



ABN: 45156481891

PO Box 6250,
North Sydney NSW 2059
(p): 0420694517
admin@i-cert.com.au

Our reference: 150015

30 September 2015

The General Manager
Pittwater Council
PO Box 882,
Mona Vale NSW 1660

Dear Sir/Madam,



Re: 1 Harewood Place, Warriewood NSW 2102

Construction Certificate No. 150015/01

Development Application No.: N0195/15

iCERT Australia Pty Ltd has issued a Construction Certificate under Part4A of the Environmental Planning and Assessment Act 1979 for the above premises.

Please find enclosed the following documentation:

- Construction Certificate No. 150015/01
- Copy of the application for the Construction Certificate.
- Documentation used to determine the application for the Construction Certificate as detailed in Schedule 1 of the Certificate.
- Cheque for Council's registration fee.

Our client has been advised of the necessity to submit to Council the Notice of Commencement of building works 48 hours prior to the commencement of works.

Should you need to discuss any issues, please do not hesitate to contact the Accredited Building Surveyor, Mark Painter.

Yours sincerely,

Mark Painter
Building Surveyor
iCERT Australia Pty Ltd

\$36 REC: 385860 6/10/15



ABN:45156481891

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CONSTRUCTION CERTIFICATE 150015/01

Issued under Part 4A of the Environmental Planning and Assessment Act 1979 Sections 109C and 81A(5)

APPLICANT DETAILS

Applicant:	Luke Preston
Address:	1 Harewood Place, Warriewood NSW 2102
Phone:	04040889924

OWNER DETAILS

Name of the person having benefit of the development consent:	Luke Preston
Address:	1 Harewood Place, Warriewood NSW 2102
Phone:	04040889924

RELEVANT CONSENTS

Consent Authority / Local Government Area:	Pittwater Council
Development Consent Number:	N0195/15
Date Issued:	21/07/2015
Construction Certificate Number:	150015/01
Date Issued:	30/09/2015

PROPOSAL

Address of Development:	1 Harewood Place, Warriewood NSW 2102
Lot/DP:	40 26441
Zone:	
Building Classification:	10a
Scope of Building Works Covered by this Notice:	Alterations and additions to existing dwelling
Value of Construction Certificate (incl. GST)	100,000.00
Plans and Specifications approved:	Schedule 1
Fire Safety Schedule:	N/A
Exclusions:	
Critical stage inspections:	See attached Notice
Conditions (CIs 187 or 188 of EPA Regs. 2000)	Nil

CERTIFYING AUTHORITY

Certifying Authority:	Mark Painter
Accreditation Body:	Building Professional Board 1950

I, Mark Painter, as the certifying authority, certify that the work if completed in accordance with the plans and specifications identified in Schedule 1 (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

Dated: 30/09/2015

Mark Painter

N.B. Prior to the commencement of work S81A (2) (b) and (c) of the Environment Planning and Assessment Act 1979 must be satisfied.



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SCHEDULE 1: APPROVED PLANS AND SPECIFICATIONS

1. Endorsed Architectural Plans

Prepared by	Document	Drawing number	Revision	Date
Hot House Studio	Coversheet	DA_001	01	25/05/2015
Hot House Studio	Site Analysis	DA_002	01	25/05/2015
Hot House Studio	Ground Plan	DA_100	01	25/05/2015
Hot House Studio	Level 1 Plan	DA_101	01	25/05/2015
Hot House Studio	Roof	DA_102	01	25/05/2015
Hot House Studio	Landscaping & Drainage Plan	DA_103	01	25/05/2015
Hot House Studio	Elevations North and South	DA_200	01	25/05/2015
Hot House Studio	Elevation West	DA_201	01	25/05/2015
Hot House Studio	Sections	DA_300	01	25/05/2015
Hot House Studio	Calculations & Material Schedule	DA_700	01	25/05/2015
Hot House Studio	Calculation Plans	DA_701	01	25/05/2015

2. Endorsed Structural Plans

Prepared by	Document	Drawing number	Revision	Date
Waddington Consulting Pty Ltd	Structural Notes - SHT 1 of 2	11122-S0.00	A	14/09/2015
Waddington Consulting Pty Ltd	Structural Notes - SHT 2 of 2	11122-S0.01	A	14/09/2015
Waddington Consulting Pty Ltd	Garage/Driveway Slab Plan	11122-S1.00	A	14/09/2015
Waddington Consulting Pty Ltd	Garage/Driveway Slab Details SHT 1 of 2	11122-S3.00	A	14/09/2015
Waddington Consulting Pty Ltd	Garage/Driveway Slab Details SHT 2 of 2	11122-S1.02	A	14/09/2015
Waddington Consulting Pty Ltd	Roof Framing Plan & Details	11122-S2.00	A	14/09/2015

3. Endorsed Engineering Plans Not applicable.

4. Endorsed Landscape Plans Not applicable.

5. Endorsed other documents

Prepared by	Document	Drawing number	Revision	Date
Kolby Constructions	Dilapidation report of councils assets	i-Cert checklist General 1	-	10/09/2015



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Hot House Designs	Environmental Management Plan	i-Cert checklist General 2	1	25/05/2015
Kolby Constructions	Silt Fence	i-Cert checklist General 3	-	16/09/2015
Hot House Designs	Construction Management Plan	i-Cert checklist General 4	1	25/05/2015
Kolby Constructions	Silt Fencing	i-Cert checklist General 5	-	10/09/2015
Hot House Designs	Sydney Water Stamp	i-Cert checklist General 6	1	25/05/2015
Waddington Consulting Pty Ltd	Certificate for Structural Engineering Design	i-Cert checklist General 7	11122-L2	14/09/2015
HBCF	Statement of Cover - i-Cert checklist General 9	HBCF15004129	-	27/08/2015
Long Service Corporation	Levy Online Payment Receipt	5105545	-	14/09/2015
Long Service Corporation	Levy Online Payment Receipt	5105695	-	16/09/2015
Kolby Constructions	Details of Principal Contractor	224450C	-	16/09/2015
Sj Plumbing	Stormwater Plan	-	-	24/09/2015
Sj Plumbing	Plumbing and Stormwater Design Certificate	-	-	24/09/2015
i-Cert	143b Pre Inspection	150015	-	30/09/2015



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admin@i-cert.com.au

NOTICE OF APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(i) & 86(1)(a1)(i)

OWNER DETAILS

Name of the person having benefit of the Development	Luke Preston
Consent:	
Address:	1 Harewood Place, Warriewood NSW 2102
Phone:	04040889924

RELEVANT CONSENTS

Consent Authority / Local Government Area:	Pittwater Council
Development Consent Number:	N0195/15
Date Issued:	22/07/2015
Construction Certificate Number:	150015/01

PROPOSAL

Address of Development:	1 Harewood Place, Warriewood NSW 2102
Scope of Building Works Covered by this Notice:	Alterations and additions to existing dwelling

PRINCIPAL CERTIFYING AUTHORITY

Certifying Authority:	Mark Painter
Accreditation Body:	Building Professional Board 1950

The owner has appointed Mark Painter as the Principal Certifying Authority as stated in the Construction Certificate lodged with iCERT Australia Pty Ltd for the building works identified in this notice.

I, Mark Painter, Building Surveyor of Mark Painter located at PO Box 6250, North Sydney NSW 2059 accept the appointment as Principal Certifying Authority for the building works identified and covered under the relevant Construction Certificate as stated in this Notice.

Dated: 30/09/2015

Mark Painter
Building Surveyor



ABN: 45156481891

PO Box 6250
North Sydney NSW 2059
(p): 0420694517
admin@i-cert.com.au

NOTICE TO APPLICANT OF MANDATORY CRITICAL STAGE INSPECTIONS

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 86(a2)(i) (ii) (iii) b

APPLICANT DETAILS

Name of the person having benefit of the Development Consent:	Luke Preston
Address:	1 Harewood Place, Warriewood NSW 2102
Phone:	04040889924

RELEVANT CONSENTS

Consent Authority / Local Government Area:	Pittwater Council
Development Consent Number:	N0195/15
Date Issued:	22/07/2015
Construction Certificate Number:	150015/01

PROPOSAL

Address of Development:	1 Harewood Place, Warriewood NSW 2102
Scope of Building Works Covered by this Notice:	Alterations and additions to existing dwelling

CERTIFICATION DETAILS

Certifying Authority:	Mark Painter
Accreditation Body:	Building Professional Board 1950

I, Mark Painter, iCERT Australia Pty Ltd located at PO Box 6250, North Sydney NSW 2059 acting as the principal certifying authority, hereby give notice in accordance with Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979 to the person having the benefit of the development consent that the mandatory critical stage inspections identified in Schedule 1 & Schedule 2 are to be carried out in respect of the building work.

The applicant, being the person having benefit of the development consent is required under Section 81(A)(b2)(ii) of the Environmental Planning and Assessment Act 1979 to notify the principal contractor (if not an owner-builder) of the applicable mandatory critical stage inspections specified under this notice.

To allow a principal certifying authority or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifying authority at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 163 of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspection will prohibit the principal certifying authority under Section 109E(3)(d) of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

Dated: 30/09/2015

Mark Painter
Building Surveyor



ABN: 45156481891

PO Box 6250
North Sydney NSW 2059
(p): 0420694517
admin@i-cert.com.au

SCHEDULE 1: MANDATORY CRITICAL STAGE INSPECTIONS

No.	Critical Stage Inspection	Inspector
1.	After excavation for and prior to placement of any footings	Certifying Authority
2.	Prior to covering of the framework for any floor, wall, roof, or other building element	Certifying Authority
3.	Prior to covering any storm water drainage connections	Certifying Authority
4.	After the building work has been completed & prior to any Occupation Certificate being issued in relation to the building	Principal Certifying Authority



ABN: 45156481891

PO Box 6250
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(p): 0420694517
admin@i-cert.com.au

INSPECTION REPORT – 150015 – 143B Pre-Approval Inspection
1 Harewood Place, Warriewood NSW 2102

APPLICANT DETAILS

Applicant: Luke Preston
Address: 1 Harewood Place, Warriewood NSW 2102
Phone: 04040889924

RELEVANT CONSENTS

Local Government Area: Pittwater Council
Development Applications (if applicable) N0195/15
Construction Certificate Number 150015/01

PROPOSAL

Address of Development: 1 Harewood Place, Warriewood NSW 2102
Lot / DP: 40 26441
Land Use Zoning:
Scope of Building Works Covered by this Notice: Alterations and additions to existing dwelling

INSPECTION DETAILS

Inspector: Mark Painter
Inspection date and time: 30/09/2015 12:01 AM
Accreditation No.: 1950

INSPECTION RESULTS

We have attended the above property and completed an inspection. The areas inspected and the overall outcome of the inspection are listed below, together with any specific defects noted or documents required.

Inspection Area	Inspection Outcome	Reinsertions
1. 143B Pre-Approval Inspection	Satisfactory	No re-inspections required for this inspection.

SIGNED BY:

Mark Painter – Inspector
30/09/2015



ABN: 79462 898 283
LIC : 224450C
Ph: 0403 823 807
kolbycristaudo@bigpond.com

10/09/15

Reference: I cert checklist General 1.

Dilapidation report of councils assets.

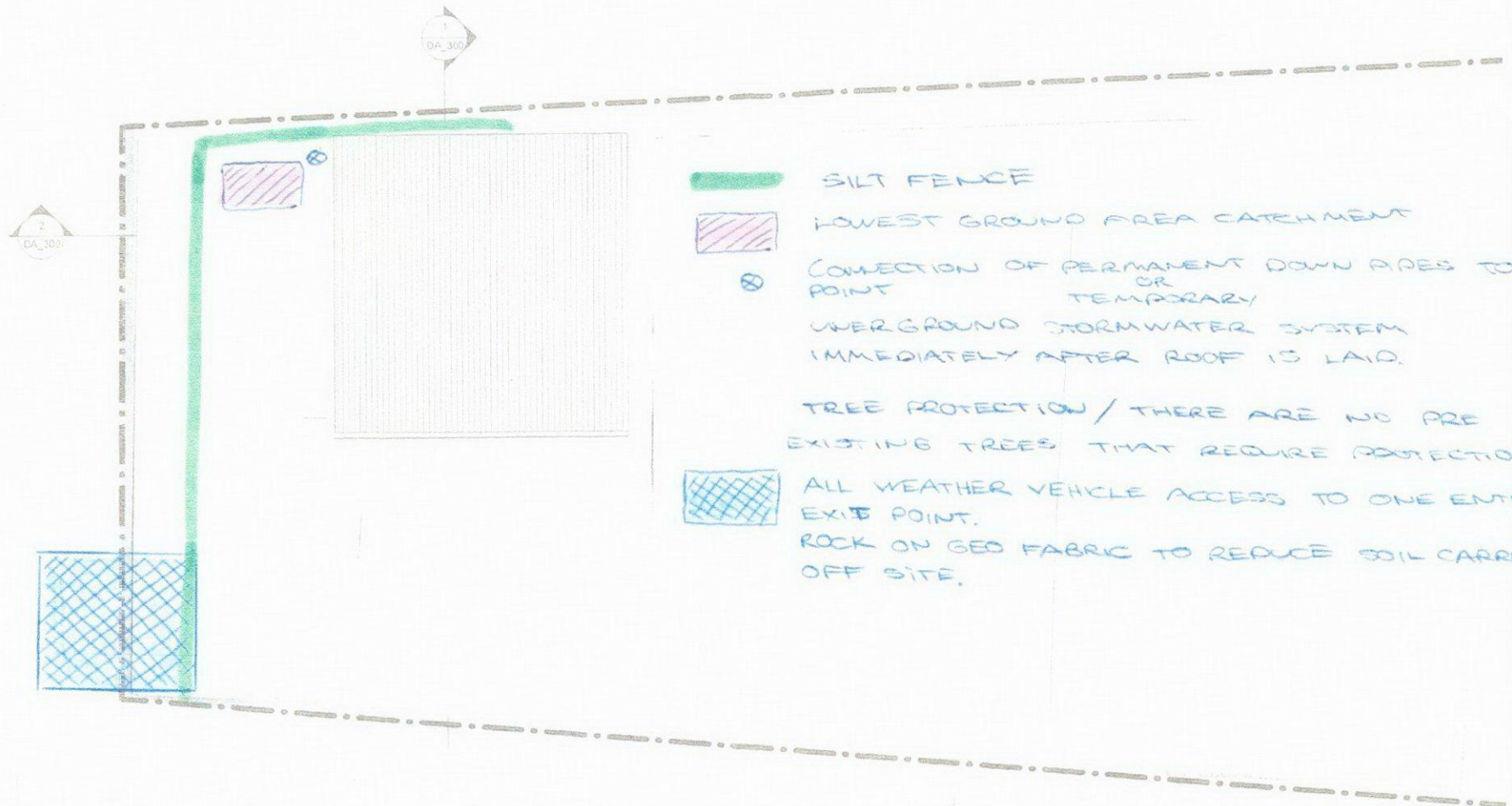
Attached are x3 photographs of front guttering and street of no.1 Harewood place Warriewood. General condition is fairly good. Normal minor cracks from general wear and tare can be seen.





GENERAL 2.

ENVIRONMENTAL MITIGATION



This drawing is copyright and the property of Hot House Studio and must not be used without a written authorisation. Do not scale this drawing. All dimensions are to be verified on site and any discrepancies reported before commencement of any work or shop drawings.

Designs by Hot House Studio
t: 0432 775 492
wade@houseshowstudio.com

No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT: LUKE & JULIE PRESTON

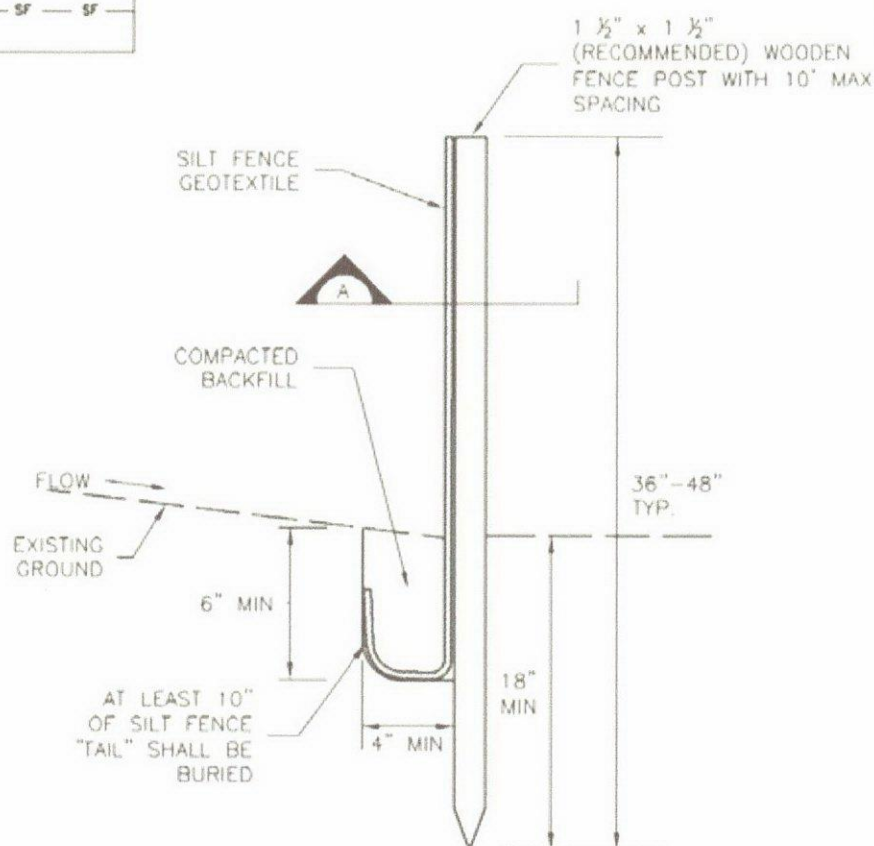
PROJECT: ALTERATIONS & ADDITIONS

ADDRESS: 1 HAREWOOD PLACE, WARRIEWOOD

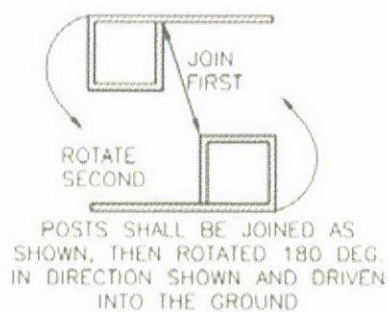
LEVEL 1 PLAN

Project number: 20140912
Date: 25-05-15
Drawn by: W. Cogle
Checked by: SC
Scale: @A3 1:100

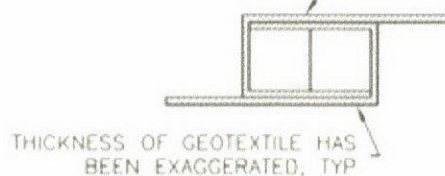
DA_101



SILT FENCE



POSTS SHALL OVERLAP AT JOINTS SO THAT NO GAPS EXIST IN SILT FENCE



SECTION A

SF-1. SILT FENCE

SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

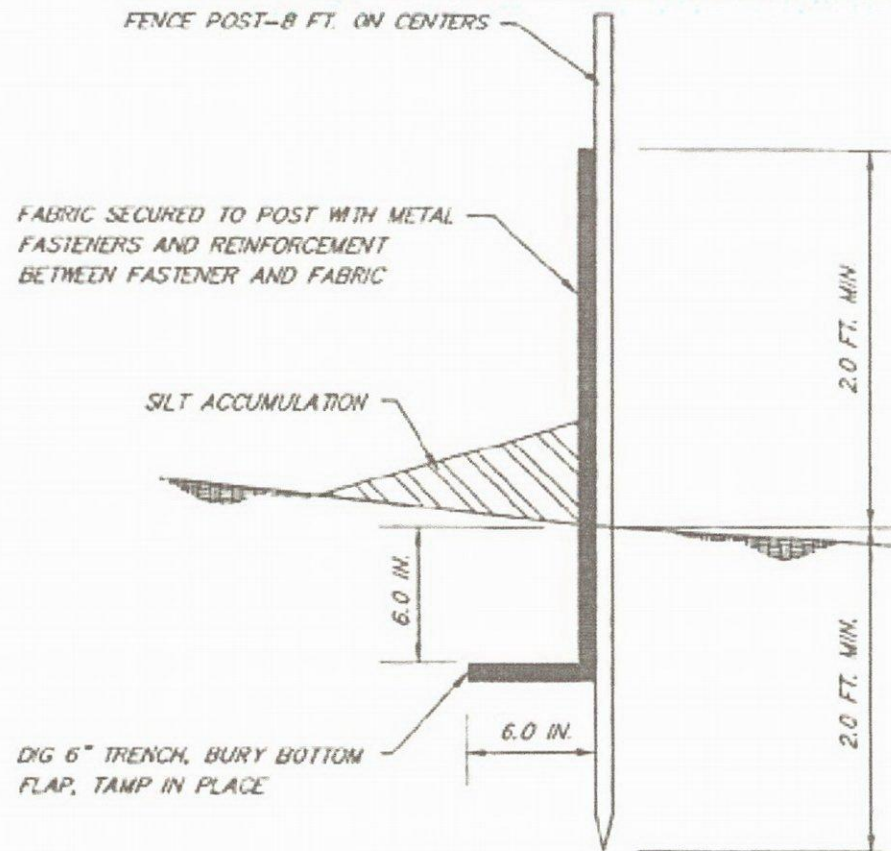
SILT FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

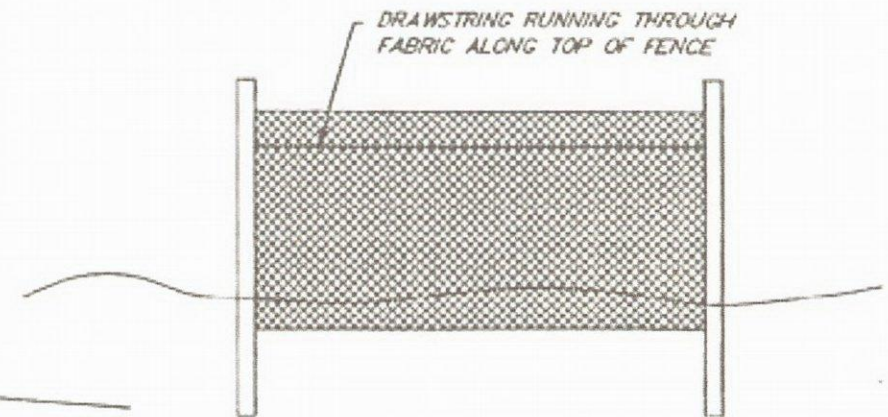
Click the back button or the Left Arrow on your Browser to return to the site.



PROFILE

1"=30' (HORIZONTAL)

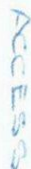
1"=3' (VERTICAL)



SILT FENCE SEDIMENT BARRIER

NO SCALE

GENERAL 4



7-72-74 688



ABN: 79462 898 283
LIC : 224450C
Ph: 0403 823 807
kolbycrisatudo@bigpond.com

10/09/15
Subject: I Cert checklist for C/C General. 5.

I hereby state that all silt fences will be erected accordingly to details shown in previous diagram and properly maintained throughout the building project as stated in general checklist no. 5.

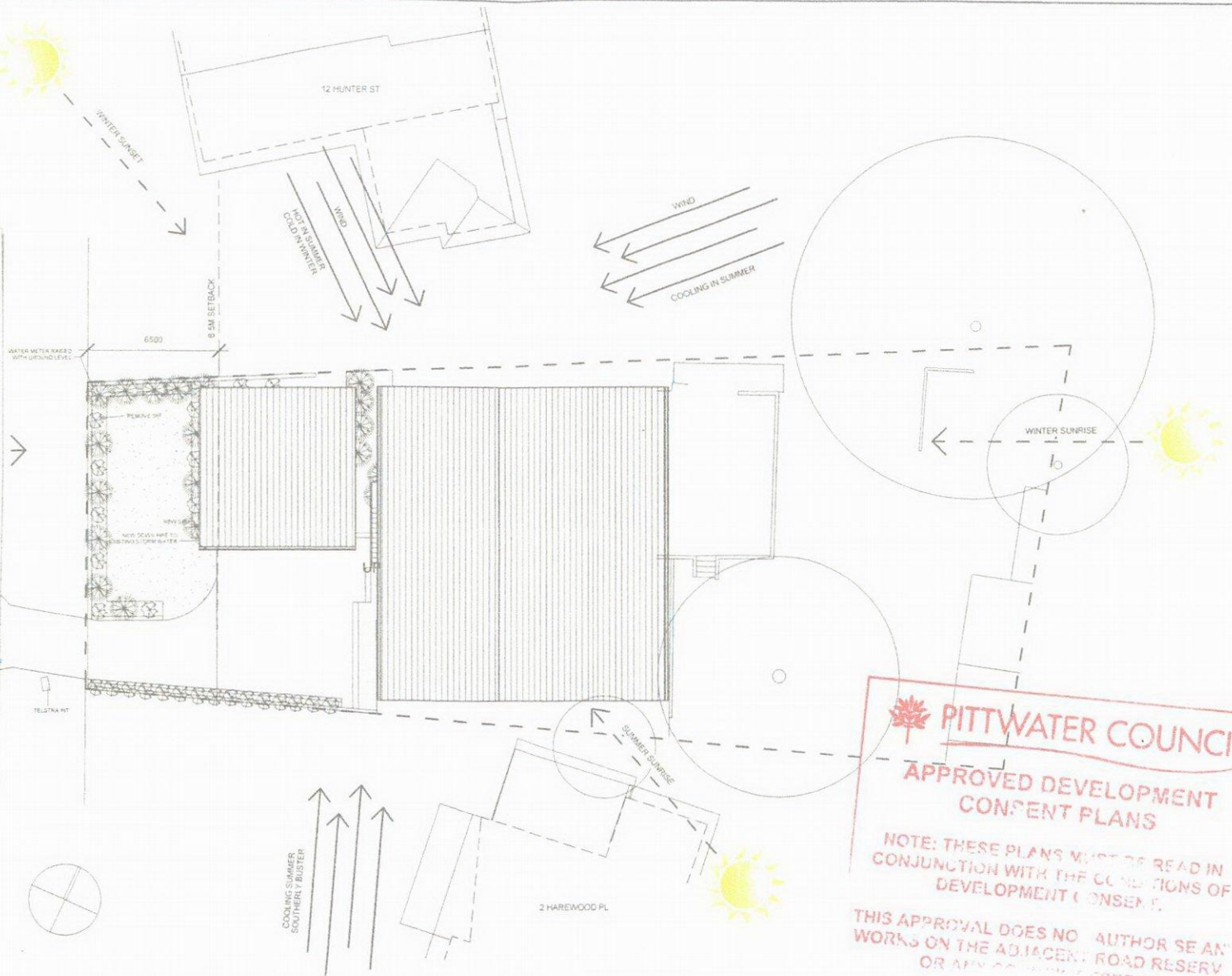
Regards
Kolby Crisatudo
Builder

SYDNEY WATER APPROVED

1. Positioning of structure in relation to Sydney Water easement.
2. Compliance to Sydney Water easement requirements regarding the proposed structure.
3. It is the responsibility of the applicant to ensure all proposed works are in accordance with the relevant legislation.
4. Any proposed works must be in accordance with the relevant legislation.
5. Compliance with the relevant legislation regarding the proposed structure.
6. Property No. **342218**

Quick Check Approval of
SYDNEY WATER

Wade *07.07.15*



PITTWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY OTHER PUBLIC PROPERTY.

SITE
1 : 200



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Designs by Hot House Studio
M 0433 775 490
wade@houshousstudio.com

No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON
PROJECT:	ALTERATIONS & ADDITIONS
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD

SITE ANALYSIS		
Project number	20140912	DA_002
Date	25-05-15	
Drawn by	W.Cogle	
Checked by	SC	
Scale	@A3	1 : 200



Waddington Consulting Pty Ltd

ACN 130 522 851
Structural and Civil Engineering
Suite 506, Level 5
22 Central Ave, Manly
P.O. Box 1044
Manly NSW 1655

Our ref: 11122-L2

P (02) 9976 0070

14 September 2015

Mr and Mrs Preston,
1 Harewood Place,
Warriewood NSW

Dear Luke and Julie,

***Subject: Alterations & Additions at 1 Harewood Place, Warriewood
Certificate for Structural Engineering Design***

Please find attached copies of engineering drawings 11122-S0.00, S0.01, S1.00, S1.01, S1.02, S2.00 (revision A) relating to the proposed alterations and additions at 1 Harewood Place, Warriewood.

I certify that the structural engineering design of the elements shown on the above-mentioned plans has been carried out in accordance with the BCA, relevant Australian Standards and normal engineering practice.

Please do not hesitate to contact me if you have any queries regarding this project or require any further structural engineering advice.

Yours sincerely,

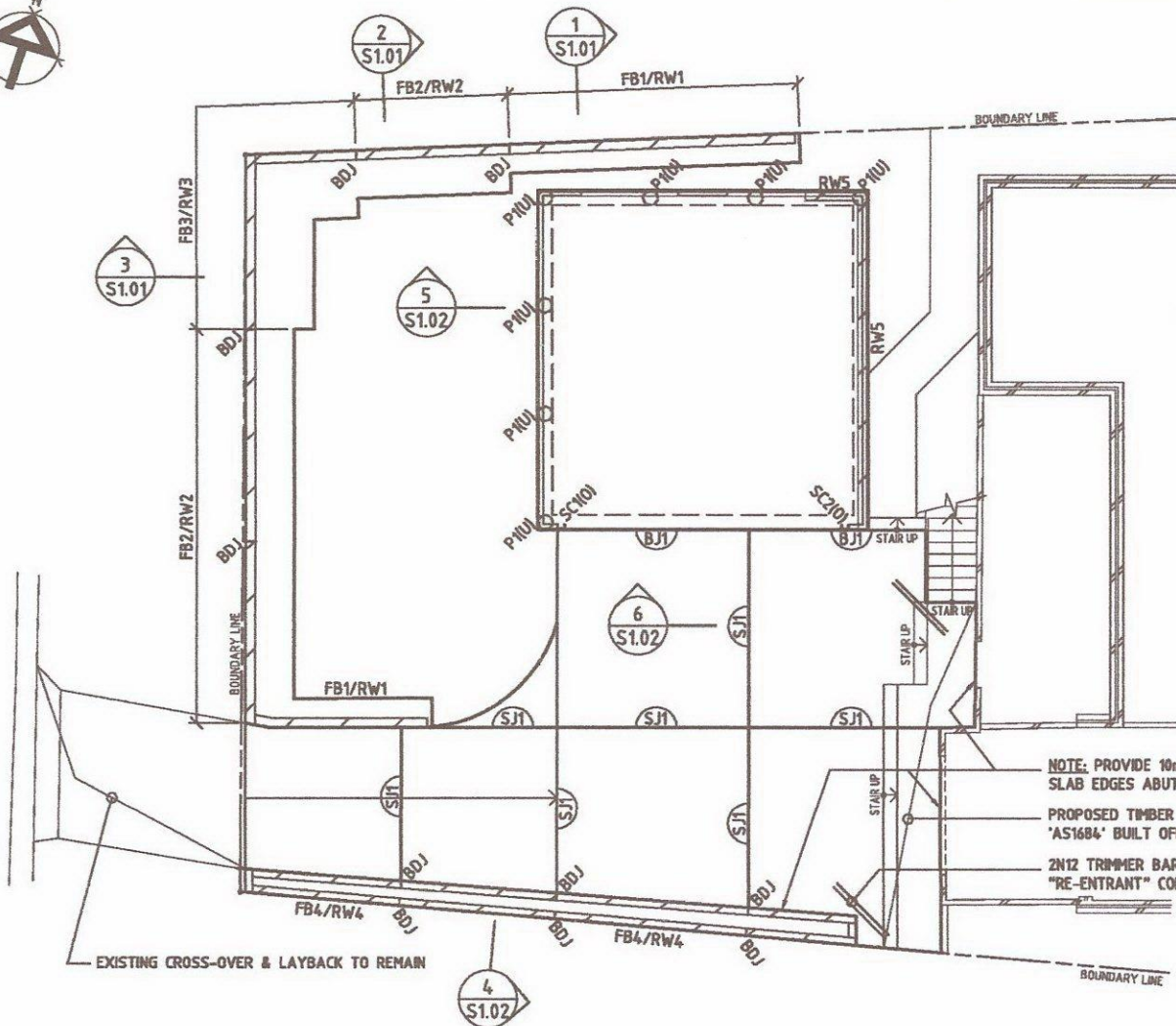
Simon Waddington
MIEAust CPEng NPER (Structural)
Director
Waddington Consulting Pty Ltd

REY



NOTES:

- FOR GENERAL NOTES REFER DRG No 11122-S0.00 & S0.01



GARAGE/DRIVEWAY SLAB PLAN

SCALE 1:100

- ALL FOOTING BEAMS TO BEAR ON NATURALLY OCCURRING FIRM SANDY CLAY RESIDUAL SOIL OF MINIMUM SAFE BEARING VALUE 150 kPa OR ELSE PROVIDE 300mm DIA MASS CONCRETE PILES AT 2400mm MAX CTS. REFER PILE 'P1' FOR TYPICAL DETAILS.
- ALL SLABS ON-GROUND TO BE 110mm THICK THROUGHOUT, UNLESS NOTED OTHERWISE AND POURED OVER VAPOURPROOF MEMBRANE OVERLYING 20mm NOMINAL SAND BLINDING LAYER.
- ALL SLABS TO BE REINFORCED WITH SL82 MESH TOP THROUGHOUT, UNLESS NOTED OTHERWISE, PLUS EXTRA BARS AS SHOWN ON PLAN & SECTIONS.
- DENOTES
 - P1 PROPOSED PILE LOCATIONS, REFER TYPICAL DETAILS.
 - (U) SUFFIX DENOTES PROPOSED STRUCTURE UNDER.
 - BDJ APPROXIMATE BLOCK DOWEL LOCATIONS, REFER TYPICAL DETAILS.
NOTE: JOINT LOCATIONS TO ALIGN WITH FOOTING BEAM STEP LOCATIONS. TO BE CONFIRMED ON-SITE.
 - (BJ) PROPOSED BUTT JOINT LOCATIONS, REFER TYPICAL DETAILS.
 - (SJ) PROPOSED SAWN JOINT LOCATIONS, REFER TYPICAL DETAILS.
 - FB1 to FB4 PROPOSED FOOTING BEAM LOCATIONS, REFER TYPICAL DETAILS.
 - RW1 to RW5 PROPOSED RETAINING WALL LOCATIONS, REFER TYPICAL DETAILS.

NOTE: PROVIDE 10mm ABELFLEX FULL DEPTH OF SLAB AROUND ALL PROPOSED SLAB EDGES ABUTTING EXISTING BRICKWORK OR PROPOSED BLOCKWORK

PROPOSED TIMBER DECK & STEPS TO 'AS1684' BUILT OFF PROPOSED SLAB UNDER

2N12 TRIMMER BARS 1500mm MIN LONG AT "RE-ENTRANT" CORNERS DENOTED THUS

This information contained on this drawing has been prepared for the exclusive use of the Client for this project. No liability or responsibility is accepted for use of this information by any third party or for any other project.

ISSUE	DESCRIPTION	BY	APR	DATE
A	ISSUED FOR CONSTRUCTION	JC	14	09/2015

ARCHITECT / DESIGNER:

Designs by Hot House Studio
M 0433 775 490
wade@hothousestudio.com

CHARTERED PROFESSIONAL ENGINEERS:

Waddington Consulting Pty Ltd
ACN 130 522 801
Structural and Civil Engineering Consultants
Suite 6, Level 5, 22 Central Avenue Manly NSW
P.O. Box 1044 Manly NSW 1555
Phone: (02) 9976 0070 Fax: (02) 9976 0095
Email: enquiries@wadcconsulting.com

PROJECT:

PROPOSED ALTERATIONS & ADDITIONS
at: 1 HAREWOOD PLACE, WARRIWOOD
for: LUKE & JULIE PRESTON

DRAWING TITLE:

GARAGE/DRIVEWAY SLAB PLAN

DESIGN: S.W. DATE: SEPT 2015

DRAWN: J.C. SCALE: 1:100

FILENAME: 11122-S1.00 To S2.00 DWG

SIGNED: [Signature] SIZE: A3

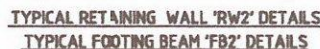
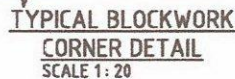
DRAWING No: 11122-S1.00

REV

1. ALL HORIZONTAL RETAINING WALL REINFORCEMENT SHALL BE HOT DIP GALVANISED IF STANDARD BLOCKWORK IS USED.
2. HORIZONTAL RETAINING WALL REINFORCEMENT SHALL NOT REQUIRE GALVANISING IF 'H' BLOCKS ARE USED.



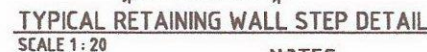
SECTION 1
SCALE 1:20 \$100



SECTION	2
SCALE 1:20	\$100



SECTION 3
SCALE 1:20 S100



- FOR GENERAL NOTES REFER DRG No 11122-S0.00 & S0.01

ISSUED FOR CONSTRUCTION

A	ISSUED FOR CONSTRUCTION	F	SW	04-09-20	
ISSUE	DESCRIPTION	BY	APP.	DATE	

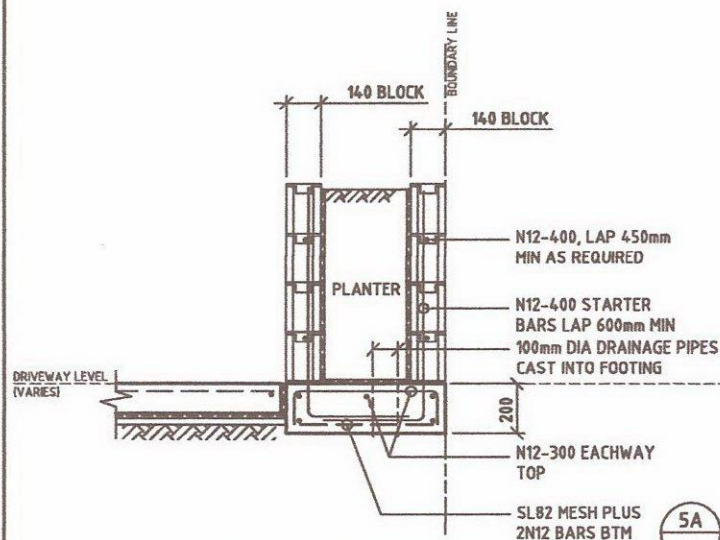
Designs by Hot House Studio
M 0433 775 490
wade@hothousestudio.com

Waddington Consulting Pty Ltd
 ADX 130 822 891
 Structural and Civil Engineering Consultants
 Suite 8, Level 5, 22 Central Avenue Marry NSW
 P.O. Box 1044 Marry NSW 1656
 Phone (02) 9976 0700 Fax (02) 9976 0095
 email enquiries@waddingtonconsulting.com

DRAWING TITLE: GARAGE & DRIVEWAY SLAB DETAILS SHT 1 of 2

DESIGN: S.W.	DATE: SEPT 2015
DRAWN: J.C.	SCALE: 1:20
FILENAME: 11122-S3.00 to S2.00.DWG	
SIGNED:	SIZE: A3
DRAWING No: 11122-S3.00	REV: A

- FOR GENERAL NOTES REFER DRG No 11122-S0.00 & S0.01



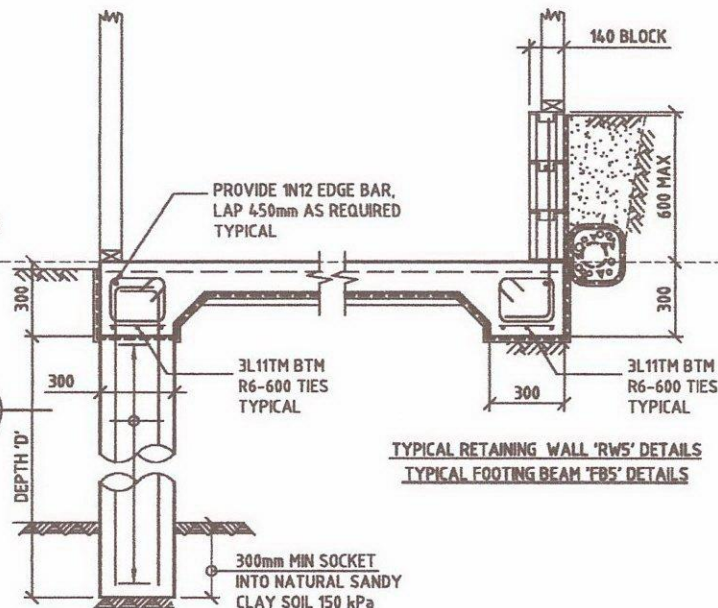
TYPICAL RETAINING WALL 'RW4' DETAILS
TYPICAL FOOTING BEAM 'FB4' DETAILS

SECTION

SCALE 1:20

6

\$1.0



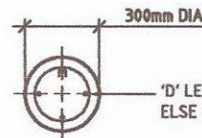
TYPICAL RETAINING WALL 'RW5' DETAILS
TYPICAL FOOTING BEAM 'FB5' DETAILS

SECTION

SCALE 1:20

5

\$1.0



TYPICAL PILE 'P1' DETAILS

SECTION

SCALE 1:20



The information contained on this drawing has been prepared for the exclusive use of the Client for this project. No liability or responsibility is accepted for use of this information by any third party or for any other project.

[illegible]

ARCHITECT / DESIGNER

Designs by Hot House Studio
M 0433 775 490
wade@hothousestudio.com

CHARTERED PROFESSIONAL ENGINEERS:



Waddington Consulting Pty Ltd
 AGH 120 622 661
Structural and Civil Engineering Consultants
 Suite 6, Level 5, 22 Central Avenue Manly NSW
 P.O. Box 1044 Manly NSW 1555
 Phone (02) 89 76 0070 Fax (02) 99 76 0095
 Email enquiries@waddconsulting.com

PROJECT:

PROPOSED ALTERATIONS & ADDITIONS
at: 1 HAREWOOD PLACE, WARRIEWOOD
for: LUKE & JULIE PRESTON

DRAWING TITLE:

GARAGE & DRIVEWAY SLAB DETAILS SHT 2 of 2

DESIGN: S.V. DATE: SEPT 2015

DRAWN: J.C.	SCALE: 1:20
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FILENAME: 11122-S0.00 to 52.00.DWG

SIGNED:	SIZE
	A3

AS
REV

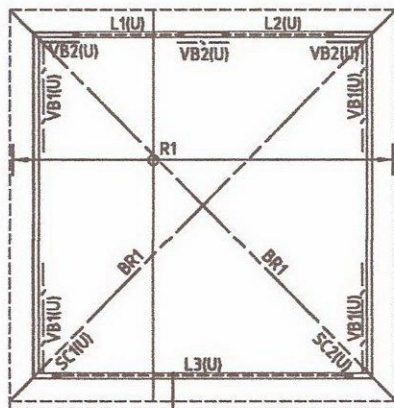
DRAWING NO: 11122-S1.02 REV: A

11122-51.021A

ISSUED FOR CONSTRUCTION



BOUNDARY LINE



ROOF FRAMING PLAN

SCALE 1:100

1. THIS DRAWING SHOWS PRIMARY STEEL/TIMBER ROOF SUPPORT BEAMS ONLY. ALL TIMBER ROOF FRAMING INCLUDING CONNECTIONS, BRACING & TIE DOWNS SHALL BE BY THE BUILDER IN ACCORDANCE WITH 'AS1684'.

MEMBER SCHEDULE

STEEL COLUMNS

SC1 & SC2 150 PFC

RAFTERS

R1 240 x 45 LVL or 300 x 65 GLB AT 600mm MAX CTS

LINTELS - GARAGE WALLS (U) UNDER

L1 2/140 x 45 F7

L2 2/140 x 45 F7

L3 250 PFC

ROOF BRACING

BR1 GALV STEEL STRAP BRACING. BRACING FLATTENED OVER EACH RAFTER & FIXED WITH 2 NAILS, TYPICAL. BRACING POSITIVELY FIXED TO WALL PLATE OR TIMBER BEAM AT ENDS WITH 5 NAILS PREFERABLY 2 TO SIDE & 3 TO UNDERSIDE WALL PLATE/TIMBER BEAM. NO NAIL TO BE CLOSER THAN 10mm TO EDGE OF TIMBER.

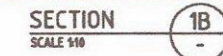
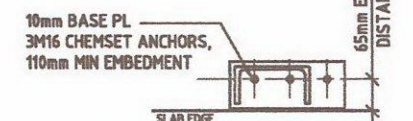
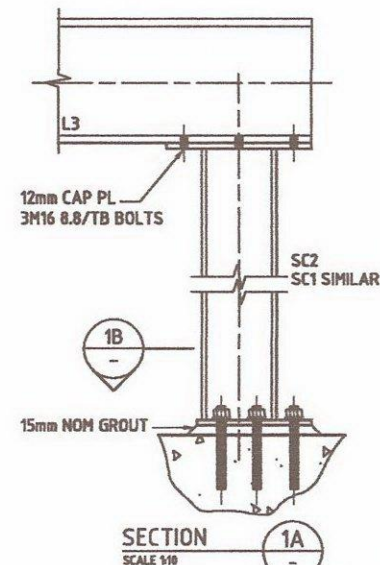
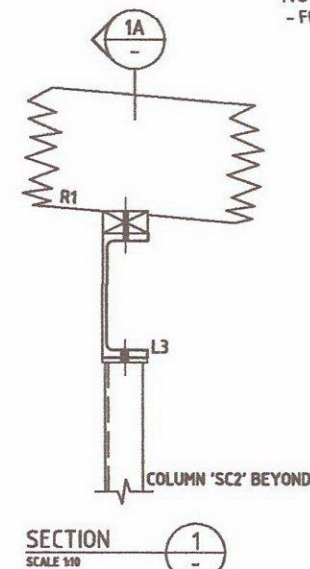
VERTICAL WALL BRACING

VB1 GALV STRAP CROSS BRACING or 20 x 20 ANGLE BRACE WITH STRAP LOOPED OVER TOP & BTM PLATES & NAILED TO STUDS AT ENDS OF BRACING PANEL.

VB2 4mm STRUCTURAL HARDWOOD PLY BRACING. NAIL TOP & BTM OF SHEETS @ 50mm CTS - VERTICAL EDGES @ 150mm CTS & INTERNAL STUDS @ 300mm CTS. PROVIDE M12 TIE DOWN TO FLOOR AT EACH END OF BRACING PANEL & AT 1200mm MAX CTS.

NOTES:

- FOR GENERAL NOTES REFER DRG No 11122-S0.00 & S0.01



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ISSUE	DESCRIPTION	BY	DATE
A	ISSUED FOR CONSTRUCTION	JC	14.09.2015

ARCHITECT / DESIGNER:

Designs by Hot House Studio
M 0433 775 490
wade@hothousestudio.com

CHARTERED PROFESSIONAL ENGINEERS:



Waddington Consulting Pty Ltd
ACN 130 673 808
Structural and Civil Engineering Consultants
Suite 6, Level 6, 22 Central Avenue Marry NSW
P.O. Box 1044 Marry NSW 1505
Phone: (02) 9976 0070 Fax: (02) 9976 0085
Email: enquiries@waddingtonconsulting.com

PROJECT:

PROPOSED ALTERATIONS & ADDITIONS
at: 1 HAREWOOD PLACE, WARRIWOOD
for: LUKE & JULIE PRESTON

DRAWING TITLE:

ROOF FRAMING PLAN & DETAILS

DESIGN: S.W.

DATE: SEPT 2015

DRAWN: J.C.

SCALE: AS SHOWN

FILENAME: 11122-S0.00 1 of 52.00.DWG

SIGNED:

REV

DRAWING No:

A3

11122-S2.00

ISSUED FOR CONSTRUCTION

Statement of Cover

Kolby Joseph Cristaudo

HIA INSURANCE SERVICES(NSW)

5 LivingStoneplace
newportNSW 2106

4 BYFIELD STREET
NORTH RYDE NSW 2113

Note: This document contains an extract of details kept on the HBCF Certificates Register.
To confirm the authenticity of this document as proof of a valid contract of insurance, please visit the Certificates Register at www.hbcf.nsw.gov.au. The Certificates Register will also notify you if any claims have been made on this insurance cover and any other relevant information.

CERTIFICATE IN RESPECT OF INSURANCE RESIDENTIAL BUILDING WORKS BY CONTRACTORS

A contract of insurance complying with sections 92 and 96 of the *Home Building Act 1989* (the Act) has been issued by the NSW Self Insurance Corporation who is responsible for management of the Home Building Compensation Fund.

In respect of	Single Dwelling Alterations/ Additions- Structural
At	1 Harewood Place Warriewood
Homeowner	Luke Preston
Carried out by	Kolby Joseph Cristaudo
Licence Number	224450C
Contract Sum	\$100,000.00
Contract Date	01/09/2015(Proposed)
Premium Paid	\$719.40

Subject to the Act, the Home Building Regulation 2014 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

This Certificate is to be read in conjunction with the policy wording current as at the policy date and available at the Home Building Compensation Fund website at www.hbcf.nsw.gov.au

Issued on the 27/08/2015

Issued by Calliden Insurance Limited

On behalf of NSW Self Insurance Corporation (ABN 97 369 689 650)

Levy Online Payment Receipt

Building and Construction



LUKE PRESTON
1 HAREWOOD PL
WARRIEWOOD NSW 2102

Application Details:

Applicant Name:	LUKE PRESTON
Levy Number:	5105545
Application Type:	DA
Application Number:	N0195/15
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	1 HAREWOOD PL WARRIEWOOD NSW 2102
Value of work:	\$75,000
Levy Due:	\$262.00

Payment Details:

LSC Receipt Number:	214449
Payment Date:	14/09/2015 8:27:27 PM
Bank Payment Reference:	826756309
Levy Paid:	\$262.00
Credit card surcharge:	\$1.05
Total Payment Received:	\$263.05

Levy Online Payment Receipt

Building and Construction



LUKE PRESTON
1 HAREWOOD PL
WARRIEWOOD NSW 2102

Application Details:

Applicant Name:	LUKE PRESTON
Levy Number:	5105695
Application Type:	DA
Application Number:	NO195/15
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	1 HAREWOOD PL WARRIEWOOD NSW 2102
Value of work:	\$25,000
Levy Due:	\$87.00

Payment Details:

LSC Receipt Number:	214621
Payment Date:	16/09/2015 9:13:59 AM
Bank Payment Reference:	827114460
Levy Paid:	\$87.00
Credit card surcharge:	\$0.35
Total Payment Received:	\$87.35



ABN: 79462 898 283
LIC : 224450C
Ph: 0403 823 807
kolbycristaudo@bigpond.com

Details of principal Contractor:

Kolby Constructions pty ltd.

5/4 Livingstone Place Newport. 2106

Kolby Cristaudo
Director / Builder

24TH SEPTEMBER 2015.

TO WHOM IT MAY CONCERN

Dear Sir/Madam,

Ref: Plumbing and Storm water Drainage Design Certificate
For proposed alterations to existing building

1 Harewood PL Warriwood, NSW, 2012

The plumbing and stormwater drainage system for the above referred project has been designed to comply with

- Pittwater council requirements and regulations
- As 3500.3 (Plumbing and Drainage)
- Development Consent No. N0195/15
- Manufacturers recommendations and
- Best Plumbing Practice

If you have any queries please do not hesitate to contact me

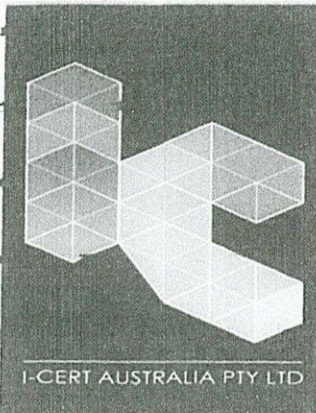
Kind regards



Sandy Junghans

SJ Plumbing and Contracting

Construction Certificate Application Form



Information for the applicant

- This form may be used to apply for a construction certificate (a "certificate") to carry out building work or subdivision work.
- To minimise delay in receiving a decision about the application, please fill in all sections and ensure all relevant information and documents are provided.
- Once completed, this application form should be submitted to a certifying authority for determination. Certifying authorities are either private accredited certifiers, the local council, or the consent authority for the development (if the council is not the consent authority). Private accredited certifiers may be either an individual or a company. View a list of private accredited certifiers at <http://www.bpb.nsw.gov.au/page/for-consumers/find-a-certifier/>

- A construction certificate has no effect if it is issued after the building work or subdivision work to which it relates is physically commenced on the land to which the relevant development consent applies

SECTION A. Details of the applicant

**An application for a construction certificate may only be made by a person who has the benefit of the development consent. An application may not be made by person who will carry out the building work or subdivision work unless that person owns the land on which the work is to be carried out*

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other

First name

Luke

Family name

Preston

Company (if applicable)

ABN (if applicable)

Unit/Street no

1

Street Name

Harewood PI

Suburb or town

Warriewood

State

NSW

Postcode

2102

Daytime telephone

0404088924

Fax

Mobile

0404088924

Email

lukefly35@gmail.com

SECTION B. Location and title details of the land where the building work or subdivision work is to be carried out

Unit/Street no

1

Street Name

Harewood PI

Suburb or town

Warriewood

State

NSW

Postcode

2102

Lot no

40

Section

DP / SP no

DP 76401

Volume/folio

Construction Certificate Application Form

SECTION C. Description of the building work or subdivision work to be carried out

Briefly describe the development For example, if a dwelling is proposed, include information such as the type of building (house, townhouse, villa etc), the number of floors, the number of bedrooms, the major building material (brick, brick veneer, timber clad etc).

Alteration and additions to existing dwelling
(Double Garage made from timber cladding and
new driveway and garden.)

Class(s) of building(s) under the Building Code
of Australia

10 a.

SECTION D. Estimated cost of the development

\$ \$100,000.00

The contract price, or if there is no contract a genuine and accurate estimate, for all labour and material costs associated with all demolition and construction required for the development, including the cost of construction of any building and the preparation of a building for the purpose for which it is to be used (such as the costs of installing plant, fittings, fixtures and equipment) GST is also to be included

SECTION E. Development consent

Date of development consent (if
already granted)

16/27/15

Development consent reference no

Da No 195/15

Name of consent authority

Pittwater Council

Name of applicant for development
consent

Luke Preston

Provide:

A copy of the development consent, including:

- approved plans endorsed by the consent authority
- conditions of development consent
- other documents referenced by the development consent that are relevant to this application

SECTION F. Planning agreements

If the development or the land upon which the development is to be carried out is subject to a planning agreement as referred to in section 93F EP&A Act, provide a copy of the planning agreement

Construction Certificate Application Form

SECTION G. Attachments relating to the proposed development

Applicants must provide the documents listed below that are relevant to the type of development that is proposed. Please place a cross in the appropriate box(s) to indicate the type of development involved. Confirm from the certifying authority how many copies are required prior to lodging this application.

1. Does the application relate **ONLY** to a FIRE LINK CONVERSION? ☐ Yes ☒ No

If Yes-provide:

A document that describes the design and construction and mode of operation of the new fire alarm communication link.

2. Does the development involve SUBDIVISION WORK? ☐ Yes ☒ No

If Yes-provide:

Appropriate subdivision work plans and specifications, which include copies of:

- (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned
- (c) detailed engineering plans as to the following matters:
 - (i) earthworks
 - (ii) roadworks
 - (iii) road pavement
 - (iv) road furnishings
 - (v) stormwater drainage
 - (vi) water supply works
 - (vii) sewerage works
 - (viii) landscaping works
 - (ix) erosion control works
- (d) copies of any compliance certificates to be relied on

3. BUILDINGS

3.1 Does the development involve building work (including in relation to a dwelling house or building or structure ancillary to a dwelling house)? ☒ Yes ☐ No

If Yes-provide:

(1) A detailed description of the development, indicating:

- (a) for each proposed new building
 - (i) the number of storeys (including underground storeys) in the building
 - (ii) the gross floor area of the building (in square metres)
 - (iii) the gross site area of the land on which the building is to be erected (in square metres)
- (b) for each proposed new residential building
 - (i) the number of existing dwellings on the land on which the new building is to be erected
 - (ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building
 - (iii) the number of dwellings to be included in the new building
 - (iv) whether the new building is to be attached to any existing building
 - (v) whether the new building is to be attached to any other new building
 - (vi) whether the land contains a dual occupancy
 - (vii) the materials to be used in the construction of the new building by completing the table in SECTION M

(2) Appropriate building work plans and specifications, which include copies of

- (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that

Construction Certificate Application Form

show.

- (i) a plan of each floor section
- (ii) a plan of each elevation of the building
- (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- (iv) the height, design, construction and provision for fire safety and fire resistance (if any)
- (b) specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used
- (c) a statement as to how the performance requirements of the *Building Code of Australia* are to be complied with (if an alternative solution, to meet the performance requirements, is to be used)
- (d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C(4) of the *Environmental Planning and Assessment Act 1979* (EP&A Act)*
- (e) copies of any compliance certificate to be relied on
- (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building
- (g) if a BASIX certificate has been obtained for the development, such others matters as the BASIX certificate requires to be included in the plans and specifications

* S. 79C(4) EP&A Act provides that a consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the Building Code of Australia if the building product or system is accredited in respect of that requirement in accordance with the EP&A regulation 2000

3.2 Does the development involve building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion)? ☐ Yes ☒ No

If Yes-provide:

- (a) A list of any existing fire safety measures provided in relation to the land or any existing building on the land
- (b) A list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work

3.3 Does the development involve an alternative solution under the Building Code of Australia ("BCA") in respect of a fire safety requirement? ☐ Yes ☒ No

If Yes-provide:

Either or both of the following from a "Fire safety engineer" (a private accredited certifier holding Category C10 accreditation)

- (a) A compliance certificate (as referred to in s 109C(1)(a)(v) EP&A Act) that certifies that the alternative solution complies with the relevant performance requirements of the BCA
- (b) A written report that includes a statement that the alternative solution complies with the relevant requirements of the BCA.

Note: The above requirement only applies to building work in respect of

(a) a class 9a building that is proposed to have a total floor area of 2000 square metres or more

(b) any building (other than a class 9a building) that is proposed to have

(i) a fire compartment with a total floor area of more than 2000 square metres or

(ii) a total floor area of more than 6000 square metres

that involves an alternative solution under the BCA in respect of the requirements set out in EP1 4, EP2 1, EP2 2, DP4 and DP5 in Volume 1 of the BCA

3.4 Does the application relate to a residential flat development for which the development application was required under Clause 50(1A) of the EP&A Regulation to be accompanied by a design verification from a qualified designer? ☐ Yes ☒ No

Construction Certificate Application Form

If Yes-provide:

A statement from a qualified designer which verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of *State Environmental Planning Policy No. 65 Design Quality of Residential Flat Development* (SEPP 65)

Note: If the development application was also required to be accompanied by a BASIX certificate with respect to any building, the statement need not verify the design quality principles set out in SEPP 65 to the extent to which they aim to

- *reduce consumption of mains-supplied potable water, or reduce emissions of greenhouse gases, in the building or in the use of the land that it is built on, or*
- *improve the thermal performance of the building*

3.5 Has the Fire Commissioner granted an exemption under clause 188 EP&A Regulation from compliance with any specified Category 3 fire safety provision?

☐ Yes ☐ No

If Yes-provide:

A copy of the exemption together with any conditions imposed

3.6 Is any long service payment levy payable under s.34 of the Building and Construction Industry Long Service Payments Act 1986? ☐ Yes ☒ No

If Yes-provide:

A copy of a receipt for any long service payment levy that has been made (or, where such a levy is payable by instalments, a receipt for the first instalment of the levy).

Where a council is the certifying authority, the levy may be made to the council when this application is lodged

3.7 Does the application involve a BASIX affected development, or a BASIX optional development for which a BASIX certificate has been obtained? ☐ Yes ☒ No

If Yes-provide:

The BASIX certificate(s) for the development (being either the BASIX certificate issued when the development consent was granted or some other BASIX certificate(s) that have been issued no earlier than three months before the date of the Application being made), and such other documents as the BASIX certificate(s) for the development requires to accompany the Application

Construction Certificate Application Form

BASIX (the Building and Sustainability Index) ensures homes are built to be more energy and water efficient. BASIX uses an online program to assess a building's design and compares it against energy and water reduction targets. The design must meet these targets before a BASIX certificate can be printed. Any changes made to a building's design after a BASIX certificate has been issued requires another BASIX assessment and new BASIX certificate. "BASIX affected buildings" contain one or more dwellings (but do not include hotels or motels).

A BASIX certificate **MUST** be obtained for every "BASIX affected development", which are any of the following (other than development that is "BASIX excluded development"):

- (a) development that involves the erection (but not the relocation) of a BASIX affected building
- (b) development that involves a change of building use by which a building becomes a BASIX affected building
- (c) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is \$50,000 or more
- (d) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of 40,000 litres or more

"BASIX excluded development" is

- (a) development for the purpose of a garage, storeroom, car port, gazebo, verandah or awning
- (b) alterations, enlargements or extensions to a building listed on the State Heritage Register under the Heritage Act 1977
- (c) alterations, enlargements or extensions that result in a space that cannot be fully enclosed (for example, a veranda that is open or enclosed by screens, mesh or other materials that permit the free and uncontrolled flow of air), other than a space can be fully enclosed but for a vent needed for the safe operation of a gas appliance
- (d) alterations, enlargements or extensions that the Director-General has declared, by order published in the Gazette, to be BASIX excluded development.

A BASIX Certificate **MAY** be obtained for certain developments by an Applicant even though there is no obligation to do so. This is called "BASIX optional development". "BASIX optional development" means any of the following development that is not BASIX excluded development:

- (a) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimate of the construction cost of the development is less than \$50,000
- (b) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of less than 40,000 litres

If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.

Further information about BASIX and to obtain a BASIX Certificate, go to <http://www.basix.nsw.gov.au>

SECTION H. List of documents

Prepare and attach a list of all of the documents provided under SECTION E, F and G.

Construction Certificate Application Form

SECTION I. Authority to enter and inspect land

A certifying authority must not issue a construction certificate for development on a site which affects an existing building unless the certifying authority, or an accredited certifier, council or consent authority on behalf of the certifying authority, has carried out an inspection of the site of the development

~~If the applicant is the owner of the land~~, by signing this application authority is given to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this Application. The Applicant undertakes to take all necessary steps make access available to the property to enable the inspection to be carried out.

~~If the applicant is not the owner of the land~~, the owner(s) must sign the following statement

As the owner(s) of the above property, I/we consent to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this application. I/we undertake to take all necessary steps make access available to the property to enable the inspection to be carried out

Owners Signature(s)

Luke Preston

Name(s)

Luke Preston

Date

11/8/15

SECTION J. Delivery of the application

Applications for construction certificates must be delivered by hand, by post or transmitted electronically to the principal office of the certifying authority. Applications MAY NOT be sent by fax

SECTION K. Signature of Applicant(s)

Signature of Applicant(s)

Luke Preston

Name(s)

Luke Preston

Date

11/8/15

Construction Certificate Application Form

SECTION L Date of Receipt of Application

To be completed by the certifying authority immediately after receiving this Application.

This Application was received on 12-08-2015 NSW (insert date).

SECTION M. Development statistics

Place a cross in each appropriate box

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	11	Tiles	10	Concrete/slate	20	Timber	40
Brick (veneer)	12	Concrete/slate	20	Timber	40	Steel	60
Concrete/stone	20	Fibre cement	30	Other	80	Aluminium	70
Fibre cement	30	Steel	60	Not specified	90	Other	80
Timber	40	Aluminium	70			Not specified	90
Curtain glass	50	Other	80				
Steel	60	Not specified	90				
Aluminium cladding	70						
Timber/ weatherboard	40						
Other	80						
Not specified	90						

Gross site area (m²)

Number of dwellings to be demolished

Gross floor area of existing building (m²)

Number of dwellings to be constructed

Gross floor area of new building work (m²)

Will the new building be attached to an existing building

Number of pre-existing dwellings on the site

Does the site contain a dual occupancy

How many storeys will the building have

What are the current uses of the building

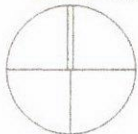
What will be the new building uses (if changed)

DEVELOPMENT APPLICATION

for alterations and additions to existing building
1 HAREWOOD PL, WARRIEWOOD NSW 2102

drawing list

- DA_001 Cover Sheet and Location Plan
- DA_002 Site Analysis
- DA_100 Ground Level Plan
- DA_101 Level 1 Plan
- DA_102 Roof Plan
- DA_103 Landscaping & Drainage Plan
- DA_200 Elevations North & South
- DA_201 Elevations West
- DA_300 Sections
- DA_700 Calculations & Materials
- DA_701 Calculation Plans



location plan
1 HAREWOOD PL, WARRIEWOOD NSW 2102

source: Google Maps

CONSULTANTS:

HOT HOUSE STUDIO
ARCHITECTURAL DESIGN, DRAFTING AND
VISUALISATION
PO Box 26, NEWPORT NSW 2106
0433 775 490
wade@hothousestudio.com

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LICENSED BUILDER CONSULTANT
KOLBY CRISTAUDO
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LANDSCAPING CONSULTANT
JUSTIN LAWRENCE BUSHLAND MANAGEMENT
Ph: 0423 109 161
justinparnell@hotmail.com



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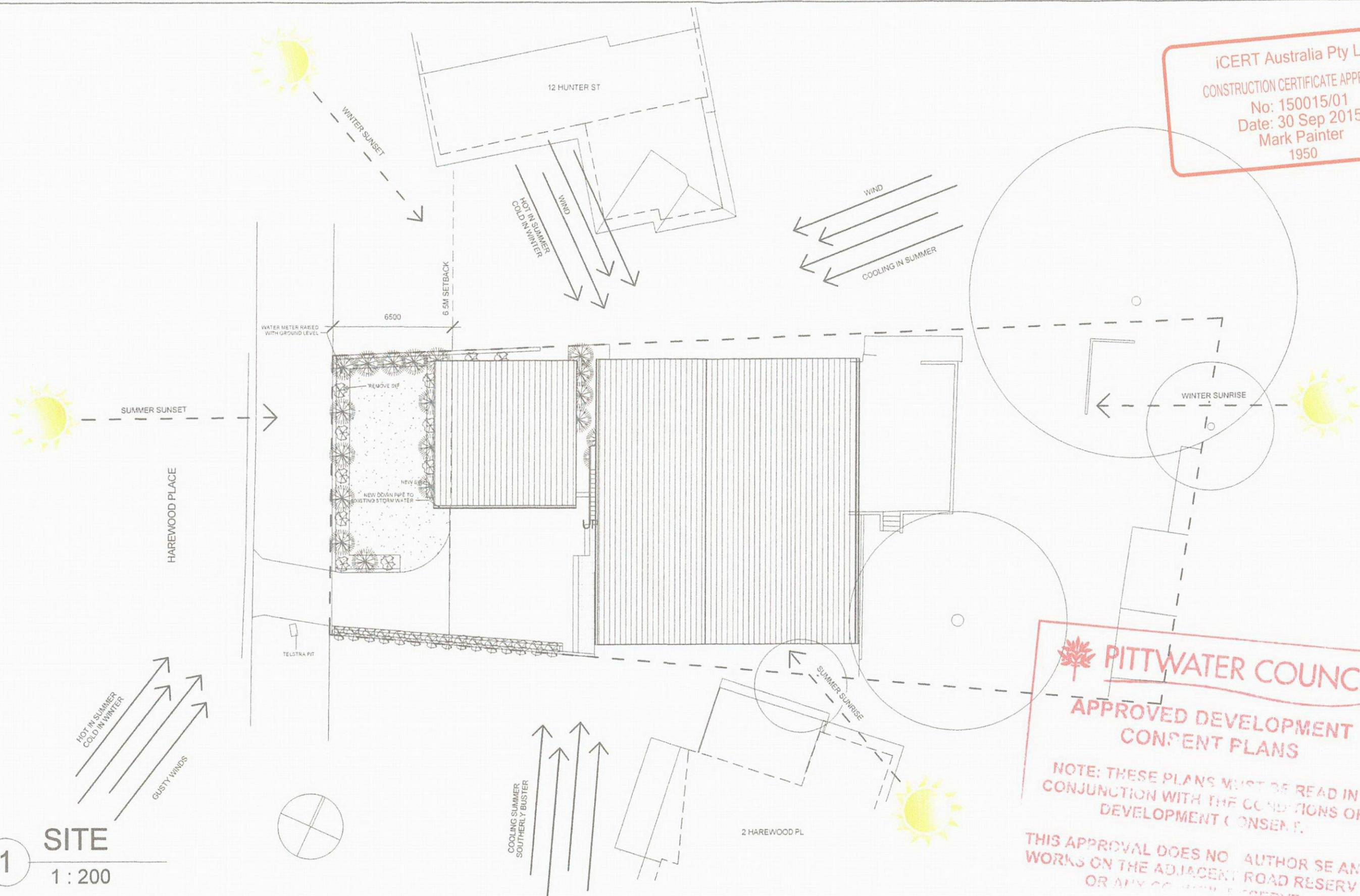
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M 0433 775 490
wade@hothousestudio.com

No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	COVER SHEET	
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Date	25-05-15
		Drawn by	W.Cogle
		Checked by	SC
		Scale	

DA_001

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No: 150015/01
Date: 30 Sep 2015
Mark Painter
1950



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1 SITE
1 : 200



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01	DA ISSUE	25-05-15

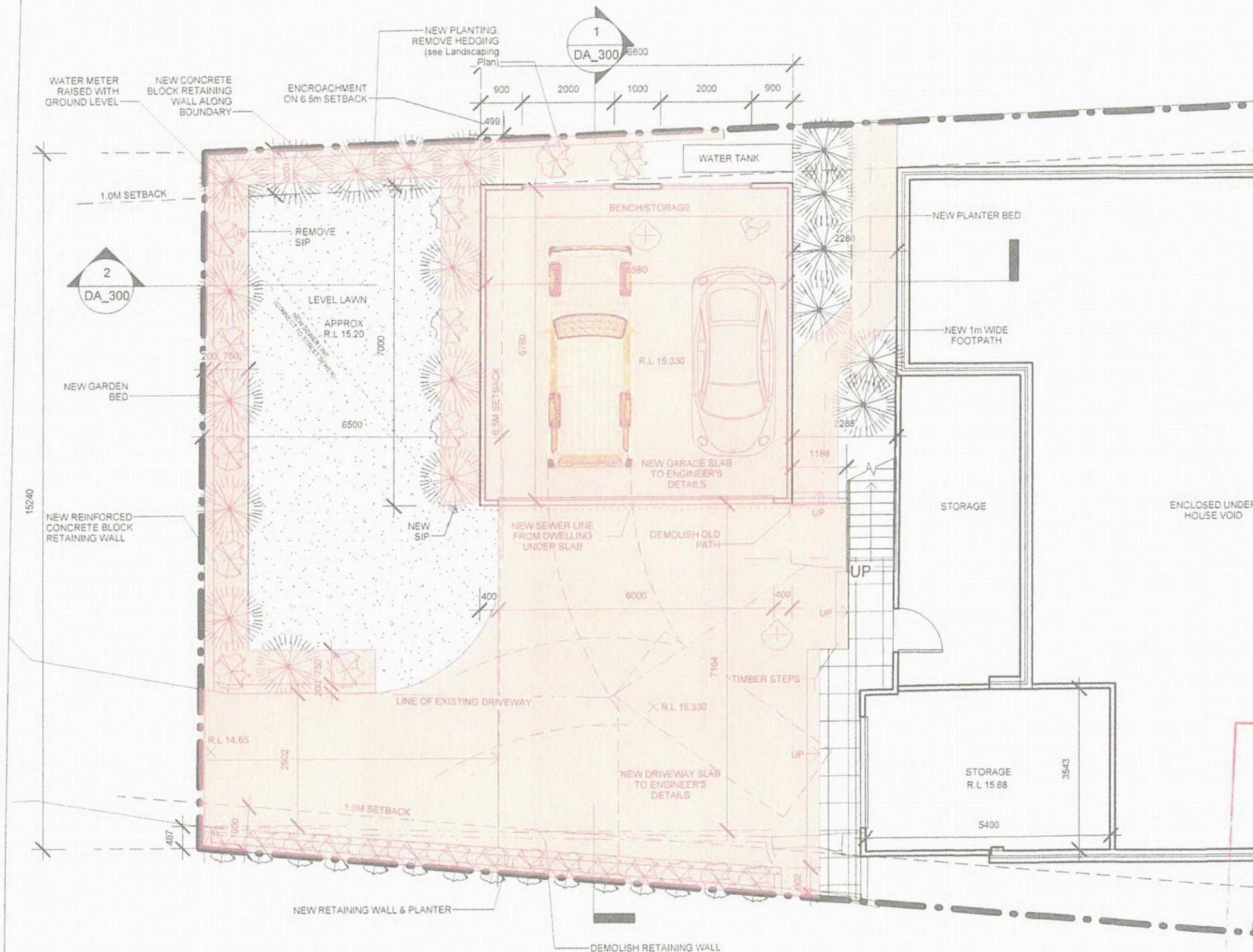
CLIENT: LUKE & JULIE PRESTON

PROJECT: ALTERATIONS & ADDITIONS

ADDRESS: 1 HAREWOOD PLACE, WARRIEWOOD

SITE ANALYSIS			
Project number	20140912	DA_002	
Date	25-05-15		
Drawn by	W.Cogle		
Checked by	SC	Scale	@A3 1 : 200

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1 GROUND

1 : 100

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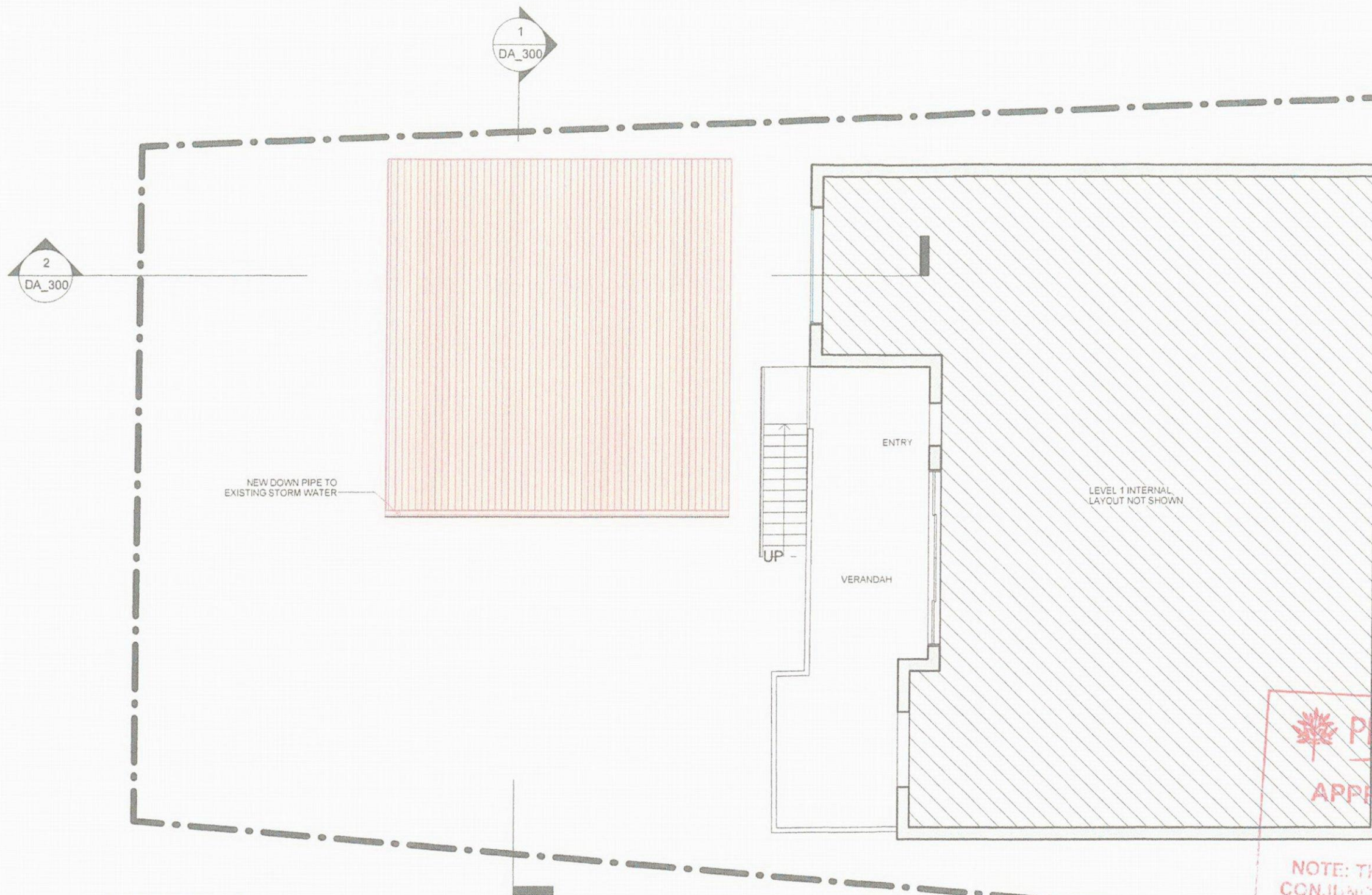
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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	GROUND PLAN	
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Date	25-05-15
		Drawn by	W.Cogle
		Checked by	SC
		Scale	@A3 1 : 100

DA_100



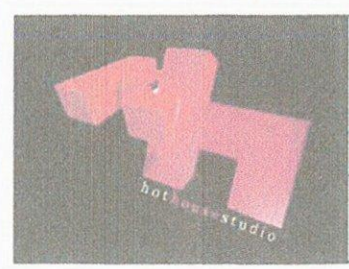
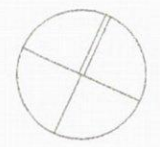
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1 LEVEL 1
 1 : 100



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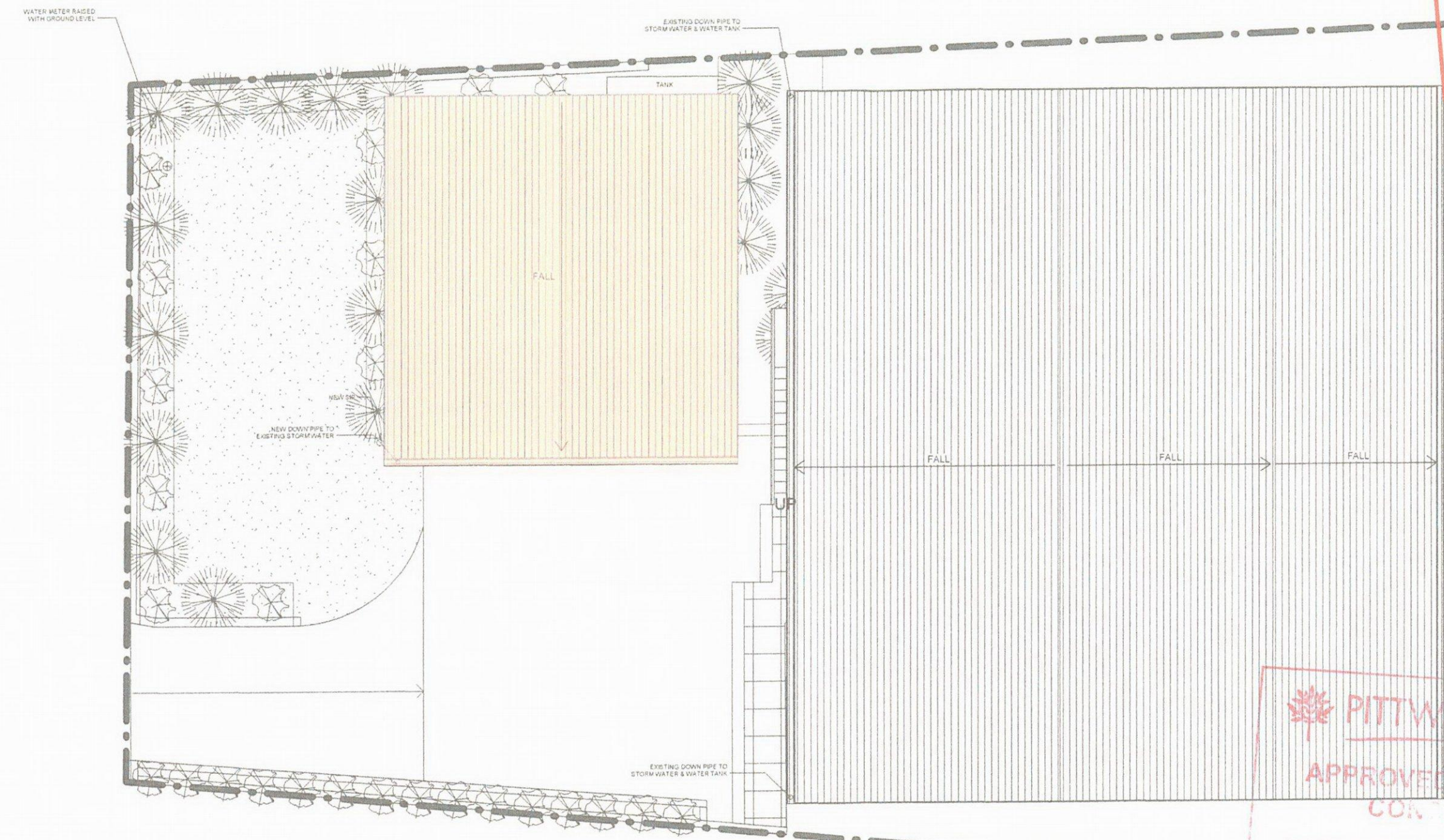
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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	LEVEL 1 PLAN	
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Date	25-05-15
		Drawn by	W.Cogle
		Checked by	SC
		Scale	@A3 1 : 100

DA_101

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1 ROOF
1 : 100

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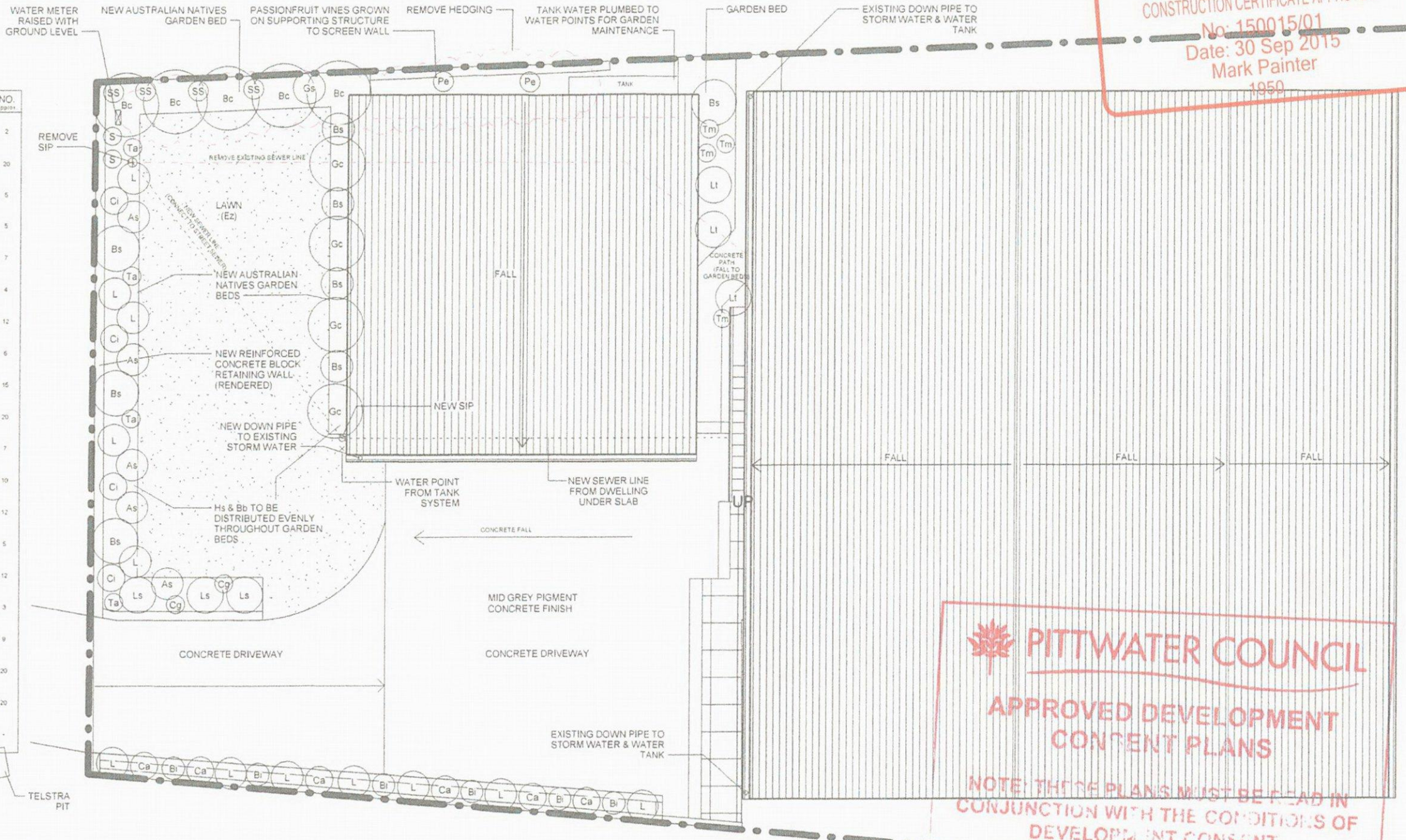
No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON
PROJECT:	ALTERATIONS & ADDITIONS
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD

ROOF	Project number	20140912	DA_102
	Date	25-05-15	
	Drawn by	W.Cogle	
	Checked by	SC	
	Scale	@A3	1 : 100

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SYMBOL	SPECIES	COMMON NAME	MAT. HEIGHT	SPACING	NO. Approx.
(Pe)	<i>Pasiflora edulis</i> hybrids	Passionfruit Vine	to height of supporting structure	2.0m	2
(Tm)	<i>Thunbergia</i> 'Mingo'	same	0.1m	0.3m	20
(Lt)	<i>Leptospermum</i>	Tea tree	2.5m	1.0m	5
(Bc)	<i>Banksia ulmiifolia</i>	Lemon Myrtle	64m	1.5m	5
(Bs)	<i>Banksia spinulosa</i>	Hairpin Banksia	1.0m	1.0m	7
(Gc)	<i>Banksia spinulosa</i> 'Giant Candles'	Giant Candles	2.0m	2.0m	4
(Gs)	<i>Grevillea sericea</i>	Spider Flower	1.0m	1.0m	12
(SS)	<i>Clematis</i> 'Southern Star'	Southern Star (vine)	0.3m	1.0m	6
(S)	<i>Alboucarnia</i> 'Shagpile'	Shagpile (groundcover)	0.2m	0.3m	16
(Ta)	<i>Themeda Australis</i>	Kangaroo Grass	0.2m	0.3m	20
(L)	<i>Acacia cognata</i> 'Limelight'	Limelight Wattle	0.5m	0.6m	7
(Ci)	<i>Allocasuarina</i> 'Cousin Bill'	She-Cash	0.6m	0.9m	10
(As)	<i>Acacia suaveolens</i> 'Dwarf'	Wattle	1.0m	0.6m	12
(Ls)	<i>Leucadendron</i> sp.	Leucadendron	1.0m	1.0m	5
(Cg)	<i>Carpentaria glaucescens</i>	Pig Face (ground cover)	0.2m	0.3m	12
(Ca)	<i>Correa alba</i> 'Dwarf'	Correa	1.0m	1.2m	3
(Bi)	<i>Banksia integrifolia</i> 'Prostrata'	Ground Cover Banksia	0.2m	1.0m	9
(Hs)	<i>Helichysum</i> sp.	Paper Daisy	0.3m	0.2m	20
(Bb)	<i>Bracteantha bracteata</i> 'hybrids'	Paper Daisy	0.3m	0.2m	20
Ez	<i>Empire Zoysia</i>	Grass Lawn	0.3m	TURF ROLLS	-



 **PITTWATER COUNCIL**

**APPROVED DEVELOPMENT
CONSENT PLANS**

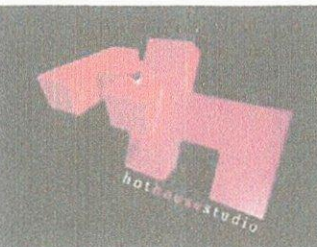
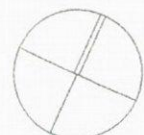
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LANDSCAPING & DRAINAGE

1 : 100



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CLIENT:

LUKE & JULIE PRESTON

PROJECT:

ALTERATIONS & ADDITIONS

ADDRESS:

1 HAREWOOD PLACE, WARRIEWOOD

LANDSCAPING & DRAINAGE PLAN

Project number

20140912

Date _____

25-05-15

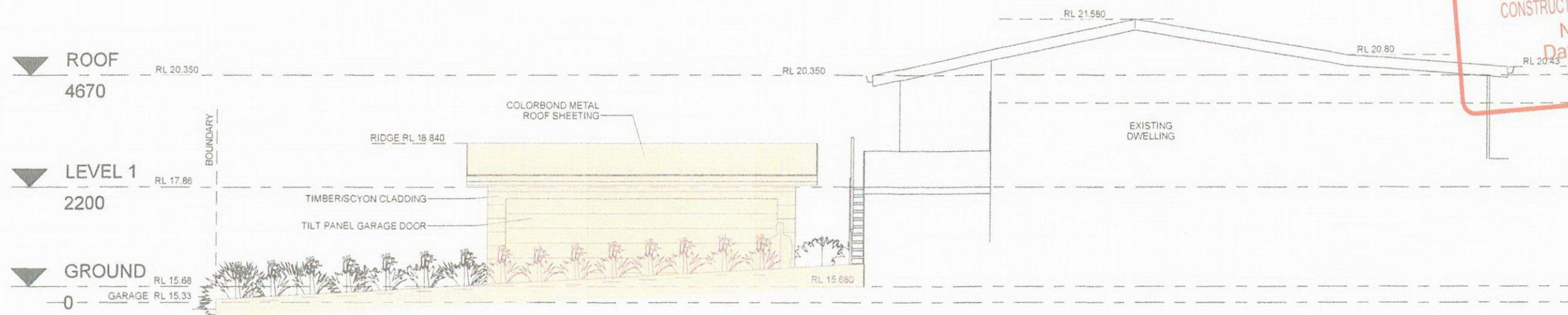
Drawn by

Author

Scale

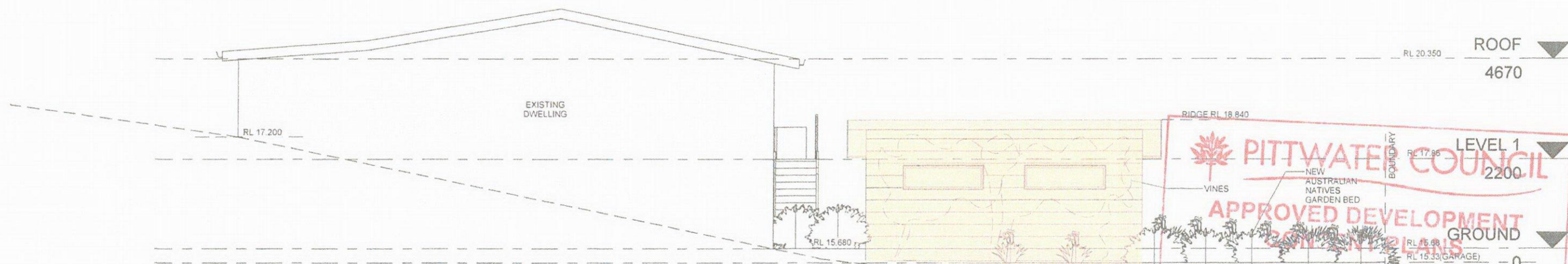
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1 SOUTH
 1 : 100



2 NORTH
 1 : 100

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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	ELEVATIONS NORTH & SOUTH			
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912	DA_200	
		Date	25-05-15		
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Drawn by	W.Cogle		
		Checked by	SC		

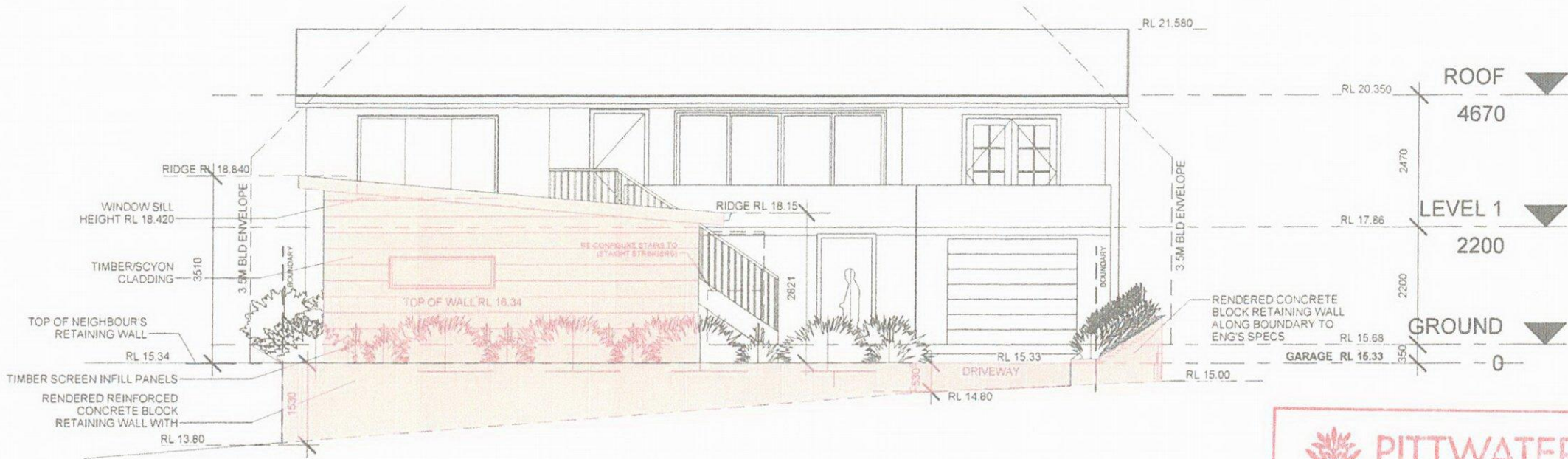
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No: 150015/01
Date: 30 Sep 2015
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▼ R0C
4670

▼ LEVI
2200

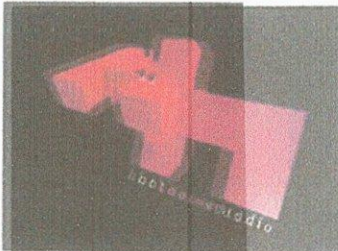
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1



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WEST
1 : 100
1
2



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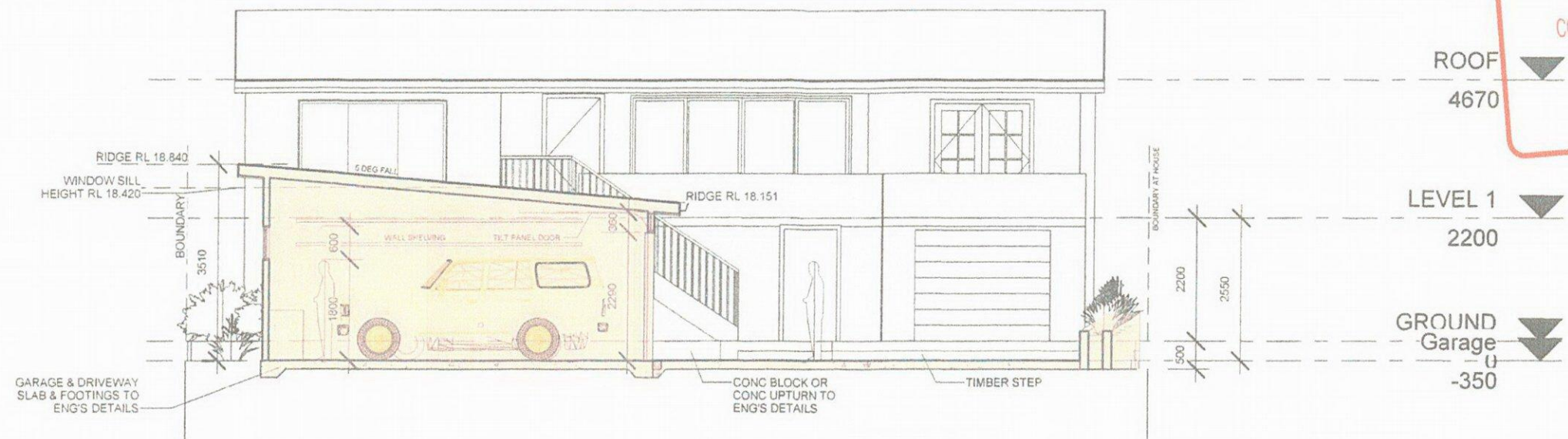
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01	DA ISSUE	25-05-15

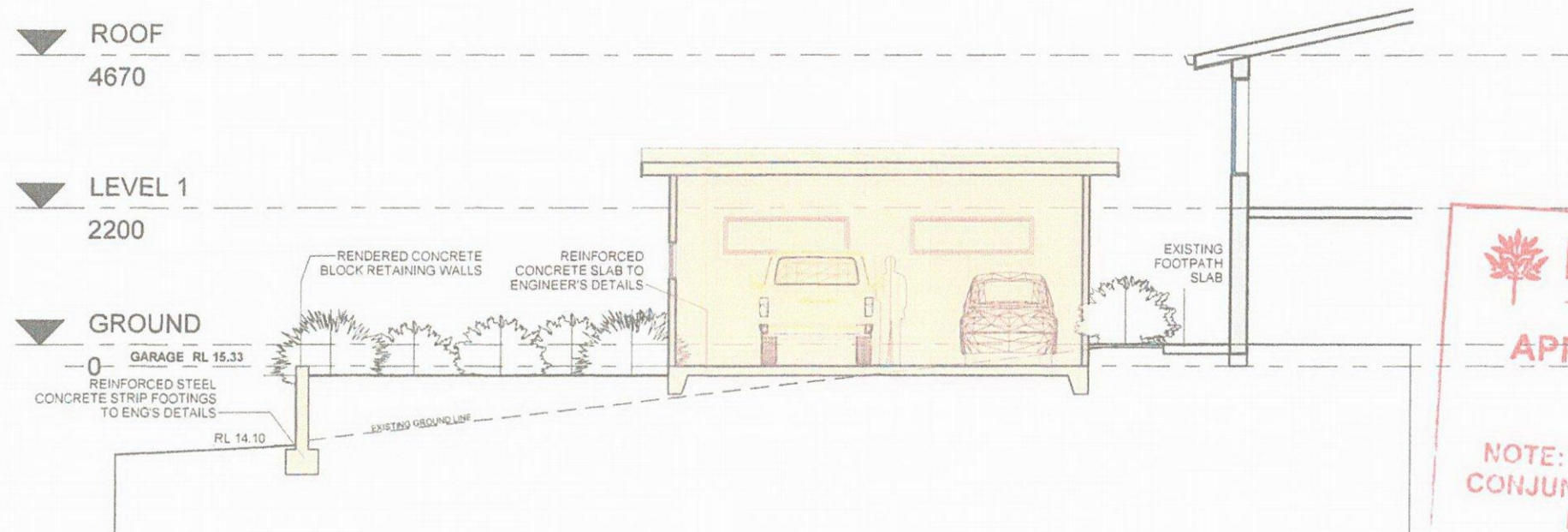
CLIENT: LUKE & JULIE PRESTON		ELEVATION WEST			
PROJECT: ALTERATIONS & ADDITIONS	Project number		20140912		DA_201
	Date		25-05-15		
ADDRESS: 1 HAREWOOD PLACE, WARRIEWOOD	Drawn by		W.Cogle		
	Checked by		SC		
	Scale		@A3 1 : 100		

DA_201

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1 SECTION 01
 1 : 100



2 SECTION 02
 1 : 100

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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON
PROJECT:	ALTERATIONS & ADDITIONS
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD

SECTIONS	
Project number	20140912
Date	25-05-15
Drawn by	W.Cogle
Checked by	SC
Scale	1 : 100

DA_300

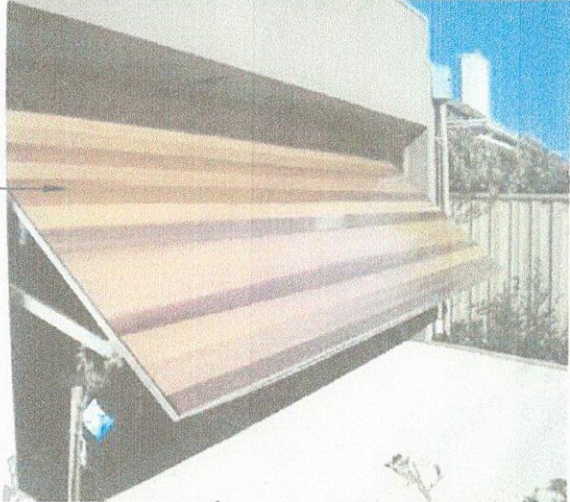
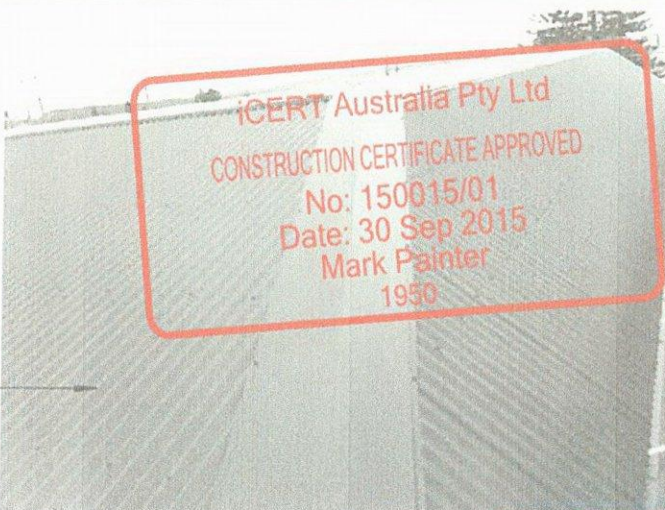
<u>GFA and FSR</u>					
Site Area	855.4m2				
<u>GFA Existing</u>	<u>Area</u>	<u>(%) or change</u>	<u>GFA Proposed</u>	<u>Area</u>	<u>(%) or change</u>
Ground	157.9m2		Ground	157.9m2	0 %
Garage Level	0m2	(Garage & storage omitted)	Garage Level	0m2	0 %
Total GFA	157.9m2		Total GFA	157.9m2	0 %
FSR	157.9 / 855.4	= 0.18 : 1	FSR	157.9 / 855.4	= 0.18 : 1
Proposed FSR	= 0.18 : 1				
Proposed FSR Increase	= nil increase				
Maximum FSR	0.5 : 1				
FSR Compliance	Yes				
<u>Land Zoning</u>					
E4 Environmental Living					
<u>Landscaping</u>	Existing	Proposed	Required	Compliance	
Site Coverage	332.0 m2	408.3 m2			
Landscaped Area (incl <1m pathways)	523.4 m2	447.1 m2			
Up to 6 % of site (51.3m2) provided as impervious (pergolas, paved areas) if for recreation. (Rear paving = 55.4m2)	51.3 m2	51.3 m2			
Total Landscaping	574.7 m2	498.4 m2			
% of Site	67.2 %	58.3 %	60 %	No (1.7% under requirement)	
<u>Building Height</u>	Existing	Proposed	Required	Compliance	
Maximum Building Height (Class: J)	4.7 m	no change	Max of 8.5m	Yes	
<u>Private Open Space</u>	Existing	Proposed	Required	Compliance	
Principle Area (9.6m x 5.6)	53.76 m2	no change	Min of 16 m2	Yes	
Minimum Dimension	5.56 m	no change	Min of 3 m	Yes	

WOODLAND GREY COLORBOND ROOF SHEETING

TIMBER PANEL TILT UP GARAGE DOOR

MID GREY WALL CLADDING
TIMBER OR SCYON PANELLING

MID GREY RENDERED
REINFORCED CONCRETE BLOCK
RETAINING WALLS





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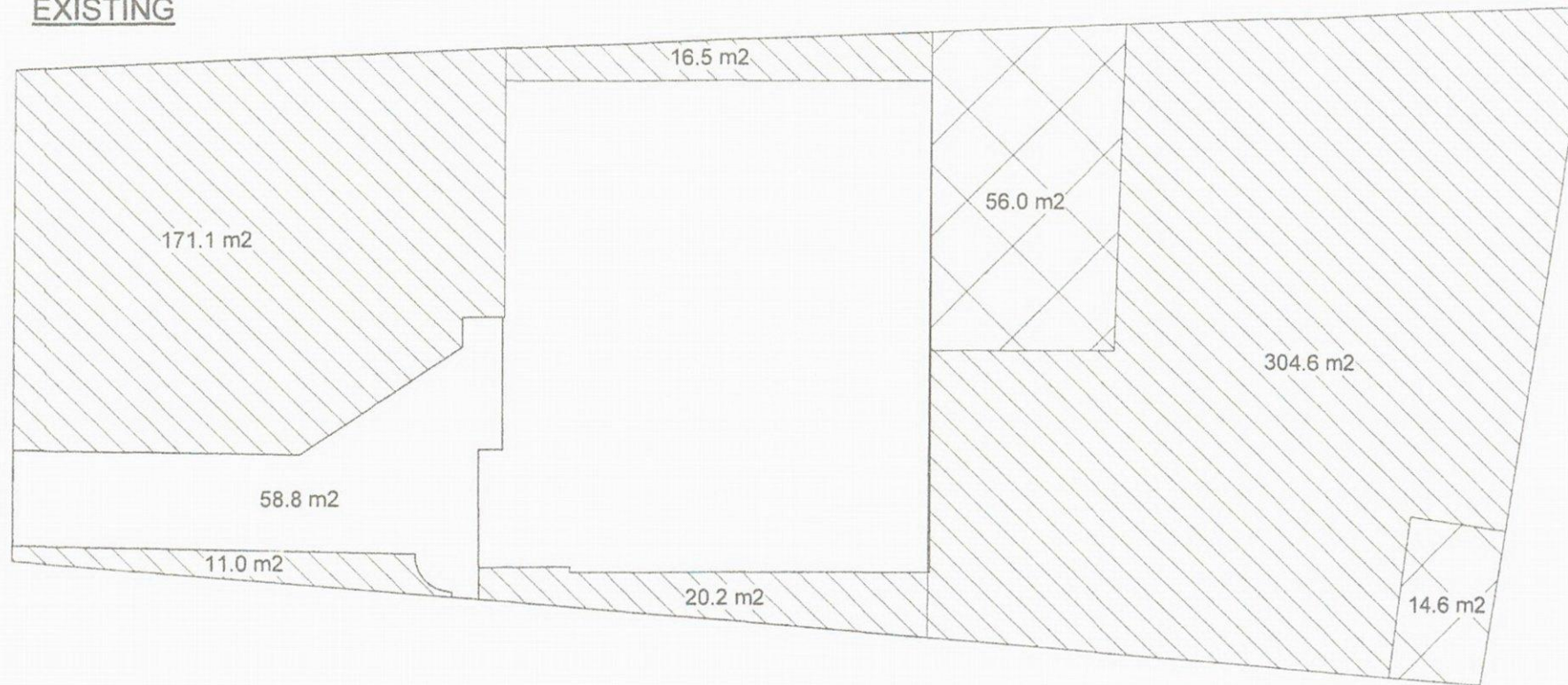
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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT: LUKE & JULIE PRESTON		CALCULATIONS & MATERIAL SCHEDULE		
PROJECT: ALTERATIONS & ADDITIONS	Project number		20140912	DA_700
	Date		25-05-15	
ADDRESS: 1 HAREWOOD PLACE, WARRIEWOOD	Drawn by		W.Cogle	
	Checked by		SC	

DA_700

EXISTING



Calculated using D14.13 Landscaped Area - Environmentally Sensitive Land (P21 DCP Part D) Variations which state:

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:
i) impervious areas less than 1 metre in width (e.g. pathways and the like)
ii) for single dwellings on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

Landscaping

171.1 m2
16.5
11.0
20.2
304.6

523.4 m2

Paving (recreational)

56.0 m2
14.6

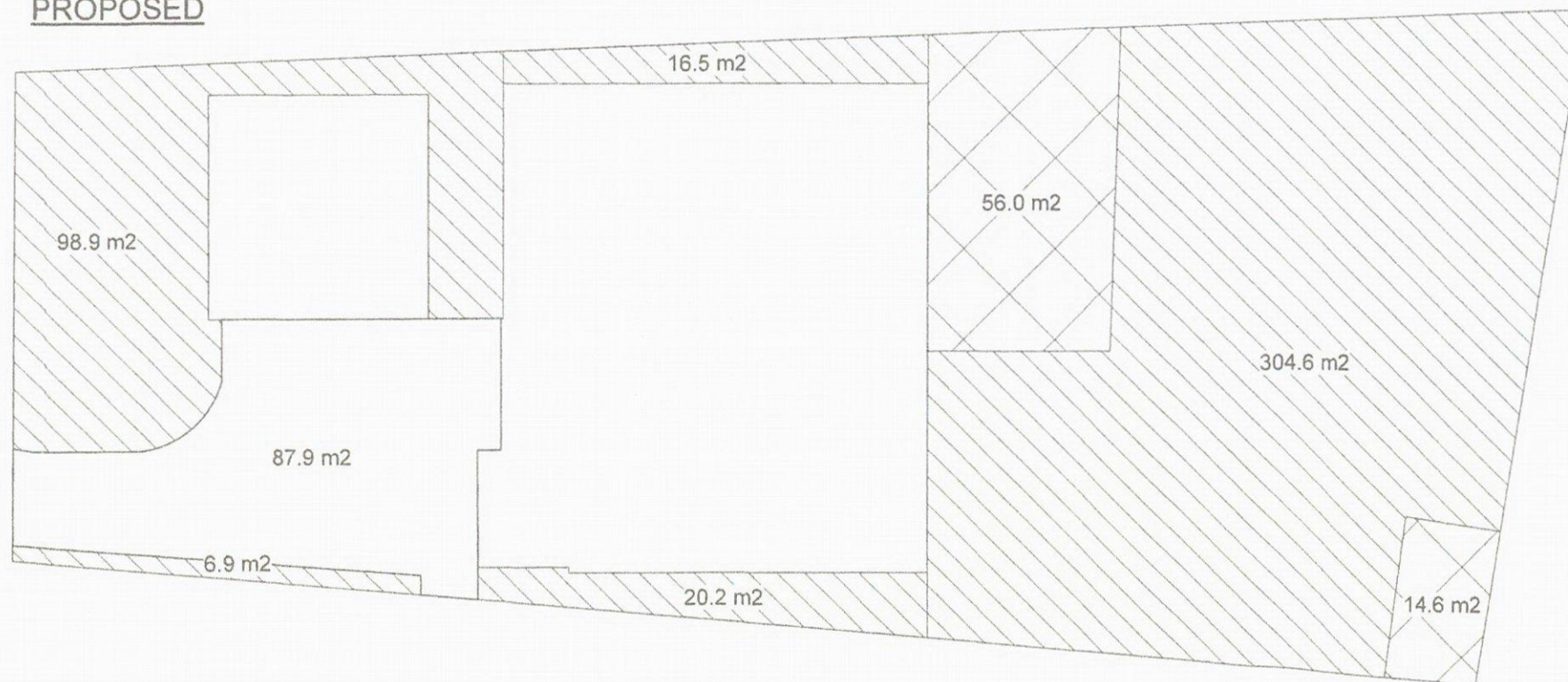
70.6 m2

maximum allowable = 6%

(51.3 m2)

TOTAL = 574.7 m2

PROPOSED



Landscaping

98.9 m2
16.5
6.9
20.2
304.6

447.1 m2

Paving (recreational)

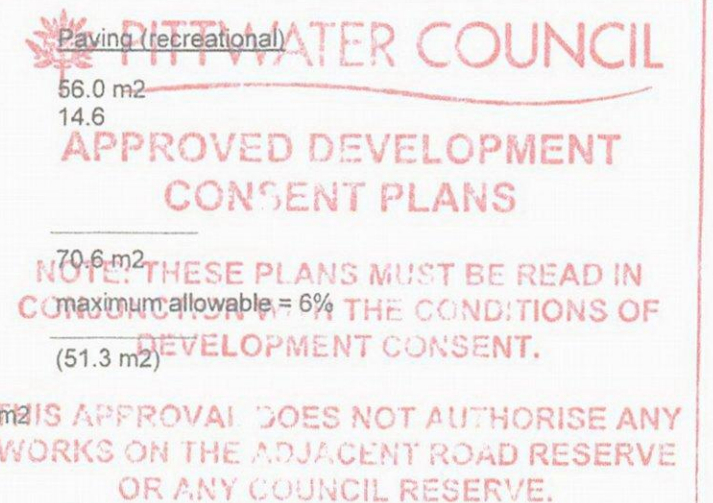
56.0 m2
14.6

70.6 m2

maximum allowable = 6%

(51.3 m2)

TOTAL = 498.4 m2



LANDSCAPING AREAS

1

1 : 200



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No.	Description	Date
01	DA ISSUE	25-05-15

CLIENT:	LUKE & JULIE PRESTON	CALCULATION PLANS	
PROJECT:	ALTERATIONS & ADDITIONS	Project number	20140912
ADDRESS:	1 HAREWOOD PLACE, WARRIEWOOD	Date	25-05-15
		Drawn by	W.Cogle
		Checked by	SC
		Scale	1 : 200

DA_701