Dear Sir/Madam,

Re: 1 Harewood Place, Warriewood NSW 2102

Construction Certificate No. 150015/01

Development Application No.: N0195/15

iCERT Australia Pty Ltd has issued a Construction Certificate under Part4A of the Environmental Planning and Assessment Act 1979 for the above premises.

Please find enclosed the following documentation:

- Construction Certificate No. 150015/01
- Copy of the application for the Construction Certificate.
- Documentation used to determine the application for the Construction Certificate as detailed in Schedule 1 of the Certificate.
- · Cheque for Council's registration fee.

Our client has been advised of the necessity to submit to Council the Notice of Commencement of building works 48 hours prior to the commencement of works.

Should you need to discuss any issues, please do not hesitate to contact the Accredited Building Surveyor, Mark Painter.

Yours sincerely,

Mark Painter Building Surveyor

iCERT Australia Pty Ltd

\$36 Rec: 385860 6/10/15



CONSTRUCTION CERTIFICATE 150015/01

Issued under Part 4A of the Environmental Planning and Assessment Act 1979 Sections 109C and 81A(5)

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Applicant:

Address: Phone:

Luke Preston

1 Harewood Place, Warriewood NSW 2102

04040889924

OWNER DETAILS

Name of the person having benefit of the development

consent.

Address: Phone:

1 Harewood Place, Warriewood NSW 2102

04040889924

Luke Preston

RELEVANT CONSENTS

Consent Authority / Local Government Area:

Development Consent Number:

Date Issued:

Construction Certificate Number:

Date Issued:

Pittwater Council

N0195/15

21/07/2015 150015/01

30/09/2015

PROPOSAL

Address of Development:

Lot/DP:

1 Harewood Place, Warriewood NSW 2102

40 26441

Zone:

Building Classification:

Scope of Building Works Covered by this Notice:

Value of Construction Certificate (incl. GST)

Plans and Specifications approved:

Fire Safety Schedule:

Exclusions:

Critical stage inspections:

Conditions (CIs 187 or 188 of EPA Regs. 2000)

10a

Alterations and additions to existing dwelling

100,000.00

Schedule 1

N/A

See attached Notice

Nil

CERTIFYING AUTHORITY

Certifying Authority:

Accreditation Body:

Mark Painter

Building Professional Board

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I, Mark Painter, as the certifying authority, certify that the work if completed in accordance with the plans and specifications identified in Schedule 1 (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

Dated:

30/09/2015

Mark Painter

N.B. Prior to the commencement of work S81A (2) (b) and (c) of the Environment Planning and Assessment Act 1979 must be satisfied.

SCHEDULE 1: APPROVED PLANS AND SPECIFICATIONS

1. Endorsed Architectural Plans

Prepared by	Document	Drawing number	Revision	Date
Hot House Studio	Coversheet	DA_001	01	25/05/2015
Hot House Studio	Site Analysis	DA_002	01	25/05/2015
Hot House Studio	Ground Plan	DA_100	01	25/05/2015
Hot House Studio	Level 1 Plan	DA_101	01	25/05/2015
Hot House Studio	Roof	DA_102	01	25/05/2015
Hot House Studio	Landscaping & Drainage Plan	DA_103	01	25/05/2015
Hot House Studio	Elevations North and South	DA_200	01	25/05/2015
Hot House Studio	Elevation West	DA_201	01	25/05/2015
Hot House Studio	Sections	DA_300	01	25/05/2015
Hot House Studio	Calculations & Material Schedule	DA_700	01	25/05/2015
Hot House Studio	Calculation Plans	DA_701	01	25/05/2015

2. Endorsed Structural Plans

Prepared by	Document	Drawing number	Revision	Date
Waddington Consulting Pty Ltd	Structural Notes - SHT 1 of 2	11122-S0.00	А	14/09/2015
Waddington Consulting Pty Ltd	Structural Notes - SHT 2 of 2	11122-S0.01	A	14/09/2015
Waddington Consulting Pty Ltd	Garage/Driveway Slab Plan	11122-S1.00	A	14/09/2015
Waddington Consulting Pty Ltd	Garage/Driveway Slab Details SHT 1 of 2	11122-S3.00	А	14/09/2015
Waddington Consulting Pty Ltd	Garage/Driveway Slab Details SHT 2 of 2	11122-S1.02	А	14/09/2015
Waddington Consulting Pty Ltd	Roof Framing Plan & Details	11122-S2.00	А	14/09/2015

- 3. Endorsed Engineering Plans Not applicable.
- 4. Endorsed Landscape Plans Not applicable.

5. Endorsed other documents

Prepared by	Document	Drawing number	Revision	Date
Kolby Constructions	Dilapidation report of councils assets	i-Cert checklist General 1		10/09/2015

Project No.: 150015 http://www.i-cert.com.au





Hot House Designs	Environmental Management Plan	i-Cert checklist General 2	1	25/05/2015
Kolby Constructions	Silt Fence	i-Cert checklist General 3		16/09/2015
Hot House Designs	Construction Management Plan	i-Cert checklist General 4	1	25/05/2015
Kolby Constructions	Silt Fencing	i-Cert checklist General 5	-	10/09/2015
Hot House Designs	Sydney Water Stamp	i-Cert checklist General 6	1	25/05/2015
Waddington Consulting Pty Ltd	Certificate for Structural Engineering Design	i-Cert checklist General 7	11122-L2	14/09/2015
HBCF	Statement of Cover - i-Cert checklist General 9	HBCF15004129	-	27/08/2015
Long Service Corporation	Levy Online Payment Receipt	5105545	-	14/09/2015
Long Service Corporation	Levy Online Payment Receipt	5105695	-	16/09/2015
Kolby Constructions	Details of Principal Contractor	224450C	-	16/09/2015
Sj Plumbing	Stormwater Plan	•	-	24/09/2015
Sj Plumbing	Plumbing and Stormwater Design Certificate	-	-	24/09/2015
i-Cert	143b Pre Inspection	150015	-	30/09/2015



NOTICE OF APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(i) & 86(1)(a1)(i)

OWNER DETAILS

Name of the person having benefit of the Development

Consent:

Address:

Phone:

Luke Preston

1 Harewood Place, Warriewood NSW 2102

04040889924

RELEVANT CONSENTS

Consent Authority / Local Government Area:

Development Consent Number:

Date Issued:

Construction Certificate Number:

Pittwater Council

N0195/15

22/07/2015

150015/01

PROPOSAL

Address of Development:

Scope of Building Works Covered by this Notice:

1 Harewood Place, Warriewood NSW 2102

Alterations and additions to existing dwelling

PRINCIPAL CERTIFYING AUTHORITY

Certifying Authority:

Mark Painter

Accreditation Body:

Building Professional Board

The owner has appointed Mark Painter as the Principal Certifying Authority as stated in the Construction Certificate lodged with iCERT Australia Pty Ltd for the building works identified in this notice.

I, Mark Painter, Building Surveyor of Mark Painter located at PO Box 6250, North Sydney NSW 2059 accept the appointment as Principal Certifying Authority for the building works identified and covered under the relevant Construction Certificate as stated in this Notice.

Dated: 30/09/2015

Mark Painter **Building Surveyor**



NOTICE TO APPLICANT OF MANDATORY CRITICAL STAGE INSPECTIONS

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 86(a2)(i) (ii) (iii) b

APPLICANT DETAILS

Name of the person having benefit of the Development

Consent:

Address:

Phone:

1 Harewood Place, Warriewood NSW 2102

04040889924

Luke Preston

RELEVANT CONSENTS

Consent Authority / Local Government Area:

Development Consent Number:

Date Issued:

Construction Certificate Number:

Pittwater Council

N0195/15

22/07/2015

150015/01

PROPOSAL

Address of Development:

Scope of Building Works Covered by this Notice:

1 Harewood Place, Warriewood NSW 2102

Alterations and additions to existing dwelling

CERTIFICATION DETAILS

Certifying Authority:

Mark Painter

Accreditation Body:

Building Professional Board

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I, Mark Painter, iCERT Australia Pty Ltd located at PO Box 6250, North Sydney NSW 2059 acting as the principal certifying authority, hereby give notice in accordance with Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979 to the person having the benefit of the development consent that the mandatory critical stage inspections identified in Schedule 1 & Schedule 2 are to be carried out in respect of the building work.

The applicant, being the person having benefit of the development consent is required under Section 81(A)(b2)(ii) of the Environmental Planning and Assessment Act 1979 to notify the principal contractor (if not an owner-builder) of the applicable mandatory critical stage inspections specified under this notice.

To allow a principal certifying authority or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifying authority at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 163 of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspection will prohibit the principal certifying authority under Section 109E(3)(d) of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

Dated: 30/09/2015

Mark Painter Building Surveyor

SCHEUDLE 1: MANDATORY CRITICAL STAGE INSPECTIONS

No.	Critical Stage Inspection	Inspector
1.	After excavation for and prior to placement of any footings	Certifying Authority
2.	Prior to covering of the framework for any floor, wall, roof, or other building element	Certifying Authority
3.	Prior to covering any storm water drainage connections	Certifying Authority
4.	After the building work has been completed & prior to any Occupation Certificate being issued in relation to the building	Principal Certifying Authority



INSPECTION REPORT – 150015 – 143B Pre-Approval Inspection 1 Harewood Place, Warriewood NSW 2102

APPLICANT DETAILS Applicant: Luke Preston Address: 1 Harewood Place, Warriewood NSW 2102 Phone: 04040889924 RELEVANT CONSENTS **Local Government Area:** Pittwater Council Development Applications (if applicable) N0195/15 **Construction Certificate Number** 150015/01 PROPOSAL 1 Harewood Place, Warriewood NSW 2102 Address of Development: Lot / DP: 40 26441 Land Use Zoning: Scope of Building Works Covered by this Notice: Alterations and additions to existing dwelling INSPECTION DETAILS Inspector: Mark Painter Inspection date and time: 30/09/2015 12:01 AM

INSPECTION RESULTS

Accreditation No.:

We have attended the above property and completed an inspection. The areas inspected and the overall outcome of the inspection are listed below, together with any specific defects noted or documents required.

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Inspection Area	Inspection Outcome	Reinsertions	
1. 143B Pre-Approval Inspection	Satisfactory	No re-inspections required for this inspection.	

SIGNED BY:

Mark Painter - Inspector

30/09/2015



ABN: 79462 898 283 LIC: 224450C Ph: 0403 823 807

kolbycristaudo@bigpond.com

10/09/15

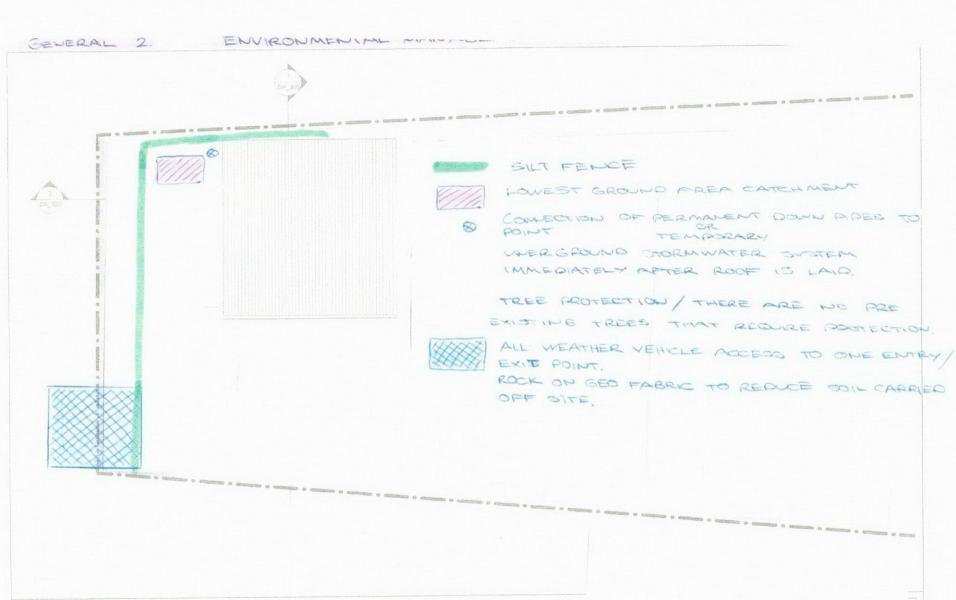
Reference: I cert checklist General 1.

Dilapidation report of councils assets.

Attached are x3 photographs of front guttering and street of no.1 Harewood place Warriewood. General condition is fairly good. Normal minor cracks from general wear and tare can be seen.







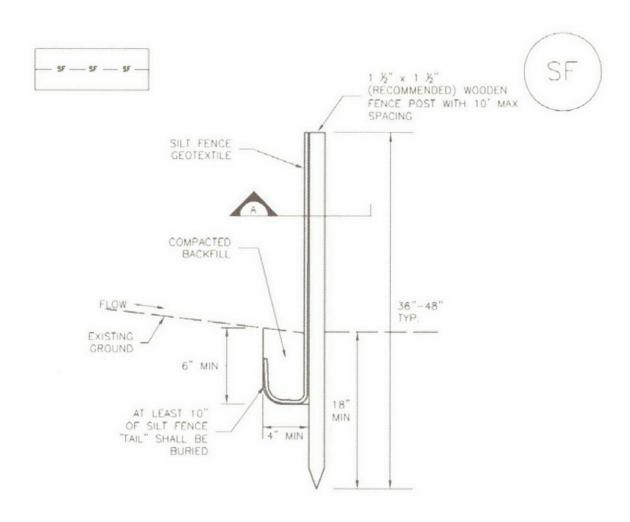
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No.	Description	Date
		25-05-15

	LUKE & JULIE PRESTON	LEVEL 1 PLA	N		
PROJECT:		Project number	20140912		
	ALTERATIONS & ADDITIONS Date	25-05-15	DA 101		
	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		- Alles
	HAMEWOOD TENDE, WARRIEWOOD	Checked by			@A3 1 1



SILT FENCE



SECTION A

SF-1. SILT FENCE

SILT FENCE INSTALLATION NOTES

- 1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- 2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- 3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- 4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- 5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- 6 AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' 20').
- 7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION.
 MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS
 POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE
 EROSION, AND PERFORM NECESSARY MAINTENANCE.
- 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- 4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- 5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- 6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- 7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

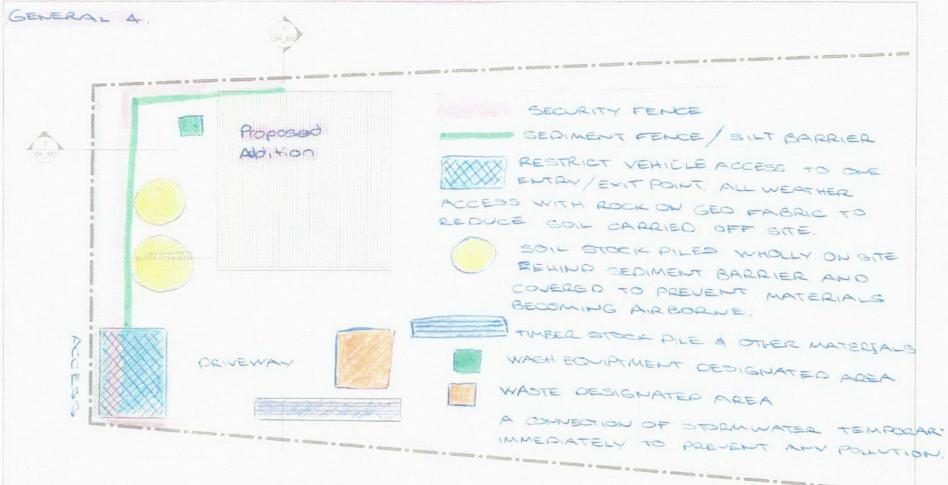
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

Click the back button or the Left Arrow on your Browser to return to the site. PROFILE FENCE POST-8 FT. ON CENTERS -1"=30' (HORIZONTAL) 1"=3" (VERTICAL) DRAWSTRING RUNNING THROUGH FABRIC ALONG TOP OF FENCE FABRIC SECURED TO POST WITH METAL . FASIENERS AND REINFORCEMENT BETWEEN FASTENER AND FABRIC SILT ACCUMULATION . THE PERSON NAMED IN 6.0 IM. SILT FENCE SEDIMENT BARRIER 6.0 IN.

NO SCALE

DIG 6" TRENCH, BURY BOTTOM

FLAP, TAMP IN PLACE



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Designs by Kot House Studio
14: 0433-775-490
wate@herhousestudio.com

Description	Date
DAISSUE	25-05-15
	DAISSUE

	LUKE & JULIE PRESTON	LEVEL 1 PLAN			
PROJECT.		Project number	20140912		
	ALTERATIONS & ADDITIONS	Date	25-05-15	DA 101	A 101
	1 HAREWOOD PLACE, WARRIEWOOD	Orawn by	VV. Cugle		Man .
	THATESTOOL STATESTOOL	Checked by		Scale	69A3 1 100



ABN: 79462 898 283 LIC: 224450C Ph: 0403 823 807

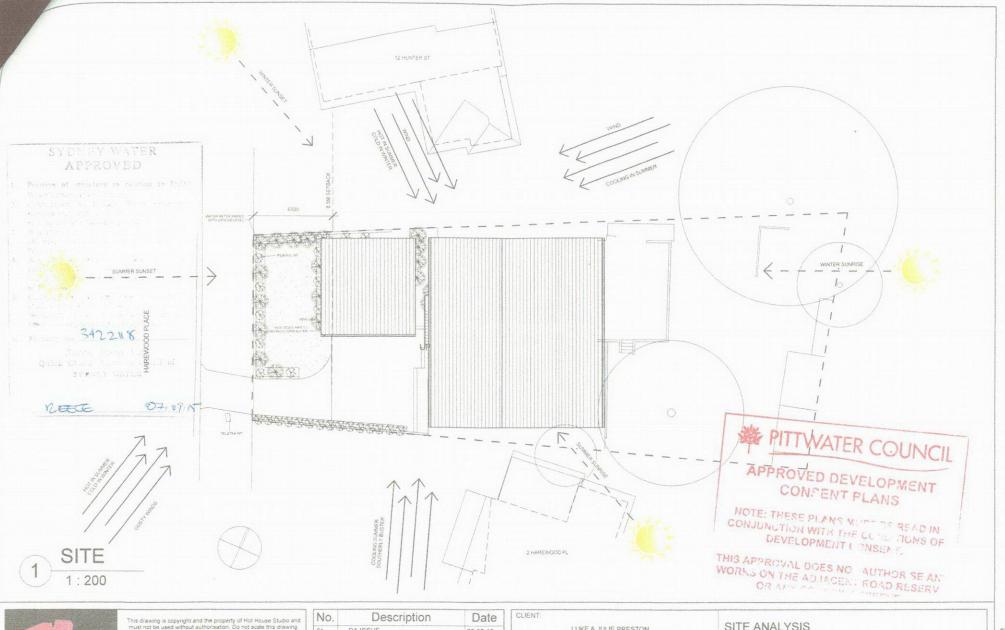
kolbycristaudo@bigpond.com

10/09/15

Subject: I Cert checklist for C/C General. 5.

I hereby state that all silt fences will be erected accordingly to details shown in previous diagram and properly maintained throughout the building project as stated in general checklist no. 5.

Regards Kolby Crisatudo Builder





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Designs by Hot House Studio M 0433 775 490 wade@hothousestudio.com

No.	Description	Date
01	DA ISSUE	25-05-15
		-

CLIENT:	LUKE & JULIE PRESTON	SITE ANALY	SIS		
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912	I and the second	
		Date	25-05-15	DA 002	A 002
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		
		Checked by	SC	Scale	@A3 1:200



Our ref: 11122-L2

Waddington Consulting Pty Ltd

ACN 130 522 851
Structural and Civil Engineering
Suite 506, Level 5
22 Central Ave, Manly
P.O. Box 1044
Manly NSW 1655

P (02) 9976 0070

14 September 2015

Mr and Mrs Preston, 1 Harewood Place, Warriewood NSW

Dear Luke and Julie,

Subject: Alterations & Additions at 1 Harewood Place, Warriewood

Certificate for Structural Engineering Design

Please find attached copies of engineering drawings 11122-S0.00, S0.01, S1.00, S1.01, S1.02, S2.00 (revision A) relating to the proposed alterations and additions at 1 Harewood Place, Warriewood.

I certify that the structural engineering design of the elements shown on the above-mentioned plans has been carried out in accordance with the BCA, relevant Australian Standards and normal engineering practice.

Please do not hesitate to contact me if you have any queries regarding this project or require any further structural engineering advice.

Yours sincerely,

Simon Waddington

Sino libethigo

MIEAust CPEng NPER (Structural)
Director

Waddington Consulting Pty Ltd

PROPOSED ALTERATIONS & ADDITIONS at: 1 HAREWOOD PLACE, WARRIEWOOD for: LUKE & JULIE PRESTON

STRUCTURAL DRAWINGS

11122-S0.00....STRUCTURAL NOTES SHT 1 of 2
11122-S0.01....STRUCTURAL NOTES SHT 2 of 2
11122-S1.00....GARAGE & DRIVEWAY SLAB PLAN
11122-S1.01....GARAGE & DRIVEWAY SLAB DETAILS SHT 1 of 2
11122-S1.02....GARAGE & DRIVEWAY SLAB DETAILS SHT 2 of 2
11122-S2.00....ROOF FRAMING PLAN & DETAILS

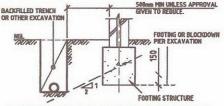
STRUCTURAL NOTES

GENERAL

- 61 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND P1 OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- 62 THE INFORMATION CONTAINED ON THESE DRAMINGS IS FOR STRUCTURAL ENGINEERING PURPOSES ONLY. IN ALL OTHER MATTERS, THE APPROVED ARCHITECTS DRAMINGS SHALL TAKE PRECEDENCE, ALL DISCREPANCES THAT COULD RESULT IN CHAINGES TO THE STRUCTURAL DETAILS SHALL BE REPERRED TO THE ROMBERS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 63 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT AUSTRALIAN STANDARDS AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BULLDING AUTHORITIES.
- 64. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- 65 THE BUILDER SHALL GIVE 40 HOURS NOTICE FOR ALL ENGINEERING INSPECTIONS.
 66 UNLESS NOTED DTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE
 IN MILLIMETRES. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE.
- 67 THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND LUCAL GOVERNMENT DRIBINANCES.
- GB WIND LOADS ARE DETERMINED IN ACCORDANCE WITH AS4055 FOR WIND CLASSIFICATION: "NT WITH A METAL SHEET ROOF.

FOUNDATIONS & EARTHWORKS

- FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING INTENSITY OF SORPS ON SANDY CLAY RESIDUAL SOLL, FOUNDATION MATERIAL TO BE CONFIRMED ON SITE. STIPERED RAFT SLAB FOOTING DESIGNED FOR "FRANED" CONSTRUCTION ON CLASS "N" SITE IN ACCORDANCE WITH AS 2870.
- F2 TOPSOIL INCLUDING GRASS ROOTS IS TO BE RENOVED FROM THE AREA TO SUPPORT SLABS AND FOOTINGS. FOOTINGS TO BE CONSTRUCTED AND BACKFILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING OR DRYING OUT BY EXPOSURE. TRENCHES TO BE DEWATERED & CLEANED OUT PRIOR TO CONCRETE PLACEMENT.
- F3 UNLESS OTHERWISE APPROVED BY THE ENGINEER, THE LIMITS OF EXCAVATIONS MEAR EXISTING FOOTINGS SHALL BE AS SET OUT IN THE DETAIL BELOW.



PRIOR TO ANY EXCAVATION NEAR EXISTING FOOTINGS, THE BUILDER SHALL DETERMINE THE DEPTH OF POLINDING OF EXISTING FOOTINGS BY LOCAL INVESTIGATORY EXCAVATION. GENERAL EXCAVATION SHALL NOT PROCEED BELOW A LEVEL 150mm ABOVE THE UNDERSIDE OF EXISTING FOOTINGS UNITL INSTRUCTION S OBTAINED FROM THE ENGINEER ON PROCEDURES & PRECAUTIONS TO BE TAKEN.

CONTROLLED FILL: SAND FILL UP TO 0.000 DEEP, WELL COMPACTED BY NOT MORE THAN 300000 THICK LAYERS BY A VIBRATING PLATE OR VIBRATING ROLLER. NON-SAND FILL UP TO 0.400 DEEP, WELL COMPACTED BY LAYERS NOT MORE THAN 150000 DEEP BY A MECHANICAL ROLLER, CLAY FILL SHALL BE MOIST DURING COMPACTION.

REINFORCEMENT

- R1 ALL REINFORCING BARS SHALL BE GRADE DS00N TO AS4671 UNLESS NOTED OTHERWISE. ALL NESH SHALL BE GRADE 500L TO AS4671 AND SHALL BE SUPPLIED IN FLAT SHEETS.
- R2 REINFORCEMENT NOTATION SHALL BE AS FOLLOWS IN THE FOLLOWING ORDER

NUMBER OF BARS IN GROUP

| BAR GRADE AND TYPE

179/20-250

NOMINAL BAR SIZE IN mm

R3 REINFORCEMENT SYMBOLS:

- "W" DENOTES GRADE 500 N DEFORMED BARS TO AS4671 GRADE N.
 "R" DENOTES GRADE 250 R HOT ROLLED PLAN BARS TO AS4671.
- 'F' DENOTES HARD-DRAWN WIRE REINFORCING MESH TO AS4671.
- "W" DENOTES HARD-DRAWN PLAIN WIRE TO AS4672
 "SL'or "RL" DENOTES WELDED GRADE SOR REMFORCING MESH TO AS 4671
- R4 SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN OR OTHERWISE APPROVED IN WRITING BY THE ENGINEER. LAPS SHALL BE IN ACCORDANCE WITH AS 3600 AND HOT LESS THAN THE DEVELOPMENT LENGTH POR FAVI HAD.

AS SHOWN IN THE TABLE BELO

	SPLICE SCHEE	JULE
BAR DIA	TENSION SPLICE LENGTH	COMPRESSION SPLICE LENGTH
N12	475	450
N16	750	600
N20	1000	750
N24	1100	900

- RS REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION
- R6 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER.
- 77 MESH SHALL BE LAPPED 2 TRANSVERSE WIRES PLUS 50mm. BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETER CENTRES WITH 3 WRAPS OF THE WIRE.
- 18 SLAR REINFORCEMENT SHALL EXTEND AT LEAST 65mm ONTO MASONRY SUPPORT WALLS AND 56% OF BOTTOM REINFORCEMENT SHALL BE COGGED TO ACHIEVE ANCHORAGE AT SIMPLY SUPPORTED BIOS. IF THIS CAMBOT BE ACHIEVED DUE TO COVER REQUIREMENTS THEN ALL THE BARS SHALL BE COGGED. FOR MESH THE LAST WELDED CROSS ROD SHALL BE LOCATED OVER THE WALL AND 50mm MANIBUM BEYOND THE FACE OF THE WALL.

REINFORCEMENT Cont

- R9 WHERE TRANSVERSE THE BARS ARE NOT SHOWN PROVIDE N12-460 SPLICED WHERE NECESSARY AND LAP WITH MAIN BARS 400MM LIBLESS NOTED DETHERWISE.
- R10 NO OPENINGS IN BEAMS OR COLUMIS SHALL BE MADE OTHER THAN THOSE SPECIFICALLY DETAILED. FOR OPENINGS IN SLABS UP TO 300mm SQUARE THE RENFORCEMENT SHALL BE DISPLACED TO THE SIDES. FOR OPENINGS BETWEEN 300mm SQUARE. AND 600mm SQUARE THE REINFORCEMENT CROSSING THE PROPOSED DEPNING SHALL BE CUT AMO THE FOLES TRIPMED USING SIZIVE SHARS TOP AND BOTTOM EXTENDING 1500mm PAST EACH SIDE OF OPENING. OPENINGS LARGER THAN 600mm SQUARE SHALL BE DETAILED BY THE ENGINEER.
- R11 JOGGLES TO BARS SHALL COMPRISE A LENGTH OF 12 BAR DIAMETERS BETWEEN BEGINNING AND END OF AN OFFSET OF 1 BAR DIAMETER.
- R12 ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHARS, PLASTIC CHARGS OR CONCRETE CHARGS AT NOT GREATER THAN 1 METRE CENTRES BOTH MAYS, AND 800 ACAN MAY FOR MESH, WHEN POURED ON GROUND AS FORMWORK PROVIDE PLATES UNDER ALL BAR CHARGS.
 PLASTIC TIPPED STEEL CHARGS SHALL NOT BE USED ON EXPOSED FACES IN EXPOSURE CLASSIFICATION BY BE AND COME Y PLASTIC OR CONCRETE CHARGS.
- G SITE DENDING OF REINFORCEMENT SHALL BE AVOIDED IF POSSIBLE. WHERE SITE BENDING IS UNAVOIDABLE IT SHALL BE CARRIED OUT COLD, WITHOUT THE APPLICATION OF HEAT, AND IN ACCORDANCE WITH THE PRACTICE NOTE "PIPM" OF THE STEEL REINFORCEMENT INSTITUTE OF AUSTRALIA USING MECHANICAL BENDING TOOLS.

ISSUED FOR CONSTRUCTION

The Internation contained on this drowing has home proposed for the container one of the Client for this project, the liability or reaponability in accepted for one of this information by any third party or her any other project.

A ISSUED FOR CONSTRUCTION

J.C. SW 16.89.2015
ISSUE

DESCRIPTION

BY ARR DATE

ARCHTECT / DESIGNER

Designs by Hot House Studio M 0433 775 490 wade@hothousestudio.com



IONAL ENGINEERS:

Waddington Consulting Pty Ltd

NOW 150 152 160
Structural and Civil Engineering Consultants

Structural and Civil Engineering Consultants Sute 5, Level 5, 22 Central Avenue Marky NSW P.O. Box 1044 Marky NSW 1855 Phone (02) 9976 0070 Fax (02) 9976 0095 Ernal enquiros@wadconsulting.com PROPOSED ALTERATIONS & ADDITIONS at: 1 HAREWOOD PLACE, WARRIEWOOD for: LUKE & JULIE PRESTON

STRUCTURAL NOTES-SHT 1 of 2

CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS. READYNIX CONCRETE SUPPLY SHALL COMPLY WITH AS 1979, ALL CEMENT TO BE TYPE 'SL' PORTLAND.
- MAXIMUM DRYING SHRINKAGE SHALL BE 600 MICROSTRAIN AT 56 DAYS. PROJECT \$2 CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379. NO ADMOCTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING.
- CLEAR CONCRETE COVER TO ALL REINFORCEMENT SHALL BE AS FOLLOWS UNLESS CHOWN OTHERWISE

LOCATION	CONCRETE GRADE (MPa)	CAST AGAINST GROUND	CAST IN FORMS WITH EXPOSURE	CAST IN FORMS & NOT EXPOSED
FOOTINGS	25	50	50	30
SLABS ON GROUND	32	40	4.6	25
SUSPENDED SLABS	32	40	40	25

NOTE: WHERE CONCRETE IS POURED ON A VAPOURPROOF MEMBRANE 0.2 mm MINIMUM THICKNESS, THE COVER TO CONCRETE CAST AGAINST GROUND MAY BE DEDINED BY 18 mm

- NO ADMIXTURES OTHER THAN LOW RANGE WRA SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING
- DEPTHS OF BEAMS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.
- CONCRETE SIZES SHOWN DO NOT INCLUDE THICKNESSES OF APPLIED FINISHES. FINISHES. NO FINISH WHICH DECREASES COVER IS ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- FOR CHAMPERS, DRIP GROOVES, REGLETS, ETC REFER TO ARCHITECT'S DETAILS, CT MAINTAIN COVED TO DEMEDD/FMENT AT THESE DETAILS.
- NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- CONSTRUCTION JOINTS AND CLOSING STRIPS SHALL BE USED TO CONTROL AND REDUCE SHRINKAGE CRACKING IN WALLS AND FLOORS, AND COLD JOINTS IN LARGE POURS. THESE JOINTS SHALL BE PLANNED IN ADVANCE, TO THE APPROVAL OF
- THE FINISHED CONCRETE SHALL BE A DENSE HONOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE NICLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.
- CURING OF ALL CONCRETE IS TO BE ACHIEVED BY KEEPING SURFACES CONTINUOUSLY WET FOR A PERIOD OF 3 DAYS, AND PREVENTION OF LOSS OF MOISTURE FOR A TOTAL OF 7 DAYS FOLLOWED BY A GRADUAL DRYING OUT. APPROVED SPRAYED ON CURING COMPOUNDS COMPLYING WITH AS 3799 MAY BE USED WHERE NO FLOOR FINISHES ARE PROPOSED. POLYTHENE SHEETING OR WET HESSIAN MAY BE USED IF PROTECTED FROM WIND AND TRAFFIC.
- CONDUITS, PIPES, ETC, SHALL ONLY BE LOCATED IN THE MIDDLE ONE THIRD OF SLAB DEPTH AND SPACED AT NOT LESS THAN 3 DIAMETERS AND SHALL NOT BE PLACED WITHIN THE REINFORCEMENT COVER
- CB REPAIRS TO CONCRETE SHALL NOT BE ATTEMPTED WITHOUT THE PERMISSION OF \$9 THE ENGINEER.

STRUCTURAL STEEL

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100 AND AS 1554 EXCEPT WHERE VARIED BY THE CONTRACT
- IMLESS NOTED OTHERWISE ALL MATERIAL SHALL RE-
 - GRADE 250 HOT-DOLLED PLATES COMPLYING WITH AS 3678. - GRADE 250 HOT-ROLLED FLATS, TFC, TFB, ANGLES 100x100EA OR 125x75UA AND SHALLER COMPLYING WITH AS 3679.1:
 - GRADE 300PLUS UB, UC, PFC AND ANGLES 125x125EA OR 150x90UA AND LARGER
 - GRADE 300 WB, WC COMPLYING WITH AS 3679.2;
 - GRADE C350 RHS, CHS COMPLYING WITH AS 1163;

THREE(3) COPIES OF WORKSHOP FABRICATION DRAWINGS SHALL BE SURNITTED TO THE ENGINEER FOR REVIEW AT LEAST 7 DAYS PRIOR TO COMMENCEMENT OF FABRICATION AND PERMISSION TO USE OBTAINED PRIOR TO FABRICATION. PERMISSION TO USE DOES NOT RELIEVE THE BUILDER OF THE FULL RESPONSIBILITY FOR DIMENSIONS, FIT AND COMPLIANCE WITH ARCHITECTURAL AND ENGINEERING DRAWINGS.

4.6/S....COMMERCIAL BOLTS OF GRADE 4.6 TO AS 1111, SNUG TIGHTENED. 8.8/S._HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS 1252. SMIIG TIGHTENED

8.8/TB_HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS 1252 FIREY TENSIONED TO AS A 180 AS READING MINIT

RR/TF...HIGH STRENGTH STRUCTURAL BOLTS OF GRADE RR TO AS 1252 FULLY TENSIONED TO AS 4900 AS A FRICTION JOINT WITH FACING SURFACES LEFT UNCOATED

ALL BOLTS SHALL BE M20 GRADE 8.8/S UNLESS NOTED. NO CONNECTION SHALL HAVE LESS THAN 2 BOLTS. ALL BOLTS, NUTS & WASHERS TO BE GALVANISED. TB AND TF BOLTS TO BE INSTALLED USING APPROVED LOAD INDICATING WASHERS, OR BY TURN OF NUT CONTROL OF TENSIONING

WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1554.1. WELDING CONSUMABLES SHALL BE EABXX OR W50X UN.O. ALL WELD SHALL BE 6 mm CFW SP CATEGORY U.N.O. CPBW SHALL BE SP CATEGORY ILMO, INSPECTION SHALL BE CARRIED OUT TO AS 4554.1 ALL GP/SP WELDS SHALL BE 100% VISUALLY SCANNED. SP WELDS ALLOW FOR 10% VISUAL EXAMINATION U.N.O. BUTT WELDS SHALL BE COMPLETE PENETRATION WELDS TO AS 1554.

- ALL DETAILS, GAUGE LINES ETC. WHERE NOT SPECIFICALLY SHOWN ARE TO BE IN ACCORDANCE WITH AISC DESIGN CAPACITY TABLES FOR STRUCTURAL STEEL AND AISC STANDARDIZED STRUCTURAL CONNECTIONS. PLATES TO BE 10mm THICK, EX-STANDARD SQUARE EDGE
- PROVIDE SEAL PLATES TO ALL HOLLOW SECTIONS, PROVIDE VENT HOLES TO HOLLOW MEMBERS & DRAIN HOLES TO ALL MEMBERS TO BE HOT DIP GAI VANISED.
- IT IS THE BUILDER'S RESPONSIBLITY TO ENSURE THAT STEEL WORK IS SECURELY TEMPORARILY BRACED AS NECESSARY TO STABILISE THE STRUCTURE DURING ERECTION.
- STRUCTURAL STEELWORK SHALL HAVE THE FOLLOWING SURFACE TREATMENT IN ACCORDANCE WITH THE SPECIFICATION.

ELEMENT	SURFACE CLEANING	PROTECTIVE COATING
INTERNAL	POWER WIRE BRUSHING OF ABRASIVE GRIT BLASTING	1 COATRUST INHIBITIVE ALKYD PRIMER OR EQUIV. + 1 TOP COAT ALL WEATHER GLOSS ACRYLIC
EXTERNAL	ABRASIVE GRIT BLASTING ICLASS 2.5) or PICKLING	1 COAT INORGANIC ZINC SILICATE PRIMER OR EQUIV. + 1 TOP COAT ALL WEATHER BLOSS ACRYLIC WITH UV PROTECTOR
EXTERNAL (ALT.)	PICKLING	HOT DIP GALVANISED

S10 THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FOXING STEEL TO STEEL AND TIMBER TO STEEL WHETHER OR NOT DETAILED ON THE DRAWINGS. THE FABRICATION AND ERECTION OF THE STRUCTURAL STEEL WORK SHALL SUPERVISED BY A QUALIFIED PERSON EXPERIENCED IN SUCH SUPERVISION, ENSURING ALL REQUIREMENTS OF THE DESIGN ARE MET.

ALL BEAMS AND RAFTERS SHALL BE INSTALLED AND ERECTED WITH MATIRAL CAMBED ISP ALL MEMBERS SHALL BE SUPPLIED IN SINGLE LENGTHS. SPLICES SHALL ONLY BE PERMITTED IN LOCATIONS SHOWN ON THE STRUCTURAL DRAWINGS.

- BL1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3700.
- BL2 STRENGTHS OF MASONRY UNITS AND TYPE OF MORTAR SHALL BE AS FOLLOWS:

CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH Puc = 15 MPa MORTAR OFFICHT . LIME . CANDS - 1.025 . 3

MORTAR ADMOSTURES SHALL NOT BE USED WITHOUT THE WRITTEN APPROVAL OF THE SUPERINTENDENT.

- DNLY LOAD BEARING MASONRY WALLS ARE SHOWN IBIDER CONCRETE SLARS.
- OTHER THAN DEMENDEED CONCRETE BY OCKNOBIC MASONDY SUBDODTING SLABS AND BEAMS SHALL BE TROWELLED SMOOTH WITH MORTAR FILLING ALL VOIDS, TWO LAYERS OF MALTHOID SHALL BE PLACED FULL WIDTH ACROSS SUCH LOAD BEARING SURFACES EXCEPT WHERE PROPRIETARY BEARING STRIP IS NOTED OR ALTERNATIVE DETAIL IS DOCUMENTED. THE HEADS OF LOAD BEARING WALLS SHALL NOT EXTEND ABOVE THE SOFFIT OF THE CONCRETE SLAB ABOVE.
- ALL MASONRY SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE
- NO CHASES OR RECESSES ARE PERMITTED IN LOAD BEARING MASONRY WITHOUT THE APPROVAL OF THE ENGINEER
- PROVIDE VERTICAL CONTROL JOINTS AT 10 m MAX. CENTRES GENERALLY, AND 5 m MAX, FROM CORNERS FOR BRICKWORK AND UNRENFORCED BLOCKWORK.
- REFER TO CONCRETE NOTES FOR DE-PROPPING PRIOR TO CONSTRUCTION OF MASONRY WALLS ON SUSPENDED SLABS.
- REINFORCED CONCRETE BLOCKWORK SHALL COMPLY WITH THE FOLLOWING,

PROVIDE CLEANOUT HOLES 100 mm SQUARE MINIMUM AT BASE OF ALL WALLS AND ROD CORE HOLES TO REMOVE PROTRUDING MORTAR FINS PRIOR TO GROUTING

& CORE FILLING GROUT SHALL BE - f'c = 20 NPa MINIMUM CEMENT CONTENT = 300 kg/m,

SI UMP = 230 ± 30 mm

 REINFORCEMENT PROJECTING FROM FOUNDATION OR SLABS INTO CORES. SHALL BE SET ACCURATELY IN PLACE USING TEMPLATES TO ALIGN WITH THE CENTRE OF THE LENGTH OF CORES AND WITH COVER AS NOTED, WHERE HORIZONTAL BARS ARE INDICATED, THE WEBS OF THE BLOCKS BELOW THE BARS SHALL BE CUT DOWN TO ACCOMMODATE THE BARS. · GROUT ALL CORES BY REINFORCED BY DOKWORK UNIFES OTHERWISE MOTED. HERBIT OF BLOCKWORK TO BE GROUTED ON ONE DAY SHALL BE 2400mm. SPOUT SHALL RE PLACED BLUETS OF 1265000 HAYBUR AND COMPACTED BY POKER VIBRATOR. A SHORT TIME SHOULD ELAPSE BETWEEN SUCCESSIVE LIFTS TO ALLOW PLASTIC SETTLEMENT TO OCCUR. . PROVIDE 50 mm COVER FROM THE OUTSIDE OF THE BLOCKWORK UNLESS. MOTEO

BACKFILL TO RETAINING WALLS SHALL BE FREE DRAINING GRANULAR MATERIAL PROVIDE SUBSOIL DRAIN AT BASE OF WALL. DO NOT BACKFILL UNTIL 14 DAYS AFTER GROUTING, OR IF APPLICABLE, AFTER RESTRAINING SLAB OVER HAS BEEN POURED AND CURED FOR 7 DAYS. BACKFILL SHALL BE COMPACTED TO 98% STANDARD HAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ± 2 %.

BDICKMODK

- 811 ALL MATERIALS AND WORKMANSHIP TO BE TO AS 3708.
- BK2 ONLY LOAD BEARING MASONRY WALLS ARE SHOWN UNDER CONCRETE SLARS
- HINDRUM CLAY BRICK COMPRESSIVE STRENGTH TO BE 20MPa. RATE OF ABSORPTION TO BE LESS THAN 1.5KG/M2/MIN AT THE TIME OF LAYING CLAY BRICKS SHALL BE AT LEAST 30 DAYS OUT OF THE KILN AND WILL OFTEN REQUIRE PRE-WETTING UNLESS PROOF OF A MOISTURE EXPANSION LESS THAN 0.6MM/M IS PRODUCED. UNLESS NOTED OTHERWISE MORTAR FOR CLAY BRICKWORK IS TO BE CEMENT: LIME: SAND IN THE RATIO OF 1: 1: 6 AND THE WATER RETENTIVITY MUST BE AT LEAST 90%, NO ADDITIVES SHALL BE USED UNLESS APPROVED BY MRITING BRYCKWORK IS TO BE ADEQUATELY CURED PRIOR TO CONSTRUCTION OF SUSPENDED SI ARS OVER
- Asis. LINEESS NOTED OTHERWISE IT AY BRICKWORK IS TO CONTAIN HOVEMENT JORITS 2014 WIDE AT MAXIMUM SPACING OF 10M (15H IN INDUSTRIAL USE) AND ARE TO CONTAIN ASKIN TAR DIPREGNATED POLYMPETHANE STRIP. WHERE INTERNAL SKIN IS INTERRUPTED BY STEEL FRAMES THE ABOVE JOINTING APPLIES TO EXTERNAL SKIN ONLY.
- ALL MASONRY SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE CONCRETE
- NON LOAD BEARING WALLS BUILT PRIOR TO POURING CONCRETE SHALL BE SEPARATED FROM CONCRETE ABOVE BY 16 mm THICK CLOSED CELL POLYSTYRENE STRIP, WHERE BUILT AFTER CONCRETE IS POURED LEAVE 12mm CLEAR OF CONCRETE SOFFIT.
- BRICKWORK SUPPORTING SLABS AND BEARS SHALL BE TROWELLED SMOOTH WITH MORTAR FILLING ALL VOIDS. TWO LAYERS OF MALTHOID SHALL BE PLACED FULL WIDTH ACROSS SUCH LOAD BEARING SURFACES EXCEPT WHERE PROPRIETARY BEARING STRIP IS NOTED OR ALTERNATIVE DETAIL IS DOCUMENTED. THE HEADS OF LOAD BEARING WALLS SHALL NOT EXTEND ABOVE THE SOFFIT OF THE CONCRETE SLAB ABOVE.
- BLG ALL DOUBLE SKIN SOLID WALLS SUCH AS 230mm THICK BRICKWORK SHALL BE BONDED BY A HEADER COURSE EVERY 4th COURSE.

- ALL WORKHANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND AS1720.1.
- TIMBER TO BE SEASONED & MINIMUM GRADE F7 UNLESS NOTED OTHERWISE.
- ALL BOLTS, NUTS AND WASHERS FOR TIMBER CONNECTIONS TO BE HOT-DIP GAI VANIGED & GOADE & & WHEDE DOCCINI F ROLTS SHALL RE RETIGHTENED AT THE END OF THE MAINTAINANCE PERIOD, BOLT HOLES SHALL BE DRILLED NO MORE THAN 1 mm OVERSIZE, WASHERS UNDER ALL HEADS AND MITS SHALL BE AT LEAST 25 x BOLT DIA.
- HIMIMUM BOLT SPACINGS IN TIMBER TO BE 5xBOLT DIAMETER. MIN EDGE DISTANCES FOR BOLTED CONNECTIONS TO BE 4xBOLT DIAMETER. MIN END DISTANCE FOR BOLTED CONNECTIONS TO BE 5xBOLT DIAMETER.
- HIBBHLIM TIMBER CONNECTIONS TO BE NORMAL FIXINGS IN ACCORDANCE WITH AS 1684 UNLESS NOTED OTHERWISE.
- TIE-DOWN SHALL BE IN ACCORDANCE WITH AS1684.2 SECTION 9 UNLESS NOTED OTHERWISE.
- ALL TIMBER JOINTS AND NOTCHES ARE TO BE 100mm MINIMUM AWAY FROM LOOSE KNOTS, SEVERE SLOPING GRAIN, GUM VEINS OR OTHER MINOR DEFECTS.
- ALL TIMBER TO BE EITHER PLANTATION TIMBERS, TIMBER PRODUCTS MANUFACTURED FROM SUSTAINABLY MANAGED FORESTS OR RECYCLED
- EXTERNAL TIMBER SHALL BE EITHER HARDWOOD DURABILITY CLASS I OR II TO AS 1720.2 OR IMPREGNATED PINE GRADE FT, PRESSURE TREATED TO AS1604 AND RE-DRIED PRIOR TO USE, SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES. SUPPLY SUPPORTING DOCUMENTATION FOR PRESERVATIVE

The information confidual on this drawing has been prepared for the exclusive use of the Client for this project, the Unbilly or reaponability is accepted for use of this betweenless by any third party or for any other project,

A ISSUED FOR CONSTRUCTION X SW 14.09.2015 DESCRIPTION BY APR DATE

ARCHITECT / DESIGNER Designs by Hot House Studio

> M 0433 775 490 wade@hothousestudio.com



HADTERED PROFESSIONAL FURNIFIEDS

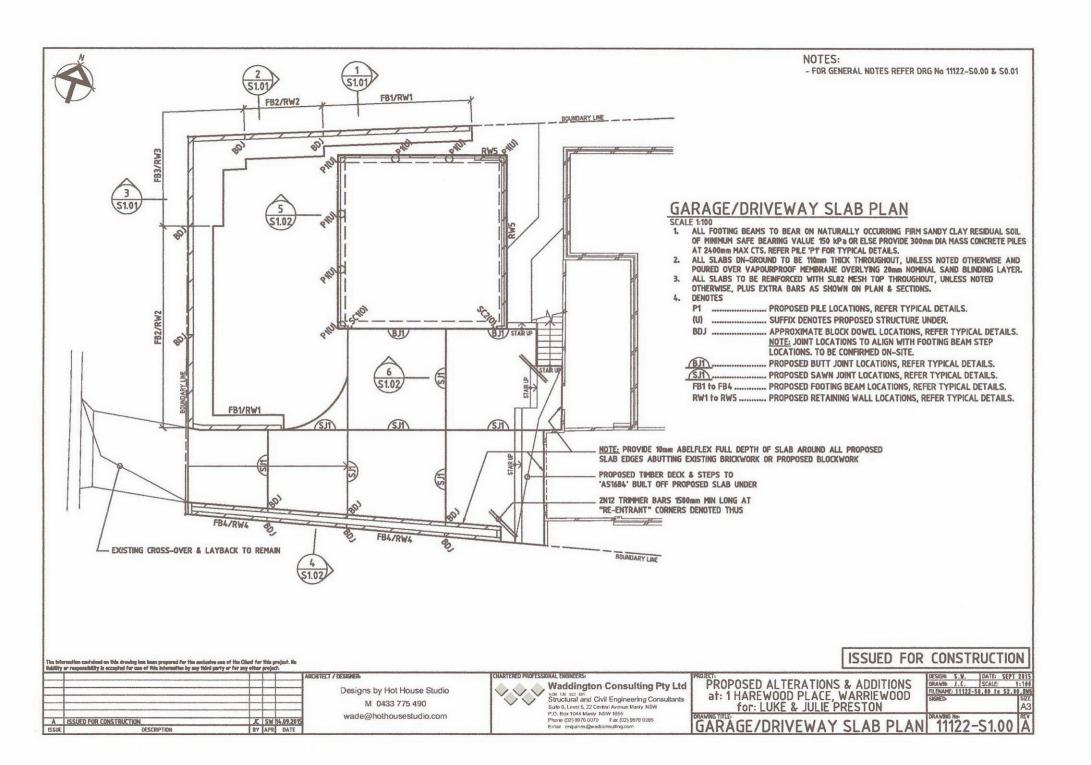
Waddington Consulting Pty Ltd

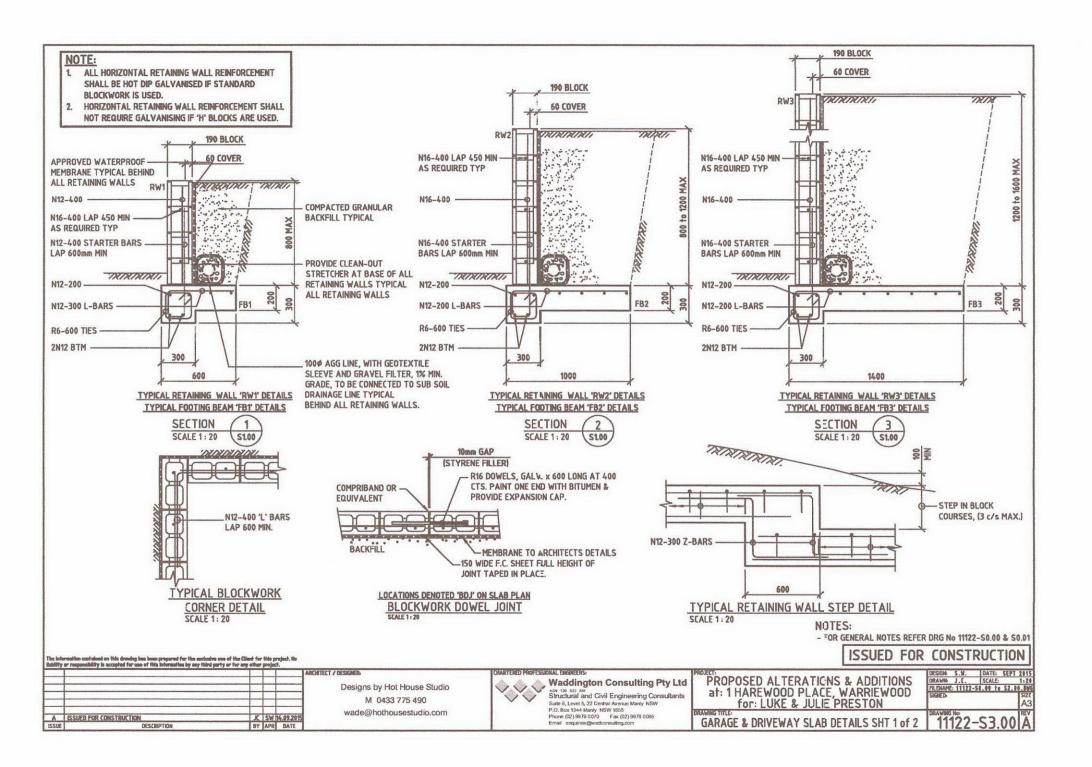
Structural and Civil Engineering Consultants Suite 6, Level 5, 22 Central Avenue Manly NSW P.O. Box 1044 Manly NSW 1655 Phone (02) 9976 0070 Fax (02) 9976 0095

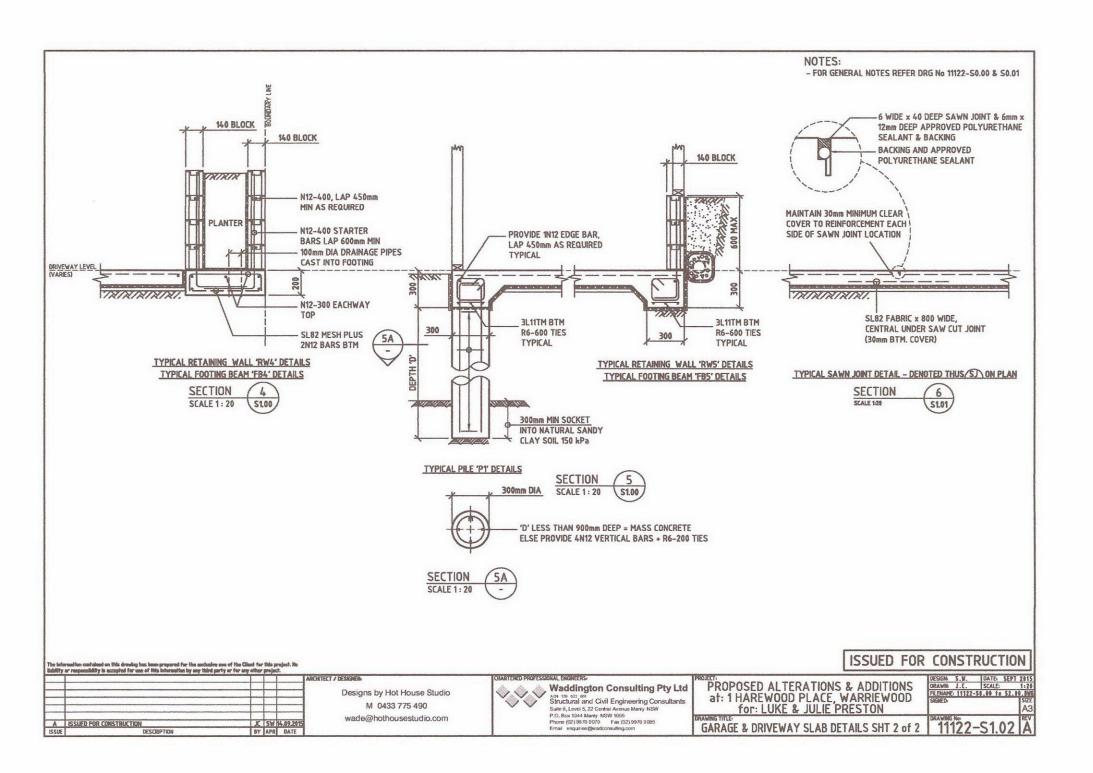
Email enquiries@wadconsulting.com

PROPOSED ALTERATIONS & ADDITIONS	DESIGN: S.W. DATE: SE DRAWN: J.C. SCALE:	PT 20
	FILENAME: 11122-50.00 to 5	2.90.
at: 1 HAREWOOD PLACE, WARRIEWOOD for: LUKE & JULIE PRESTON	SIGNED	S
DRAWNG TITLE:	DRAWING No:	R
STRUCTURAL NOTES-SHT 2 of 2	l 11122-S0.0	11/

ISSUED FOR CONSTRUCTION

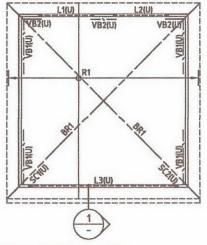








BOUNDARY LINE



ROOF FRAMING PLAN

SCALE 1:100

1. THIS DRAWING SHOWS PRIMARY STEEL/TIMBER ROOF SUPPORT BEAMS ONLY. ALL TIMBER ROOF FRAMING INCLUDING CONNECTIONS. BRACING & TIE DOWNS SHALL BE BY THE BUILDER IN ACCORDANCE WITH 'AS1684'.

MEMBER SCHEDULE

STEEL COLUMNS

SC1 & SC2 150 PFC

RAFTERS

.... 240 x 45 LVL or 300 x 65 GL8 AT 600mm MAX CTS

LINTELS - GARAGE WALLS (U) UNDER

.2/140 x 45 F7

2/140 x 45 F7 12

.. 250 PFC L3

ROOF BRACING

BR1 ... GALV STEEL STRAP BRACING, BRACING FLATTENED OVER EACH RAFTER & FIXED WITH 2 NAILS. TYPICAL, BRACING POSITIVELY FIXED TO WALL PLATE OR TIMBER BEAM AT ENDS WITH 5 NAILS PREFERABLY 2 TO SIDE & 3 TO UNDERSIDE WALL PLATE/TIMBER BEAM. NO NAIL TO BE CLOSER THAN 10mm

TO EDGE OF TIMBER.

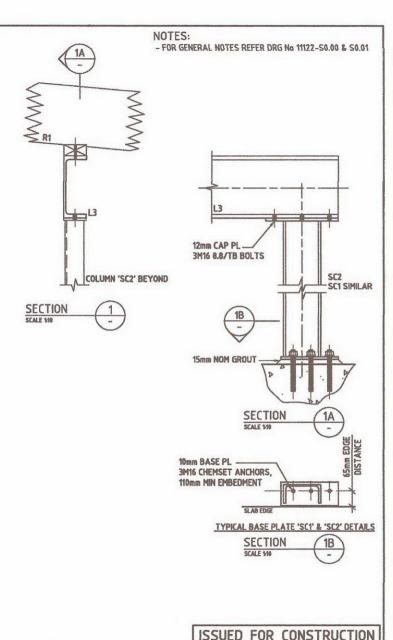
VERTICAL WALL BRACING

GALV STRAP CROSS BRACING or 20 x 20 ANGLE BRACE WITH STRAP LOOPED OVER TOP & BTM PLATES & NAILED TO STUDS AT ENDS OF

BRACING PANEL.

4mm STRUCTURAL HARDWOOD PLY BRACING, NAIL TOP & BTM OF SHEETS @ 50mm CTS - VERTICAL EDGES @ 150mm CTS & INTERNAL STUDS @ 300mm CTS. PROVIDE M12 TIE DOWN TO FLOOR AT EACH END

OF BRACING PANEL & AT 1200mm MAX CTS.



The information contained on Itis drawing has been prepared for the exclusive use of the Client for Itis project, the Hability or responsibility is accepted for use of this information by any third party or for any other project.

ARCHITECT / DESIGNED. A ISSUED FOR CONSTRUCTION JC SW 14.09.2015 DESCRIPTION BY APR DATE

Designs by Hot House Studio M 0433 775 490 wade@hothousestudio.com



Waddington Consulting Pty Ltd

AON 130 822 854 Structural and Civil Engineering Consultants Suite 6. Level 5, 22 Central Avenue Marily NSW P.O. Box 1044 Manty NSW 1655 Phone (02) 9976 0070 Fax (02) 9976 0095 Ernail enquiries@wadconsulling.com

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	PROPOSED ALTERATIONS & ADDITIONS	DESIGN: S.V. DATE: SEPT DRAWN: J.C. SCALE: AS S FILENAME: 11122-S0.00 to S2.0	HOWN DWE
100	at: 1 HAREWOOD PLACE, WARRIEWOOD for: LUKE & JULIE PRESTON		SIZE A3
	ROOF FRAMING PLAN & DETAILS	11122-S2.00	A



Policy Number: HBCF15004129

Policy Date: 27/08/2015

Statement of Cover

Kolby Joseph Cristaudo

HIA INSURANCE SERVICES (NSW)

5 LivingStoneplace newportNSW 2106 4 BYFIELD STREET NORTH RYDE NSW 2113

Note: This document contains an extract of details kept on the HBCF Certificates Register.

To confirm the authenticity of this document as proof of a valid contract of insurance, please visit the Certificates Register at www.hbcf.nsw.gov.au. The Certificates Register will also notify you if any claims have been made on this insurance cover and any other relevant information.

CERTIFICATE IN RESPECT OF INSURANCE RESIDENTIAL BUILDING WORKS BY CONTRACTORS

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 (the Act) has been issued by the NSW Self Insurance Corporation who is responsible for management of the Home Building Compensation Fund.

In respect of SingleDwelling Alterations/ Additions - Structural

At 1 HarewoodPlace

Warriewood

Homeowner Luke Preston

Carried out by Kolby Joseph Cristaudo

Licence Number 224450C

Contract Sum \$100,000.00

Contract Date 01/09/2015(Proposed)

Premium Paid \$719.40

Subject to the Act, the Home Building Regulation 2014 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

This Certificate is to be read in conjunction with the policy wording current as at the policy date and available at the Home Building Compensation Fund website at www.hbcf.nsw.gov.au

Issued on the 27/08/2015

Issued by CallidenInsuranceLimited

On behalf of NSW Self Insurance Corporation (ABN 97 369 689 650)

© State of New South Wales through NSW Self Insurance Corporation 2015

Levy Online Payment Receipt



Building and Construction

LUKE PRESTON 1 HAREWOOD PL WARRIEWOOD NSW 2102

Application Details:

Applicant Name: LUKE PRESTON

Levy Number: 5105545

Application Type: DA

Application Number: N0195/15

Approving Authority: PITTWATER COUNCIL

Work Details:

Site Address: 1 HAREWOOD PL

WARRIEWOOD NSW 2102

Value of work: \$75,000

Levy Due: \$262.00

Payment Details:

LSC Receipt Number: 214449

Payment Date: 14/09/2015 8:27:27 PM

Bank Payment Reference: 826756309
Levy Paid: \$262.00

Credit card surcharge: \$1.05

Total Payment Received: \$263.05

Levy Online Payment Receipt



Building and Construction

LUKE PRESTON 1 HAREWOOD PL WARRIEWOOD NSW 2102

Application Details:

Applicant Name: LUKE PRESTON

Levy Number: 5105695

Application Type: DA

Application Number: NO195/15

Approving Authority: PITTWATER COUNCIL

Work Details:

Site Address: 1 HAREWOOD PL

WARRIEWOOD NSW 2102

Value of work: \$25,000

Levy Due: \$87.00

Payment Details:

LSC Receipt Number: 214621

Payment Date: 16/09/2015 9:13:59 AM

Bank Payment Reference: 827114460

Levy Paid: \$87.00

Credit card surcharge: \$0.35

Total Payment Received: \$87.35



ABN: 79462 898 283 LIC: 224450C Ph: 0403 823 807

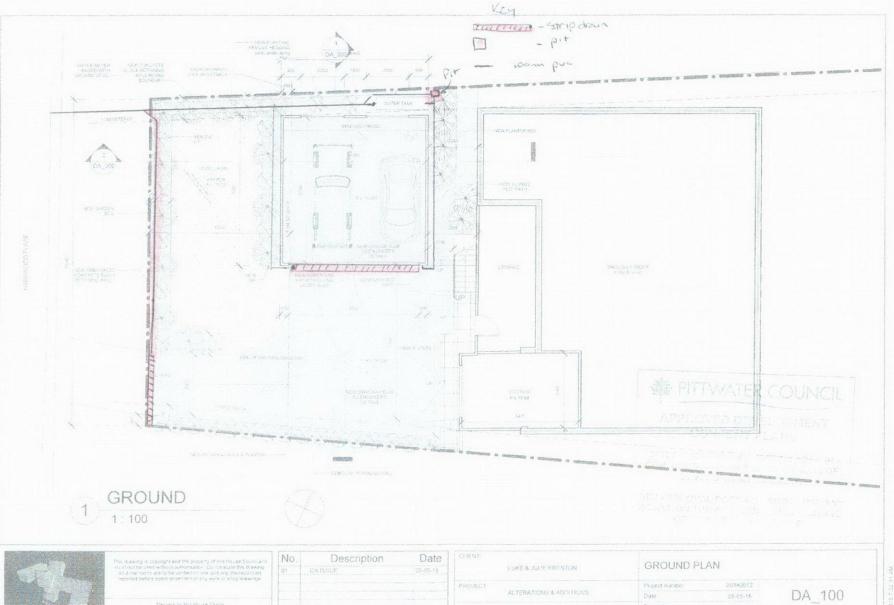
kolbycristaudo@bigpond.com

Details of principal Contractor:

Kolby Constructions pty Itd.

5/4 Livingstone Place Newport. 2106

Kolby Cristaudo Director / Builder





24TH SEPTEMBER 2015.

TO WHOM IT MAY CONCERN

Dear Sir/Madam,

Ref: Plumbing and Storm water Drainage Design Certificate For proposed alterations to existing building

1 Harewood PL Warriwood, NSW, 2012

The plumbing and stormwater drainage system for the above referred project has been designed to comply with

- Pittwater council requirements and regulations
- As 3500.3 (Plumbing and Drainage)
- Development Consent No. N0195/15
- Manufacturers recommendations and
- Best Plumbing Practice

If you have any queries please do not hesitate to contact me

Kind regards

Sandy Junghans

SJ Plumbing and Contracting

S J Plumbing & Contracting Pty Ltd

ABN: 65 130 641 253 Sandy Junghans Lic No: 207 364C Tel: 0403 434 460









Construction Certificate Application Form



Information for the applicant

- This form may be used to apply for a construction certificate (a "certificate") to carry out building work or subdivision work.
- To minimise delay in receiving a decision about the application, please fill in all sections and ensure all relevant information and documents are provided.
- Once completed, this application form should be submitted to a certifying authority for determination. Certifying authorities are either private accredited certifiers, the local council, or the consent authority for the development (if the council is not the consent authority). Private accredited certifiers may be either an individual or a company. View a list of private accredited certifiers at

http://www.bpb.nsw.gov.au/page/for-consumers/find-a-certifier/

A construction certificate has no effect if it is issued after the building work or subdivision work to which it relates is physically commenced on the land to which the relevant development consent applies.

*An application for a construction certificate may only be made by a person who has the benefit of the development consent. An application may not be made by person who will carry out the building work or subdivision work unless that person owns the land on which the work is to be carried out HAR MS MS MS Dr Dr Other First name Family name LUKE Preston Company (if applicable) ABN (if applicable) Unit/Street no Street Name 1 Harewood Suburb or town State Postcode Warriewood NSW 2102 Daytime telephone Fax Mobile 0404088924 Email lukefly35@gmail.com Unit/Street no Street Name darewood Suburb or town State Postcode Warrewood 2102 a gu Lot no Section 40 DP / SP no Volume/folio DP 2640

Briefly describe the development building (house, townhouse, villa etc.	For example, if a dwelling is proposed, include information such as the type of s), the number of floors, the number of bedrooms, the major building material add fives to as stry duelling material made from timber dadding and and carolier.)
new drivewa	y and Carolen).
to control of the state of the	
Class(s) of building(s) under the Buil of Australia	10 a.
\$ \$100,000.00	The contract price, or if there is no contract a genuine and accurate estimate, for all labour and material costs associated with all demolition and construction required for the development, including the cost of construction of any building and the preparation of a building for the purpose for which it is to be used (such as the costs of installing plant, fittings, fixtures and equipment) GST is also to be included
	nsent
Date of development consent (if already granted)	46 21/7/15
Development consent reference no	Da No 195/15
Name of consent authority	Pittuate comeil
Name of applicant for development consent	Luke preston
Provide:	
A copy of the development consent, i	
 approved plans endorsed by conditions of development control other documents referenced 	

SECTION F. Planning agreements

If the development or the land upon which the development is to be carried out is subject to a planning agreement as referred to in section 93F EP&A Act, provide a copy of the planning agreement

SECTION G. Attachments relating to the proposed development
Applicants must provide the documents listed below that are relevant to the type of development that is proposed. Please place a cross in the appropriate box(s) to indicate the type of development involved. Confirm from the certifying authority how many copies are required prior to lodging this application.
1. Does the application relate ONLY to a FIRE LINK CONVERSION? Yes No
If Yes-provide:
A document that describes the design and construction and mode of operation of the new fire alarm communication link
2. Does the development involve SUBDIVISION WORK? Yes No
If Yes-provide:
Appropriate subdivision work plans and specifications, which include copies of. (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of
roads) (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned
(c) detailed engineering plans as to the following matters:
(i) earthworks
(iii) road pavement
(iv) road furnishings (v) stormwater drainage
(v) stornwater drainage (vi) water supply works
(vii) sewerage works
(viii) landscaping works (ix) erosion control works
(d) copies of any compliance certificates to be relied on
3, EUILDÍNES
3.1 Does the development involve building work (including in relation to a dwelling house or building or structure ancillary to a dwelling house)? Yes No
If Yes-provide:
(1) A detailed description of the development, indicating.
 (a) for each proposed new building (i) the number of storeys (including underground storeys) in the building
(i) the number of storeys (including underground storeys) in the building (ii) the gross floor area of the building (in square metres)
(iii) the gross site area of the land on which the building is to be erected (in square metres)
(b) for each proposed new residential building
 the number of existing dwellings on the land on which the new building is to be erected the number of those existing dwellings that are to be demolished in connection with the
erection of the new building
(iii) the number of dwellings to be included in the new building
 (iv) whether the new building is to be attached to any existing building (v) whether the new building is to be attached to any other new building
(vi) whether the land contains a dual occupancy

(2) Appropriate building work plans and specifications, which include copies of

SECTION M

(a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that

(vii) the materials to be used in the construction of the new building by completing the table in

Construction	on Certificate Application Form
	show.
	(i) a plan of each floor section
	(ii) a plan of each elevation of the building
	(iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
(4)	(iv) the height, design construction and provision for fire safety and fire resistance (if any) specifications for the development:
(-)	that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
	(ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used
(c)	
(0)	complied with (if an alternative solution, to meet the performance requirements, is to be used)
(d)	a description of any accredited building product or system sought to be relied on for the purposes of section 79C(4) of the Environmental Planning and Assessment Act 1979 (EP&A Act)*
(e)	copies of any compliance certificate to be relied on
(f)	if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building
(g)	if a BASIX certificate has been obtained for the development, such others matters as the BASIX certificate requires to be included in the plans and specifications
relating to the de that requirement	Act provides that a consent authority must not refuse to grant consent to development on the ground that any building product or system velopment does not comply with a requirement of the Building Code of Australia if the building product or system is accredited in respect of in accordance with the EP&A regulation 2000
	i-house or a building or structure that is ancillary to a dwelling-house or at relates only to fire link conversion) ? Yes No
If Yes-provide:	
	A list of any existing fire safety measures provided in relation to the land or any existing building on the land
(b)	A list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work
	e development involve an alternative solution under the Suilding Code of
	a ("BCA") in respect of a fire safety requirement? Yes No
lf Yes-provide:	
	r both of the following from a "Fire safety engineer" (a private accredited certifier holding ry C10 accreditation)
(a)	A compliance certificate (as referred to in s 109C(1)(a)(v) EP&A Act) that certifies that the alternative solution complies with the relevant performance requirements of the BCA
	A written report that includes a statement that the alternative solution complies with the relevant requirements of the BCA.
(a) a	

that involves an alternative solution under the BCA in respect of the requirements set out in EP1 4, EP2 1, EP2 2, DP4 and DP5 in Volume 1 of the BCA

3.4 Does the application relate to a residential flat development for which the development application was required under Clause 50(1A) of the EP&A Regulation to be accompanied by a design verification from a qualified designer?

No

Construction Certificate Application Form

If Yes-provide:

A statement from a qualified designer which verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of State Environmental Planning Policy No 65 Design Quality of Residential Flat Development (SEPP 65)

Note If the development application was also required to be accompanied by a BASIX certificate with respect to any building the statement need not verify the design quality principles set out in SEPP 65 to the extent to which they aim to

 reduce consumption of mains-supplied potable water, or reduce emissions of greenhouse gases, in the building or in the use of the land that it is built on, or

	•	improve the thermal performence of the building	
fro.	m co	e Fire Commissioner granted an exemption under clause 188 EP&A Regulation problems with any specified Category 3 fire safety provision?	
₩ Yes-pi	rovide	e:	
А сор	y of th	the exemption together with any conditions imposed.	

If Yes-provide:

A copy of a receipt for any long service payment levy that has been made (or, where such a levy is payable by instalments, a receipt for the first instalment of the levy).

Where a council is the certifying authority, the levy may be made to the council when this application is todged

Construction Industry Long Service Payments Act 1986?

3.7 Does the application involve a EASIX affected development, or a EASIX optional development for which a EASIX certificate has been obtained?

Yes X No

If Yes-provide:

The BASIX certificate(s) for the development (being either the BASIX certificate issued when the development consent was granted or some other BASIX certificate(s) that have been issued no earlier than three months before the date of the Application being made), and such other documents as the BASIX certificate(s) for the development requires to accompany the Application

Construction Certificate Application Form

BASIX (the Building and Sustainability Index) ensures homes are built to be more energy and water efficient. BASIX uses an online program to assess a building's design and compares it against energy and water reduction largets. The design must meet these targets before a BASIX certificate can be printed. Any changes made to a building's design after a BASIX certificate has been issued requires another BASIX assessment and new BASIX certificate. "BASIX affected buildings" contain one or more dwellings (but do not include hotels or motels).

A BASIX certificate <u>must</u> be obtained for every "BASIX affected development", which are any of the following (other than development that is "BASIX excluded development")

development that involves the erection (but not the relocation) of a BASIX affected building development that involves a change of building use by which a building becomes a BASIX affected building (b)

- (c) development that involves the atteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is \$50,000 or more
- development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of 40,000 litres or more

"BASIX excluded development" is

development for the purpose of a garage, storeroom, car port, gazebo-verandah or awning alterations, enlargements or extensions to a building listed on the State Hentage Register under the Heritage Act 1977

- alterations, enlargements or extensions that result in a space that cannot be fully enclosed (for example, a veranda that is open or enclosed by screens, mesh or other materials that permit the free and uncontrolled flow of air), other than a space can be fully enclosed but for a vent needed for the safe operation of a gas appliance
- atterations enlargements or extensions that the Director-General has declared, by order published in the Gazette, to be BASIX excluded (d) development.

A BASIX Certificate MAY be obtained for certain developments by an Applicant even though there is no obligation to do so. This is called "BASIX optional development" "BASIX optional development" means any of the following development that is not BASIX excluded development.

development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimate of the construction cost of the development is less than \$50,000 (a)

development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of less than 40,000 litres

If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.

Further information about BASIX and to obtain a BASIX Certificate, go to http://www.basix.nsw.gov.au

Prepare and attach a list of all of the documents provided under SECTION E. F and G.

Construction Certificate Application Form

Owners Signature(s)

1 cko Prector

SECTION I. Authority to enter and inspect land

A certifying authority must not issue a construction certificate for development on a site which affects an existing building unless the certifying authority, or an accredited certifier, council or consent authority on behalf of the certifying authority, has carried out an inspection of the site of the development.

If the applicant is the owner of the land, by signing this application authority is given to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this Application. The Applicant undertakes to take all necessary steps make access available to the property to enable the inspection to be carried out.

If the applicant is not the owner of the land, the owner(s) must sign the following statement

As the owner(s) of the above property, I/we consent to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this application. I/we undertake to take all necessary steps make access available to the property to enable the inspection to be carried out.

	. 31
Date	
11/8/15	
eral Nederlandin	ery of the application
	өу от нь аррисанов
	action certificates must be delivered by hand, by post or transmitted electronically to the ertifying authority. Applications MAY NOT be sent by fax
HONK SIGN	
Signature of Appli	cant(s)
Vame(s)	
Luke	Arston
Date	
11/8/18	

Construction Certificate Application Form

SECTION L. Date of Receipt of Application

To be completed by the certifying authority immediately after receiving this Application. This Application was received on 12-05-2015. We (insert date).

SECTION M. Development statistics

Place a cross in each appropriate box

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	11	Tiles	10	Concrete/slate	20	Timber	40
Brick (veneer)	12	Concrete/slate	20	Timber	40	Steel	60
Concrete/stone	20	Fibre cement	30	Other	80	Aluminium	70
Fibre cement	30	Steel	60	Not specified	90	Other	80
Timber	40	Ataminium	70			Not specified	90
Curtain glass	50	Other	80				
Steel	60	Not specified	90				
Aluminum cladding	70						
Timber/	40						
weatherboard							
Other	80						
Not specified	90						

Gross site area (m²)

Gross floor area of existing building (m2)

Gross floor area of new building work (m²)

Number of pre-existing dwellings on the site

How many storeys will the building have

What are the current uses of the building

What will be the new building uses (if changed)

Number of dwellings to be demolished

Number of dwellings to be constructed

Will the new building be attached to an existing building

Does the site contain a dual occupancy

DEVELOPMENT APPLICATION

for alterations and additions to existing building 1 HAREWOOD PL, WARRIEWOOD NSW 2102

drawing list

DA_001 Cover Sheet and Location Plan

DA_002 Site Analysis

DA_100 Ground Level Plan

DA 101 Level 1 Plan

DA_102 Roof Plan

DA_103 Landscaping & Drainage Plan

DA_200 Elevations North & South

DA 201 Elevations West

DA 300 Sections

DA_700 Calculations & Materials

DA 701 Calculation Plans

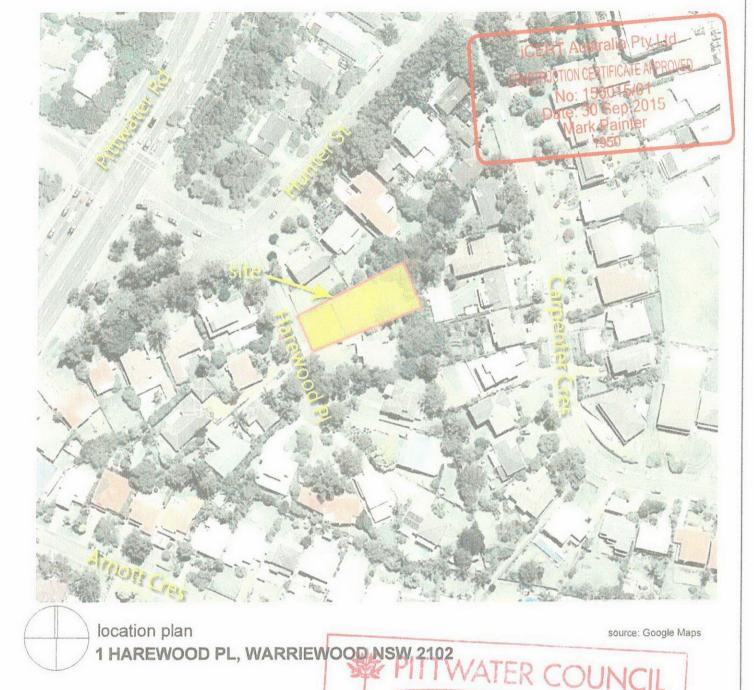
CONSULTATNTS:

HOT HOUSE STUDIO ARCHITECTURAL DESIGN, DRAFTING AND VISUALISATION PO Box 26, NEWPORT NSW 2106 0433 775 490 wade@hothousestudio.com

CMS SURVEYORS 1/32 CAMPBELL AVENUE, DEE WHY NSW 2099 Ph: (02) 9971 4802 Fax: (02) 9971 4822 Email: info@cmssurveyors.com.au

KOLBY CRISTAUDO License No: 224450c Ph: 0403 823 807 kolbycristaudo@bigpond.com

LICENSED BUILDER CONSULTANT



APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN LANDSCAPING CONSULTANTUNCTION WITH THE CONDITIONS OF JUSTIN LAWRENCE BUSHLAND MANAGEMENT CONSENT.

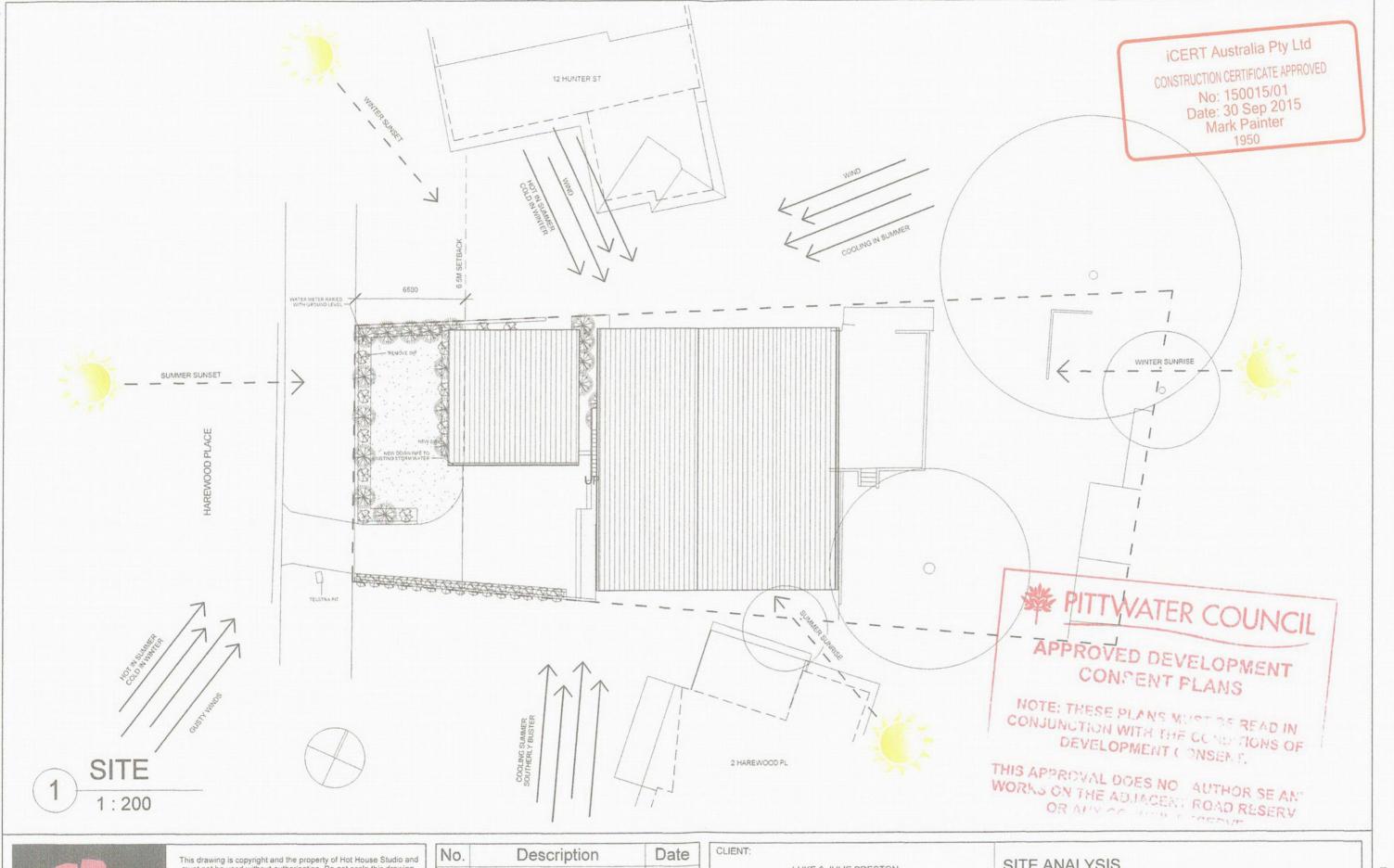
justinparnelli@hotmail.com
THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE



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No.	Description	Date
01	DA ISSUE	25-05-15

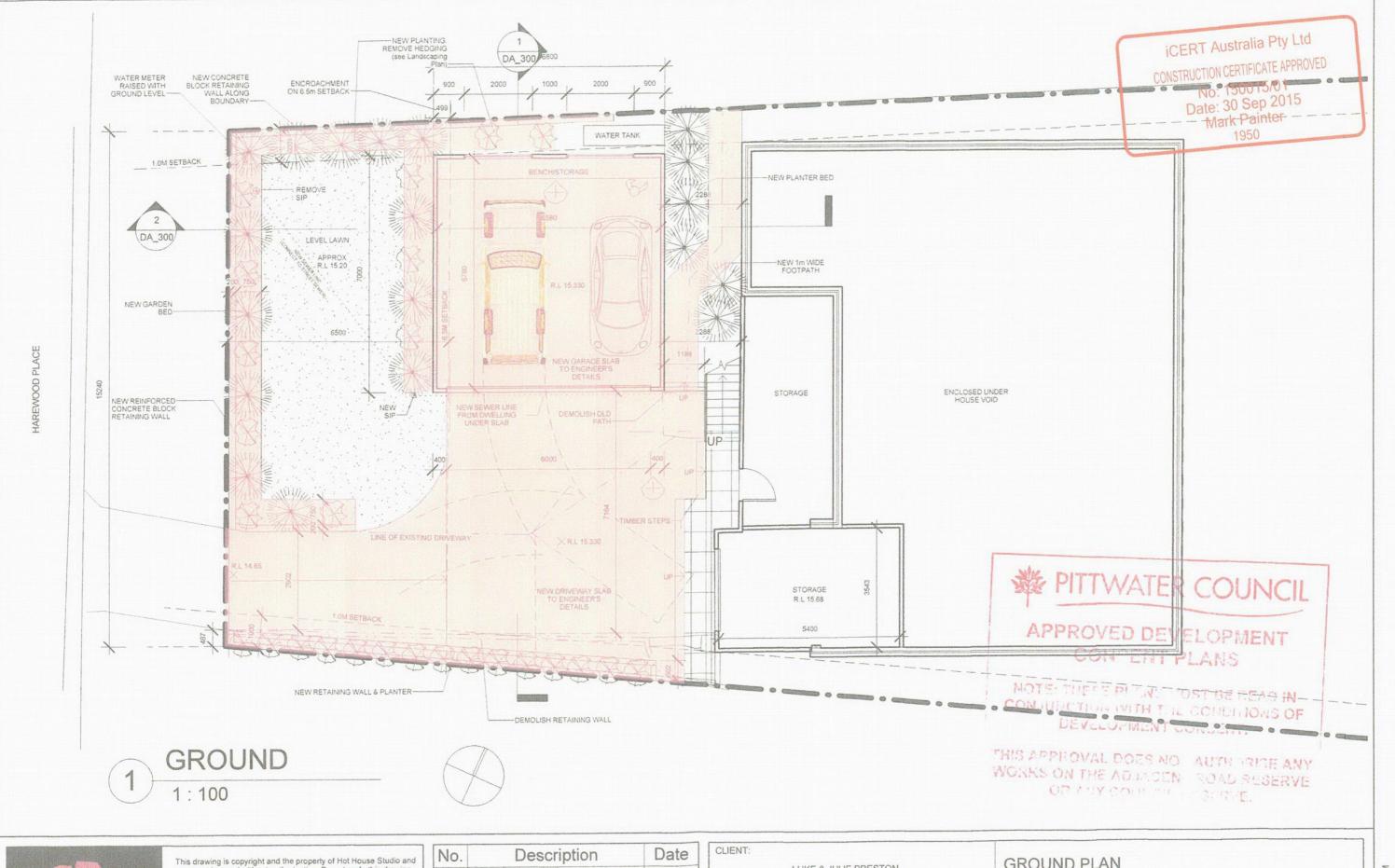
CLIENT:				The Carlotter			
LUKE & JULIE PRESTON		COVER SHEET					
PROJECT:		Project number	20140912				
ALTERATIONS & ADDITIONS	ALTERATIONS & ADDITIONS	Date	25-05-15	DA 001			
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle	GRANGE			
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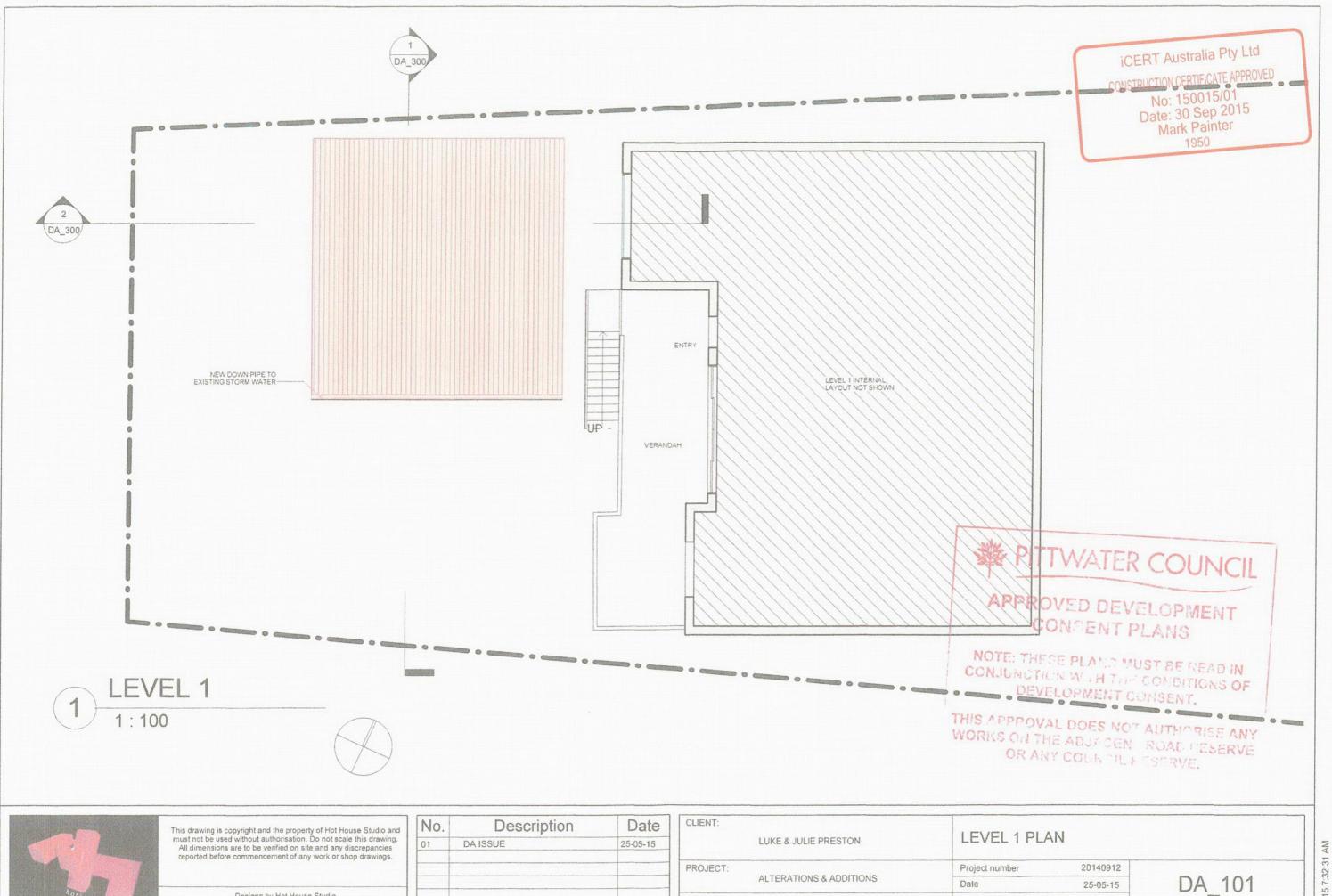
CLIENT:	LUKE & JULIE PRESTON	SITE ANALY	SIS		
PROJECT:		Project number	20140912		
	ALTERATIONS & ADDITIONS	Date	25-05-15		DA 002
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		Minist.
	THAREWOOD FLACE, WARRIEWOOD	Checked by	SC	Scale	@A3 1:200





Description	Date
DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	GROUND PL	AN			
PROJECT:		Project number	20140912			
	ALTERATIONS & ADDITIONS	Date	25-05-15	D/	100	
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	HAREWOOD PLACE, WARRIEWOOD	Checked by	SC	Scale	@A3	1:100



ADDRESS:

1 HAREWOOD PLACE, WARRIEWOOD

Designs by Hot House Studio

M 0433 775 490 wade@hothousestudio.com

@A3

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Date

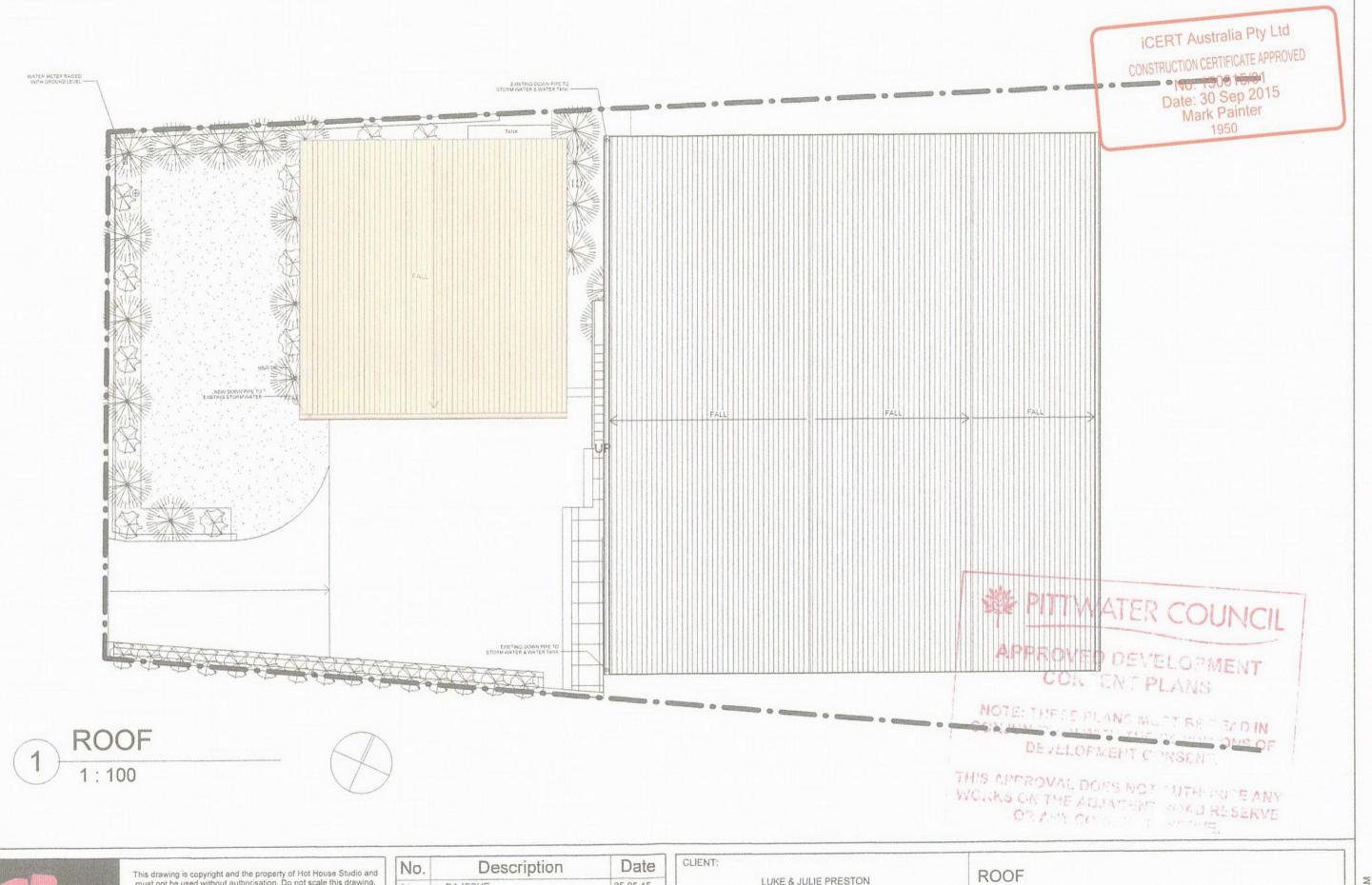
Drawn by

Checked by

25-05-15

W.Cogle

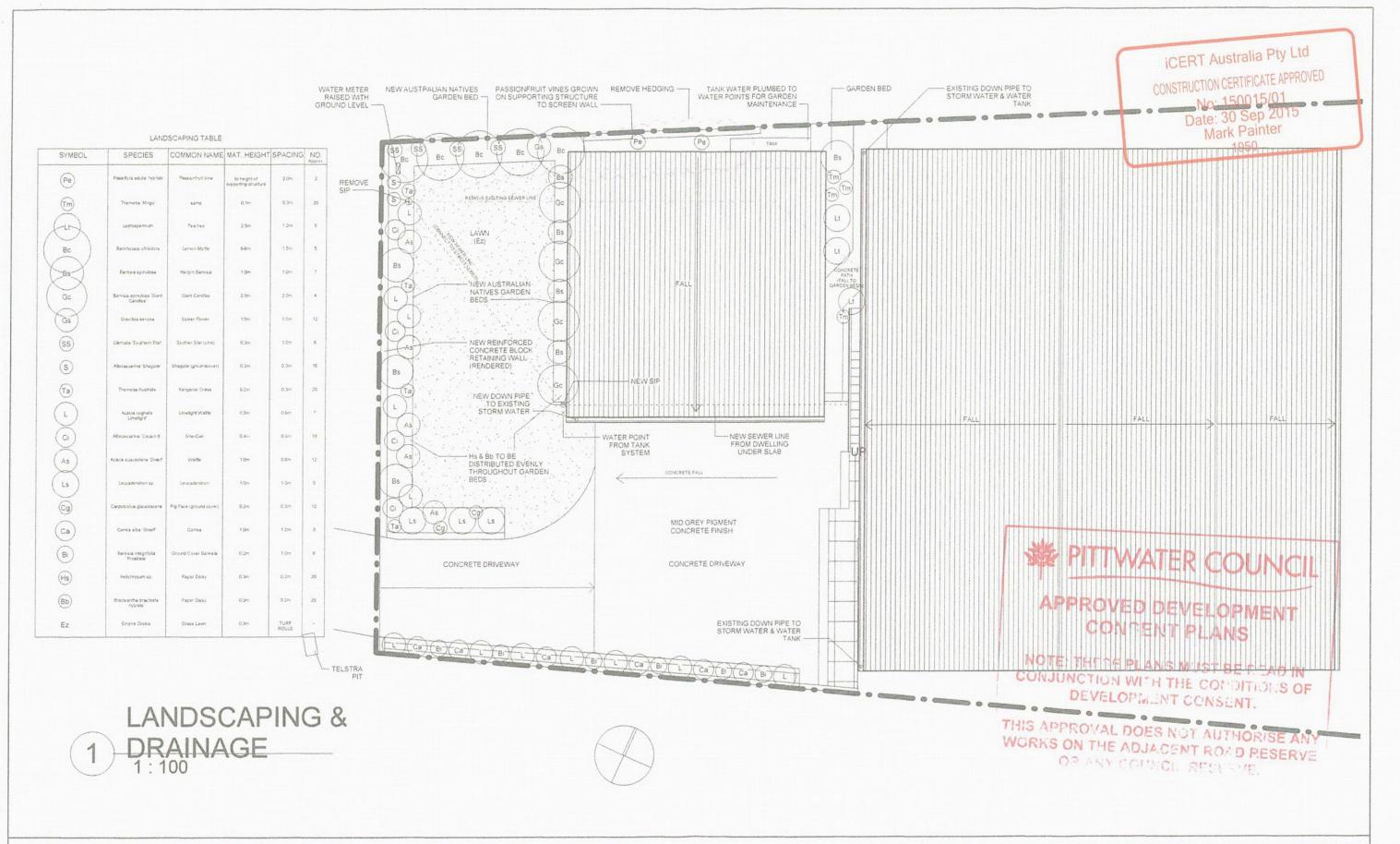
SC Scale





25-05-15

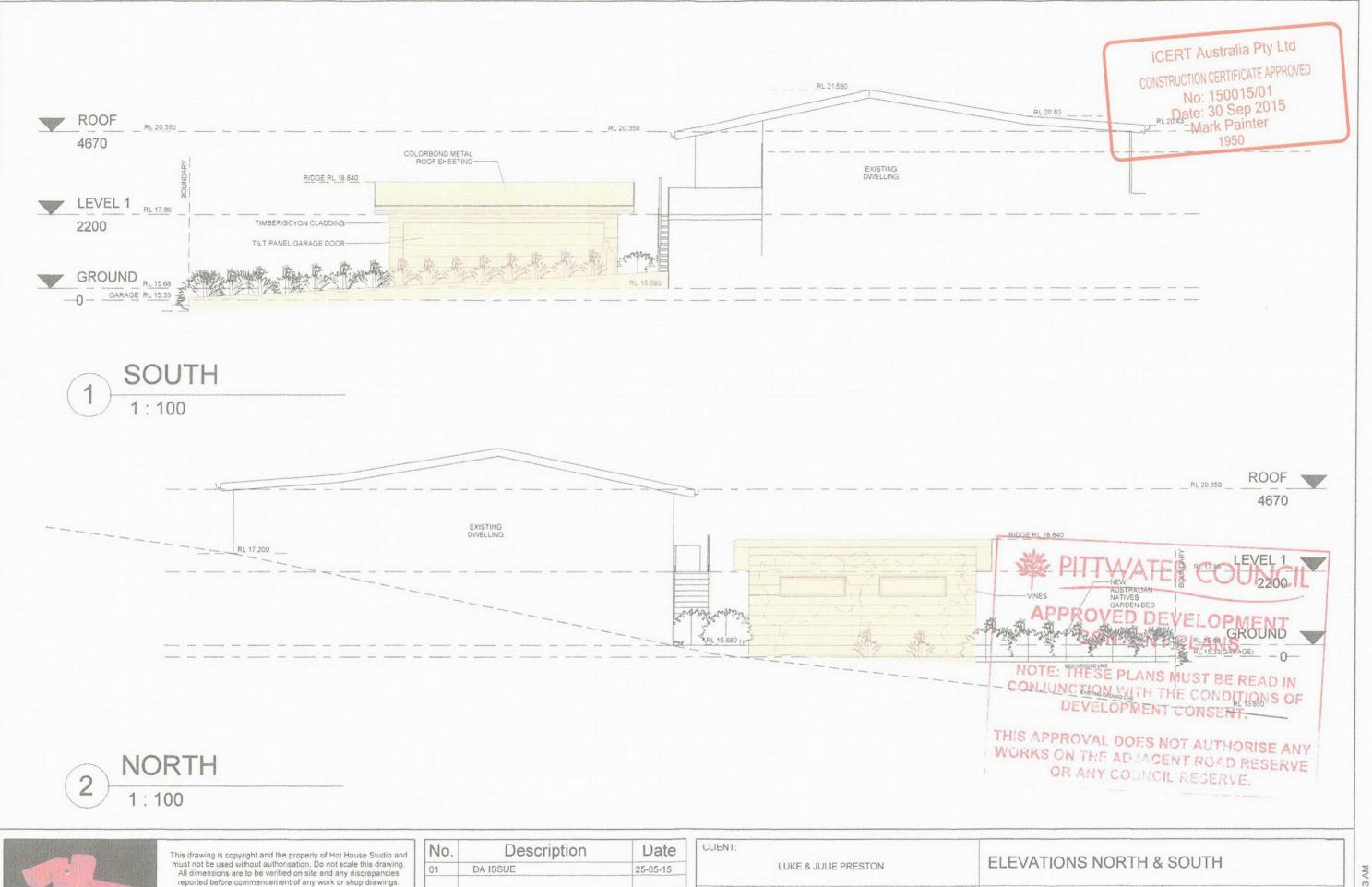
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	ALTERATIONS & ADDITIONS	Date	25-05-15	DA 1		
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		Milliana	
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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	LANDSCAPING & DRAINAGE PLAN				
PROJECT:		Project number	20140912			
	ALTERATIONS & ADDITIONS	Date	25-05-15		DA 103	
ADDRESS: 1	HAREWOOD PLACE, WARRIEWOOD	Drawn by	Author			
	THANEWOOD I EAGE, WARRIEWOOD	Checked by	Checker	Scale	1:100	





reported before commencement of any work or shop drawings.

No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	ELEVATIONS	S NORTH 8	SOUTH		
PROJECT: ALTERATION:		Project number	20140912			
	ALTERATIONS & ADDITIONS	Date	25-05-15	DA 200		
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		SH-pag	
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iCERT Australia Pty Ltd

CONSTRUCTION CERTIFICATE APPROVED

No: 150015/01

Date: 30 Sep 2015

Mark Painter

1950

R0C 467C

2200

GRO -0--

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APPROVED DEVELOPMENT

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION VALUE THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT A! THORISE ANY WORKS ON THE ADJACENT RUAD RESERVE OR ANY COUNCIL RESERVE.

1 WEST 1:100

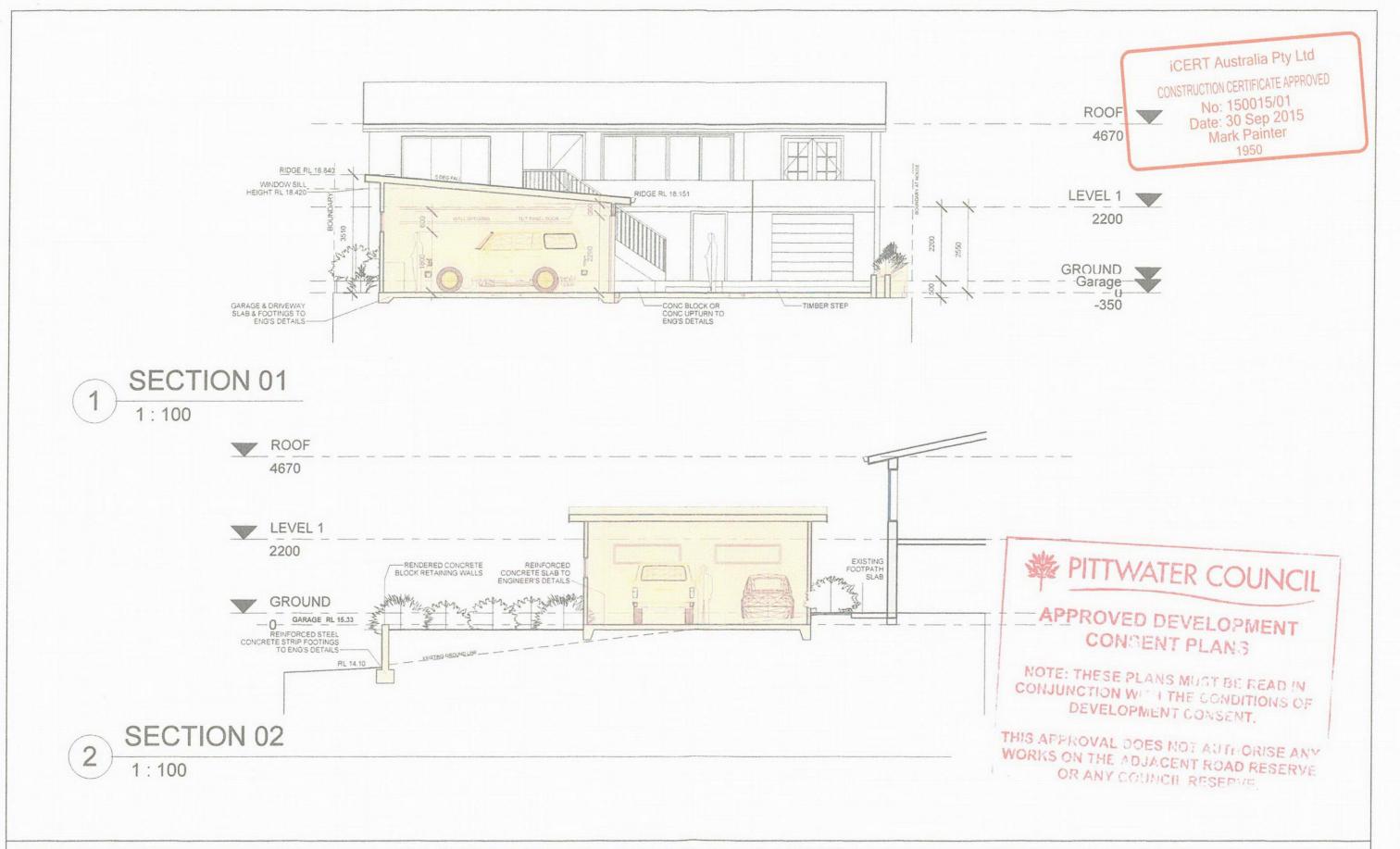


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No.	Description	Date
01	DA ISSUE	25-05-15
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CLIENT.	LUKE & JULIE PRESTON	ELEVATION	WEST			
PROJECT:		Project number	20140912			
	ALTERATIONS & ADDITIONS	Date	25-05-15	D	A 201	
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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	SECTIONS		
PROJECT:		Project number	20140912	
	ALTERATIONS & ADDITIONS	Date	25-05-15	DA 300
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle	Refigue
	THE TOOL TOOL, WANTERVOOD	Checked by	SC	Scale 1:100

GFA and FSR

Site Area	855.4m2				
GFA Existing	Area	(%) or change	GFA Proposed	Area	(%) or change
Ground	157.9m2		Ground	157.9m2	0 %
Garage Level	0m2	(Garage & storage omitted)	Garage Level	0m2	0 %
Total GFA	157.9m2		Total GFA	157.9m2	0 %
FSR	157.9 / 855.4	= 0.18 : 1	FSR	157.9 / 855.4	= 0.18 : 1

Proposed FSR

= 0.18:1

Proposed FSR Increase

= nil increase

Maximum FSR

0.5:1

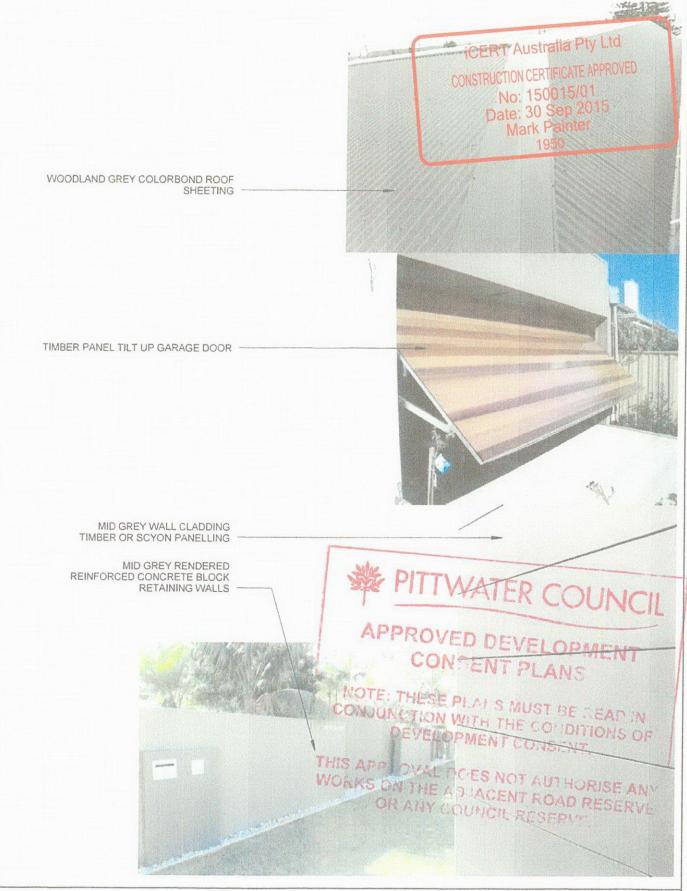
FSR Compliance

Yes

Land Zoning

E4 Environmental Living

Landscaping	Existing	Proposed	Required	Compliance
Site Coverage	332.0 m2	408.3 m2		
Landscaped Area (incl <1m pathways)	523.4 m2	447.1 m2		
Up to 6 % of site (51.3m2) provided as impervious (pergolas, paved areas) if for recreation. (Rear paving = 55.4m2)	51.3 m2	51.3 m2		
Total Landscaping	574.7 m2	498.4 m2		
% of Site	67.2 %	58.3 %	60 %	No (1.7% under requirement)
Building Height	Existing	Proposed	Required	Compliance
Maximum Building Height (Class: J)	4.7 m	no change	Max of 8.5m	Yes
Private Open Space	Existing	Proposed	Required	Compliance
Principle Area (9.6m x 5.6)	53.76 m2	no change	Min of 16 m2	Yes
Minimum Dimension	5.56 m	no change	Min of 3 m	Yes



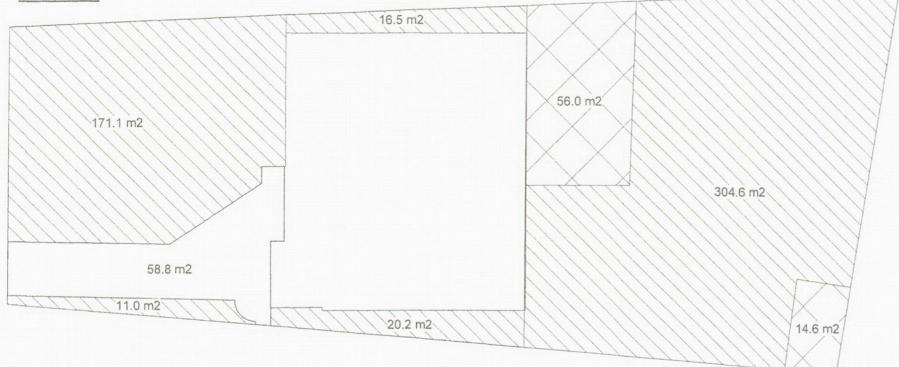


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No.	Description	Date
01	DA ISSUE	25-05-15
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CLIENT:	LUKE & JULIE PRESTON	CALCULATION	ONS & MAT	ERIAL SCHEDULE
	LOKE & JOLIE PRESTON	O/ ILOOL/ (TI	5140 Q 1VI/ (1	
PROJECT:	OJECT: ALTERATIONS & ADDITIONS	Project number	20140912	
		Date	25-05-15	DA 700
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle	N-Employed
		Checked by	SC	Scale

EXISTING



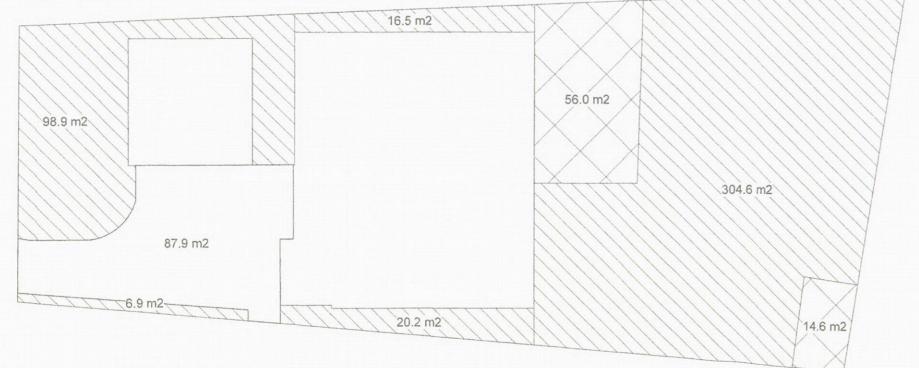
Calculated using D14.13 Landscaped Area - Environmentally Sensitive Land (P21 DCP Part D) Variations wherestateustralia Pty Ltd

Provided the outcomes of this control are act leved, the following may be permitted on the landscaped proportion of the site:

proportion of the site:
i) impervious areas less than 1 metre in width (e.g.pathways and the like) 50015/01
ii) for single dwellings on land zoned R2 Low pensity Residential, R3 Madium Bensity Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. horied or unroofed pergolas, paved private open space, patios, p. thways and uncovered decks no higher than 1 metre above ground level (existing)).

Landscaping	Paving (recreational)
171.1 m2 16.5 11.0 20.2 304.6	56.0 m2 14.6
523.4 m2	70.6 m2 maximum allowable = 6%
	(51.3 m2)

PROPOSED



Landscaping

TOTAL = 574.7 m2

98.9 m2 16.5 6.9 20.2 304.6

447.1 m2

Paving (recreational) TER COUNCI

56.0 m2

APPROVED DEVELOPMENT
CONSENT PLANS

N70-6-EMPTHESE PLANS MUST BE READ IN CONSIDER AND THE CONDITIONS OF (51.3 m2)EVELOPMENT CONSENT.

TOTAL = 498.4 THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.



LANDSCAPING AREAS

1:200



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Description	Date
DA ISSUE	25-05-15

CLIENT:					
	LUKE & JULIE PRESTON	CALCULATION PLANS			
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912		
		Date	25-05-15	DA 701	'01
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		
		Checked by	SC	Scale	1:200