



ACTION PLANS

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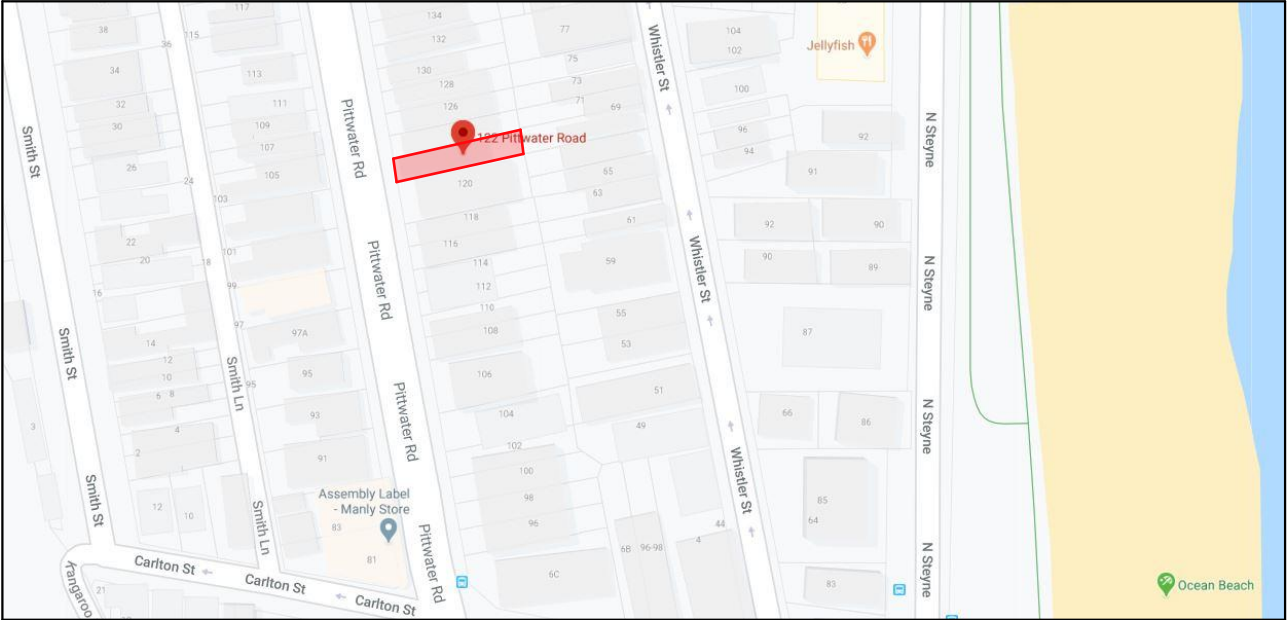
DEVELOPMENT APPLICATION

These plans are for Development Approval only.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	122 PITTWATER ROAD, MANLY NSW 2095			
LOT & DP/SP	LOT 1 DP 88475			
COUNCIL	NORTHERN BEACHES COUNCIL (MANLY)			
SITE AREA	215.3m²			
FRONTAGE	6.16m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R3 – LOW DENSITY RESIDENTIAL	R3	R3	YES
MINIMUM LOT SIZE	250m²	215.3m²	UNCHANGED	UNDERSIZED
FLOOR SPACE RATIO	0.6 : 1 (129.18m²)	0.53 : 1 (115.44m²)	0.77 : 1 (166.06m²)	NO
MAXIMUM BUILDING HEIGHT	8.5m	5.66m	6.749m	YES
HAZARDS				
ACID SULFATE SOILS	CLASS 4			PLEASE READ IN CONJUNCTION WITH STATEMENT OF ENVIRONMENTAL EFFECTS AND RELEVANT REPORTS
SEPP – COASTAL MANAGEMENT	IDENTIFEID			
FLOOD HAZARD	MEDIUM RISK PRECINCT			
FORESHORE SCENIC PRO. AREA	IDENTIFEID			
HERITAGE CONSERVATION AREA	IDENTIFEID			
HERITAGE MAP	ITEM GENERAL - ADJACENT TO ITEM			
DCP				
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE (TOS)	55% (118.41m²)	57.10m² (26.5%)	UNCHANGED	NO (EXISTING)
LANDSCAPE AREA	35% OF TOS (55%): 41.44m²	36.69m² (30.9%)	UNCHANGED	NO (EXISTING)
OPEN SPACE ABOVE GROUND	MAX. 40% OF TOS (55%) : 47.36m²	N/A	UNCHANGED	N/A
PRINCIPAL PRIVATE OPEN SPACE	18m²	20.4m²	UNCHANGED	YES
FRONT SETBACK	PREVALING BULDING LINE: 2.3m	GF: 0m FF: 1.88m	UNCHANGED	NO (EXISTING)
REAR SETBACK	8.0m	HOUSE: 9.06m DECK: 5.92	UNCHANGED	YES
SIDE SETBACKS	1/3 WALL HEIGHT: 1.5m	N: 1.152m S: 0m	N: UNCHANGED S: UNCHANGED	NO (EXISTING)

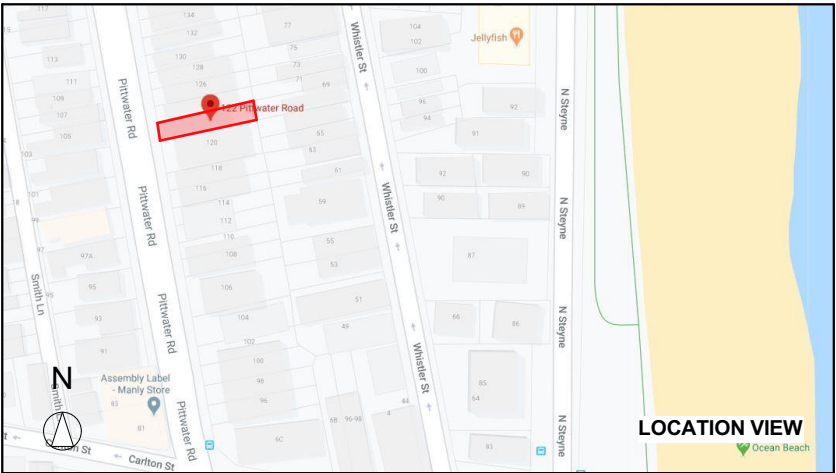
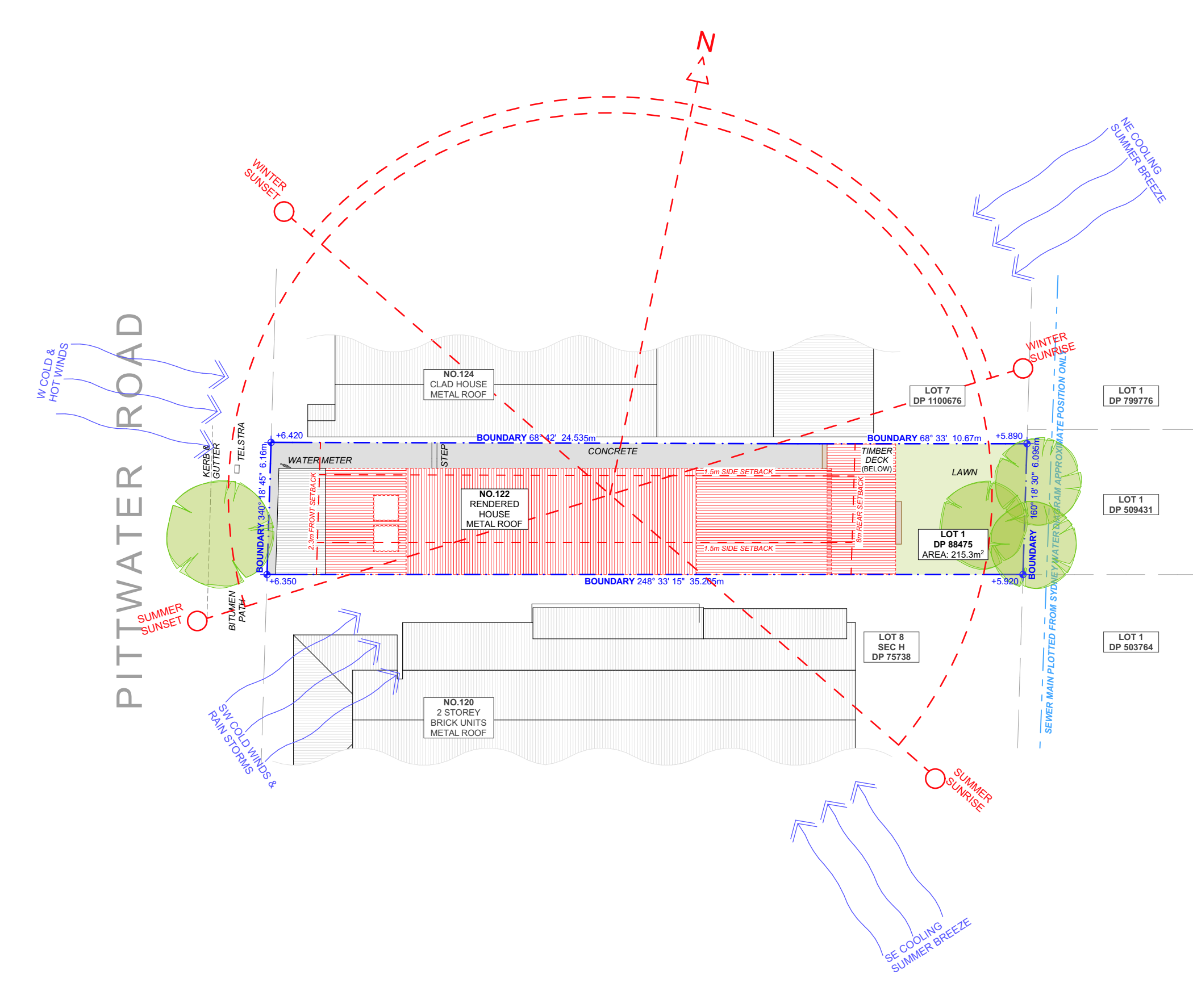
SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	12-Jun-20
DA01	SITE ANALYSIS	12-Jun-20
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	12-Jun-20
DA03	EXISTING FLOOR PLANS	12-Jun-20
DA04	PROPOSED FLOOR PLANS	12-Jun-20
DA05	NORTH / EAST ELEVATION	12-Jun-20
DA06	SOUTH / WEST ELEVATION	12-Jun-20
DA07	LONG / CROSS SECTION	12-Jun-20
DA08	AREA CALCULATIONS	12-Jun-20
DA09	SAMPLE BOARD	12-Jun-20
DA10	WINTER SOLSTICE 9 AM	12-Jun-20
DA11	WINTER SOLSTICE 12 PM	12-Jun-20
DA12	WINTER SOLSTICE 3 PM	12-Jun-20
DA13	BASIX COMMITMENTS	12-Jun-20
DA14	LONG SECTION	12-Jun-20
DA15	0900 - 21 JUNE	12-Jun-20
DA16	1200 - 21 JUNE	12-Jun-20
DA17	1500 - 21 JUNE	12-Jun-20
DA18	0900 - 21 JUNE	12-Jun-20
DA19	1200 - 21 JUNE	12-Jun-20
DA20	1500 - 21 JUNE	12-Jun-20

122 PITTWATER ROAD, MANLY 2095



NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAY AND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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REV.	DATE	COMMENTS	DRWN
A	05/05/2020	DA DOCUMENTATION	EAS

NOTES

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LEGEND

	SOFT LANDSCAPE
	HARD LANDSCAPE
	PROPOSED
	EXISTING
	DEMOLISHED

EX.	EXISTING
DP.	DOWNPIPE
PROP.	PROPOSED
DP.	DOWNPIPE

CLIENT

DANNY & NICOLE
CARTER

PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA02

DATE

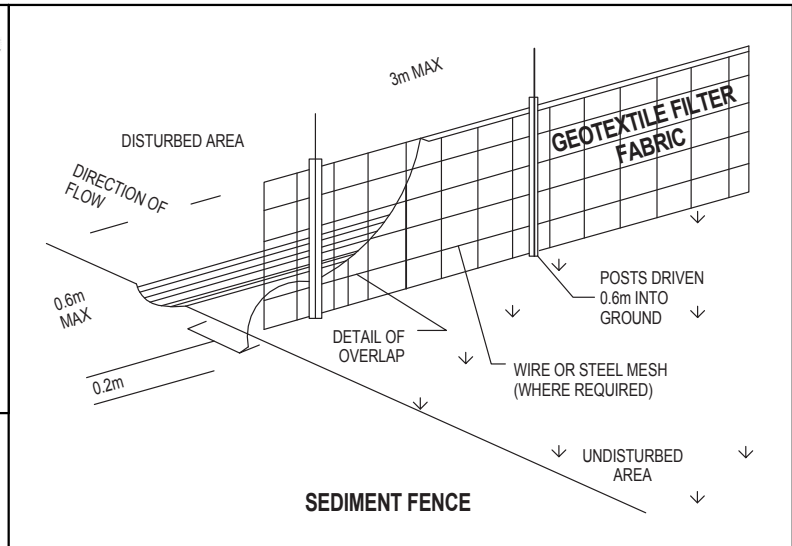
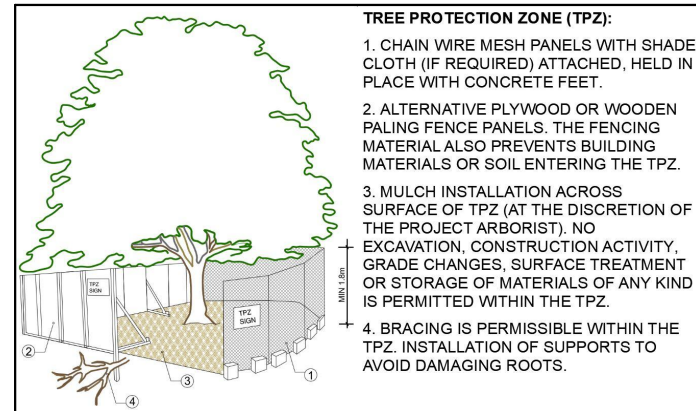
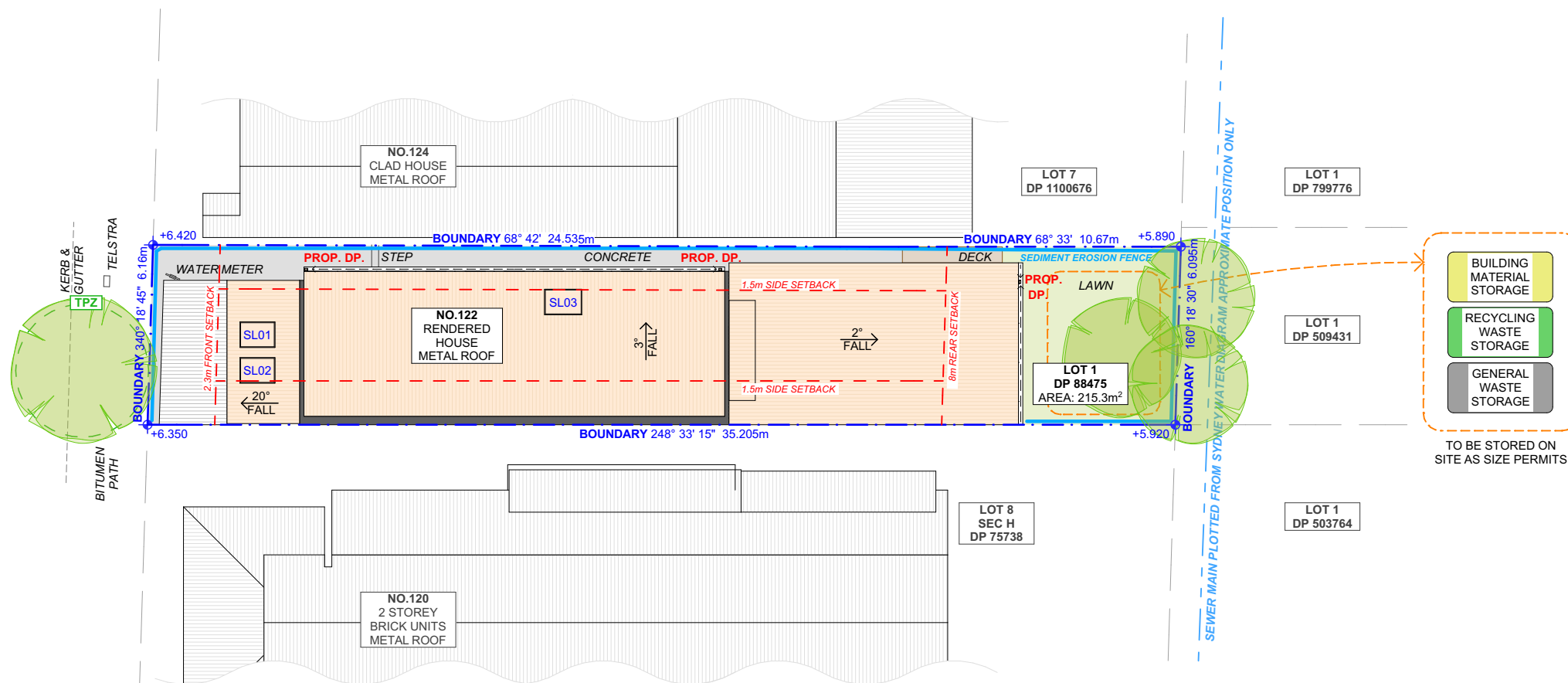
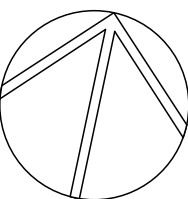
Friday, June 12, 2020

DRAWING NAME

SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE

1:200 @A3



DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

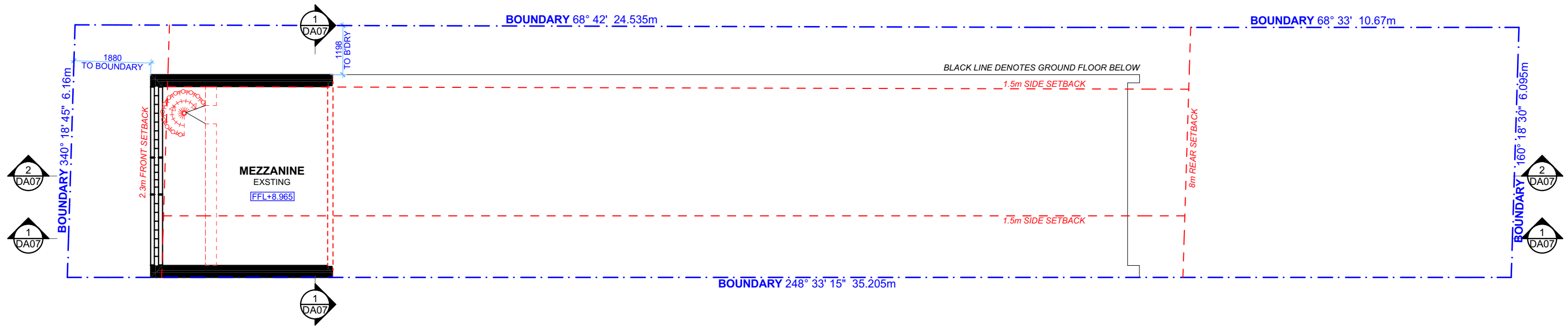
STOCKPILES :

ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

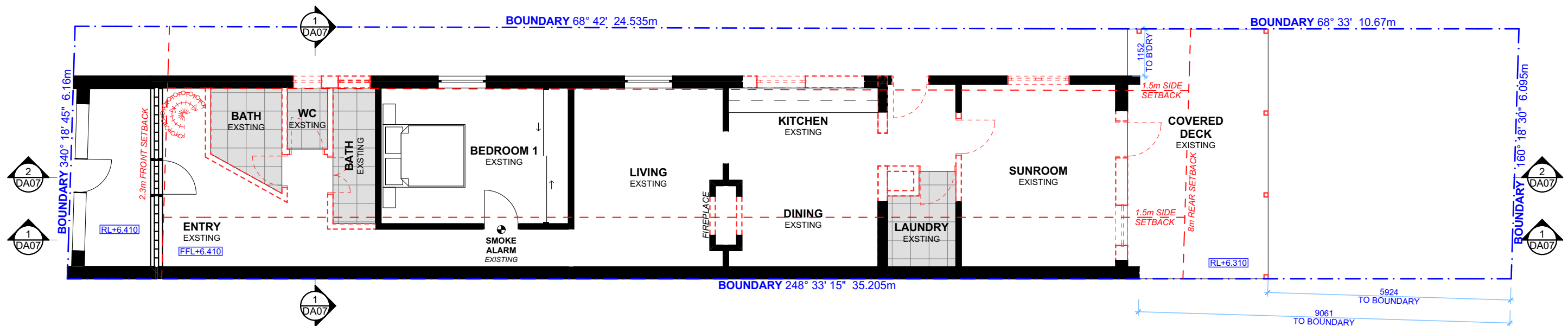
GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



2 EXISTING MEZZANINE FLOOR PLAN 1:100



1 EXISTING GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

DANNY & NICOLE CARTER

PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA03

DATE

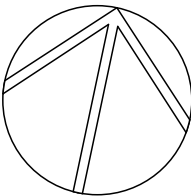
Friday, June 12, 2020

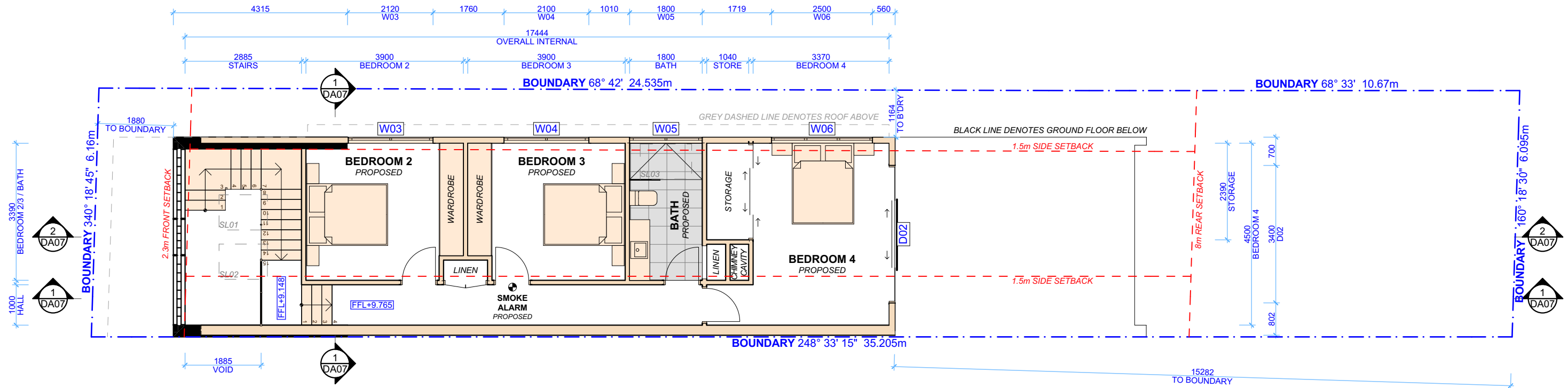
DRAWING NAME

EXISTING FLOOR PLANS

SCALE

1:100 @A3



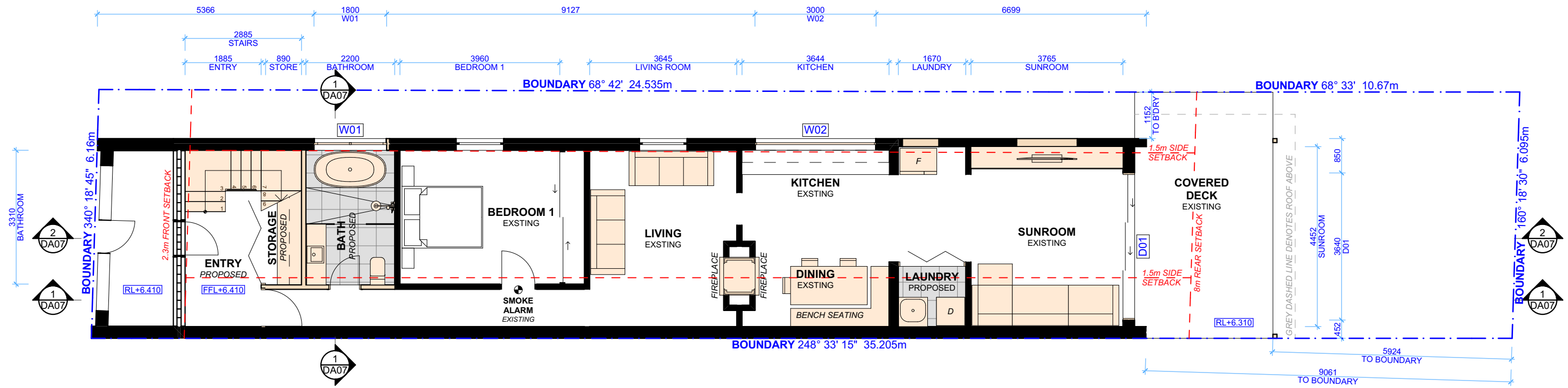


2

PROPOSED FIRST FLOOR PLAN

1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC



1

PROPOSED GROUND FLOOR PLAN

1:100

NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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LEGEND
EXISTING
PROPOSED
DEMOLISHED

CLIENT
DANNY & NICOLE CARTER

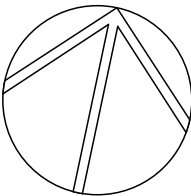
PROJECT ADDRESS
122 PITTWATER ROAD,
MANLY 2095

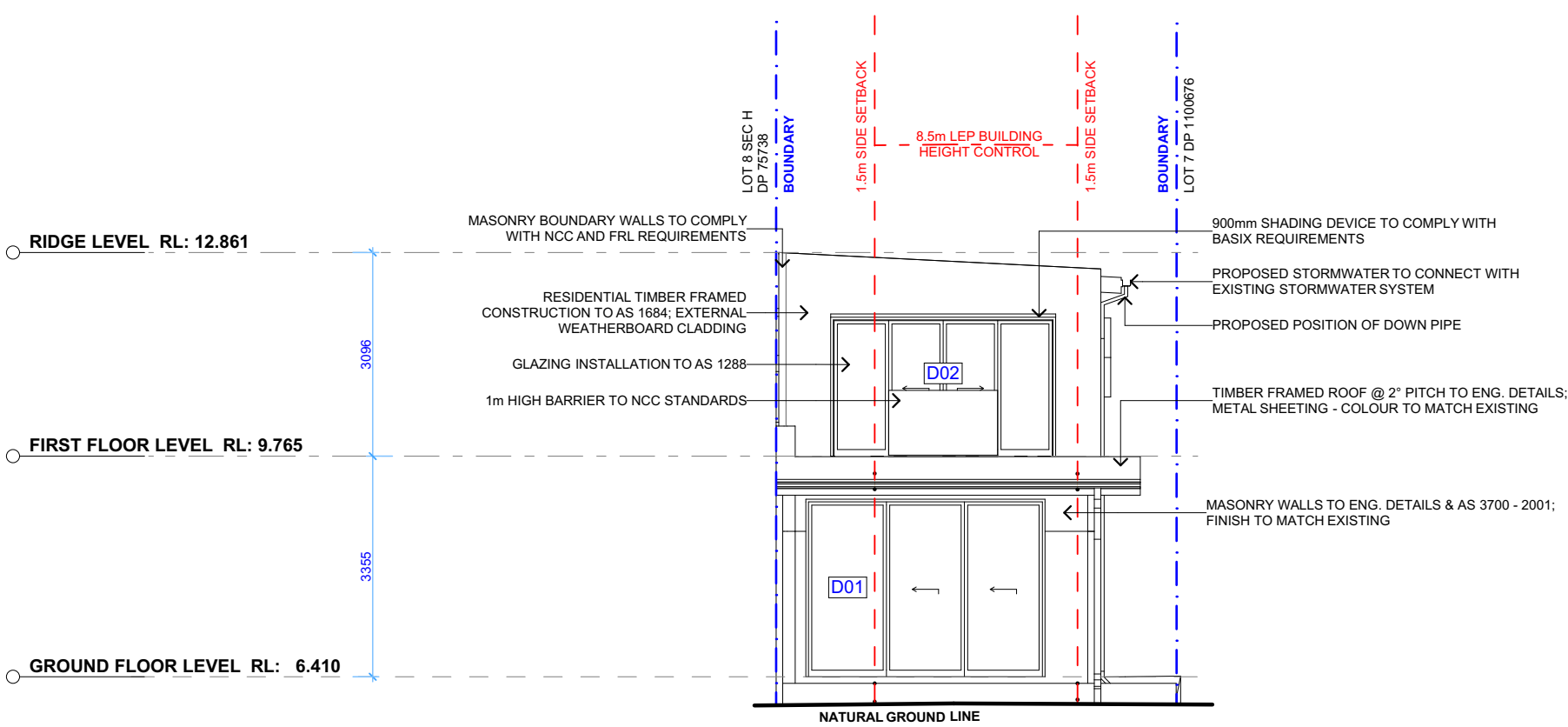
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DA04

DATE
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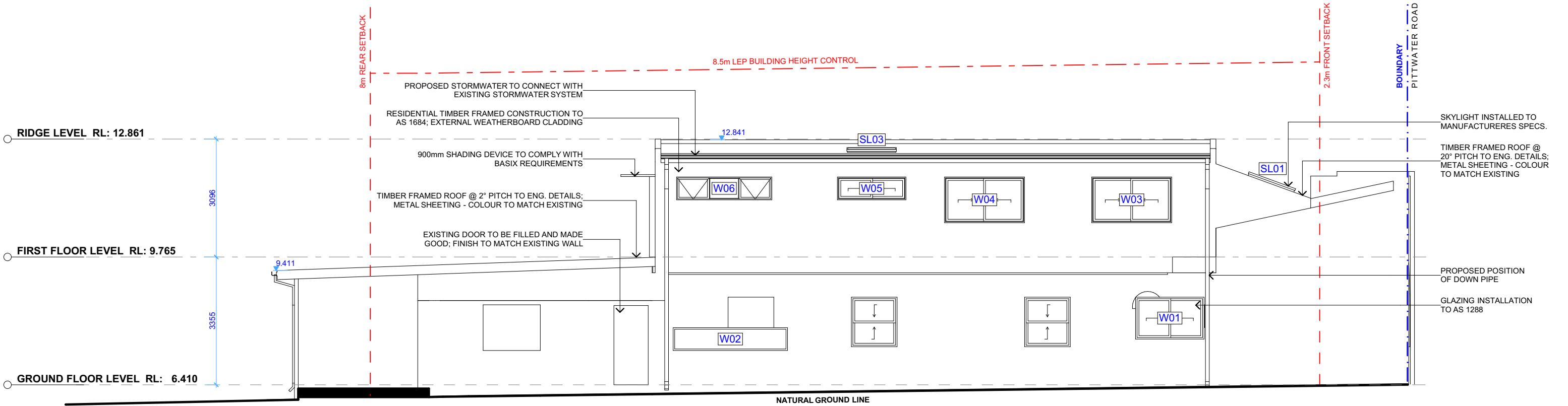
DRAWING NAME
PROPOSED FLOOR PLANS

SCALE
1:100 @A3





2 EAST ELEVATION 1:100



NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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LEGEND

EXISTING

PROPOSED

CLIENT

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122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA05

DATE

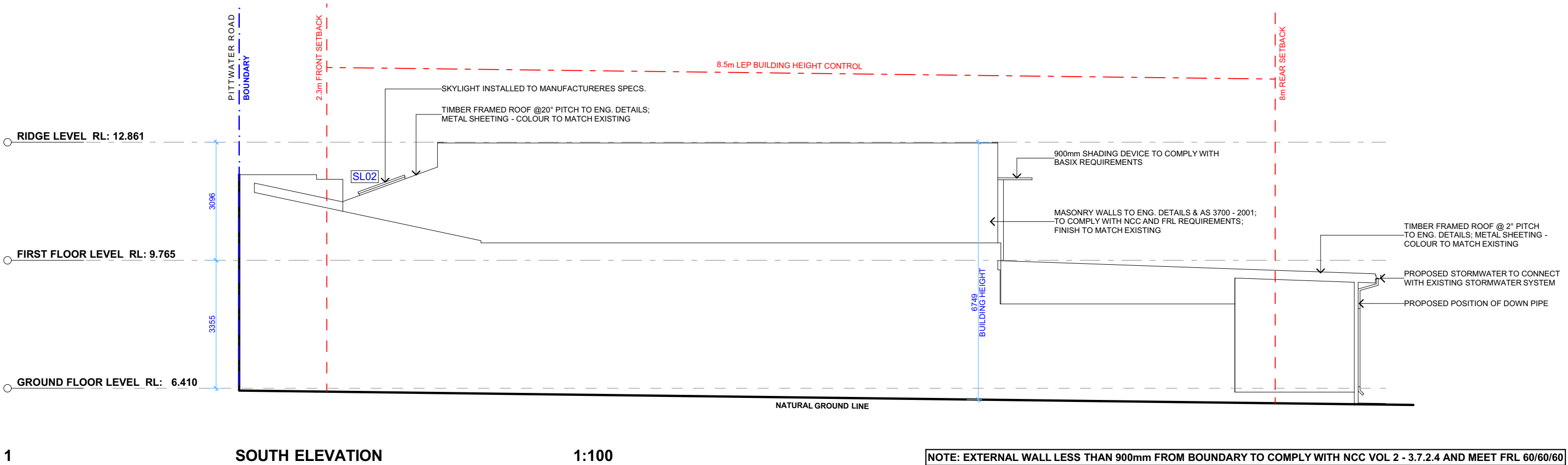
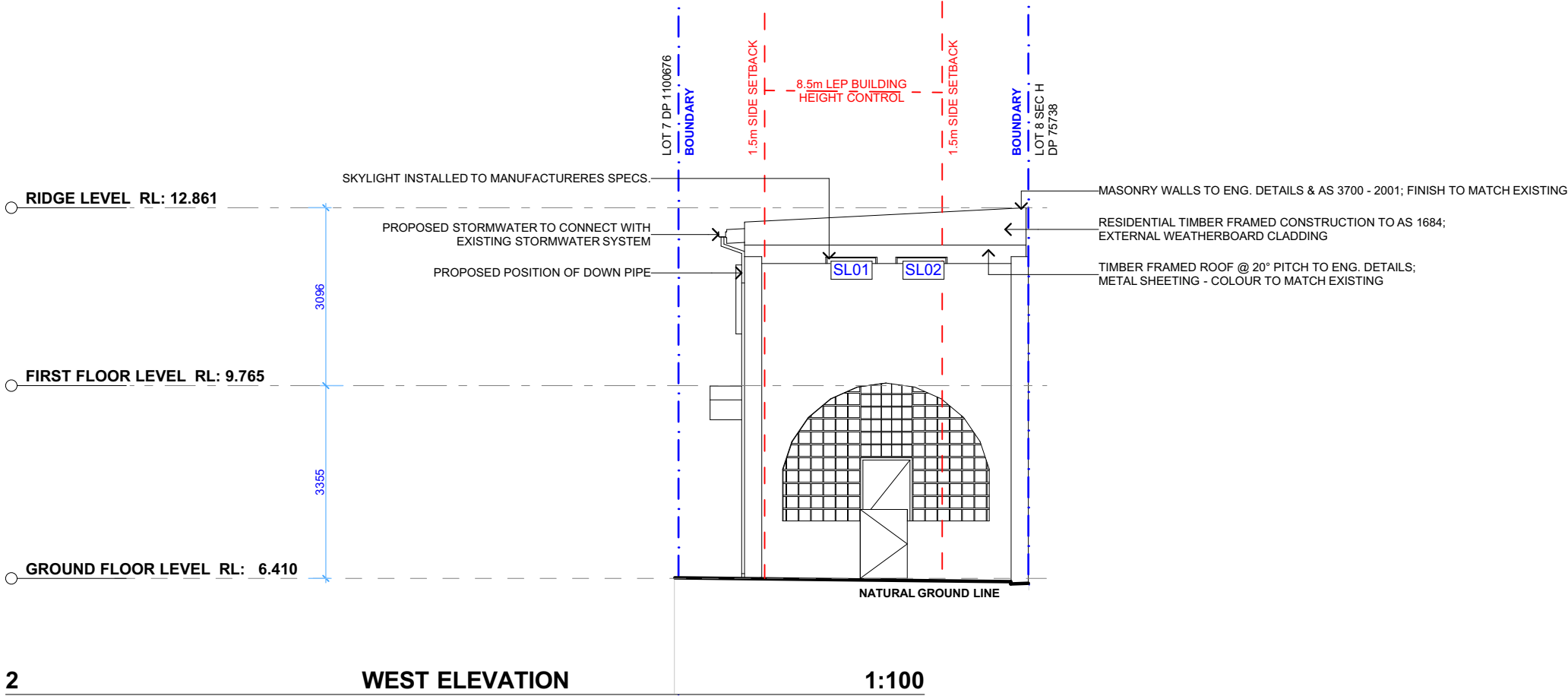
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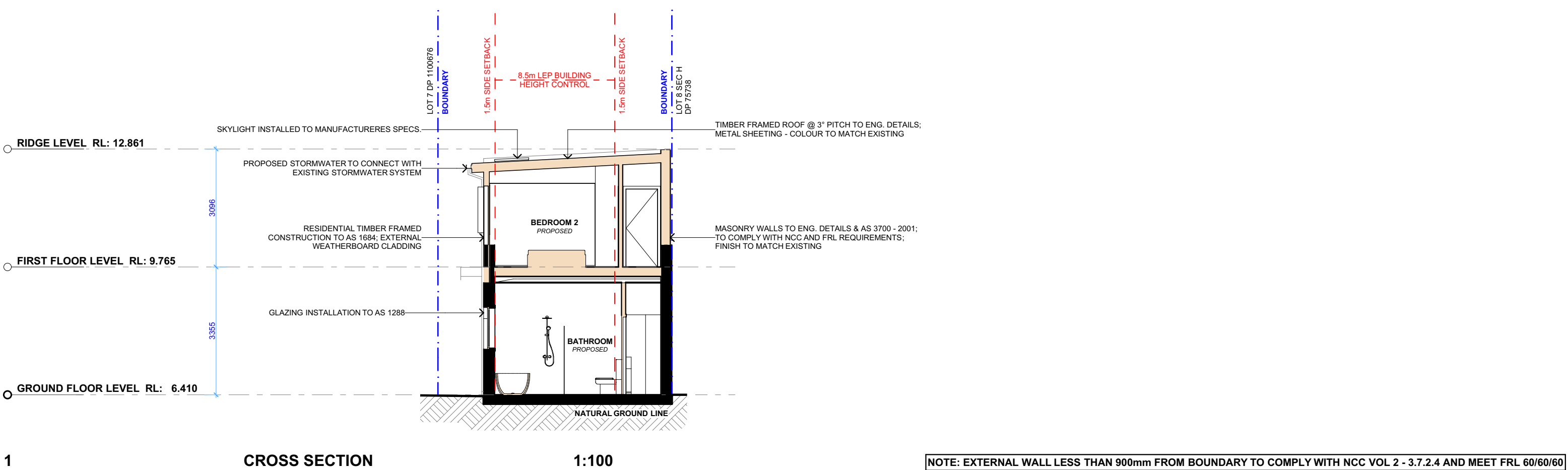
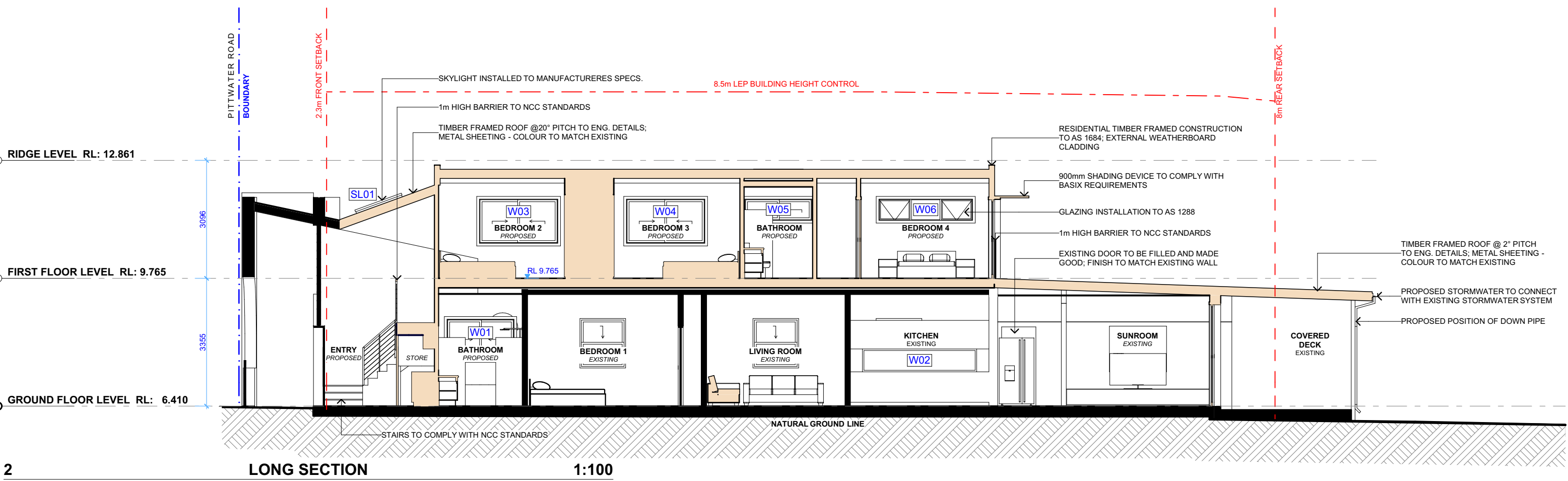
DRAWING NAME

NORTH / EAST ELEVATION

SCALE

1:100 @A3





NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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LEGEND

EXISTING

PROPOSED

CLIENT

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PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA07

DATE

Friday, June 12, 2020

DRAWING NAME

LONG / CROSS SECTION

SCALE

1:100 @A3

CONTROL AREA CALCULATIONS

SITE AREA: 215.3m²

TOTAL OPEN SPACE

REQUIRED: 55% (118.41m²)

EXISTING: 26.5% (57.10m²)

PROPOSED: UNCHANGED

LANDSCAPED AREA

REQUIRED: 35% of TOS (41.44m²)

EXISTING: 30.9% (36.69m²)

PROPOSED: UNCHANGED

PRIVATE OPEN SPACE

REQUIRED: 18m²

EXISTING: 20.4m²

PROPOSED: UNCHANGED

CONTROL AREA CALCULATIONS

SITE AREA: 215.3m²

FLOOR SPACE RATIO

REQUIRED: 0.6 : 1 (129.18m²)

EXISTING: 0.53 : 1 (115.44m²)

PROPOSED: 0.77 : 1 (166.06m²)

FSR - EXCLUDED AREAS

REQUIRED: N/A

FSR - EXISTING (DEMOLISHED)

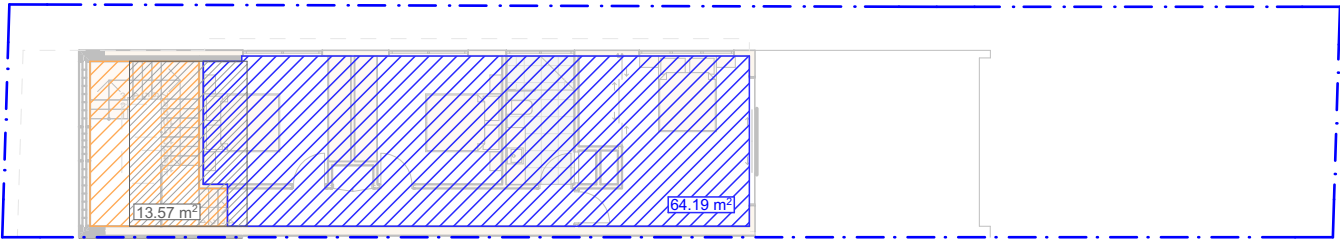
REQUIRED: N/A



2

EXISTING AREA CALCULATIONS

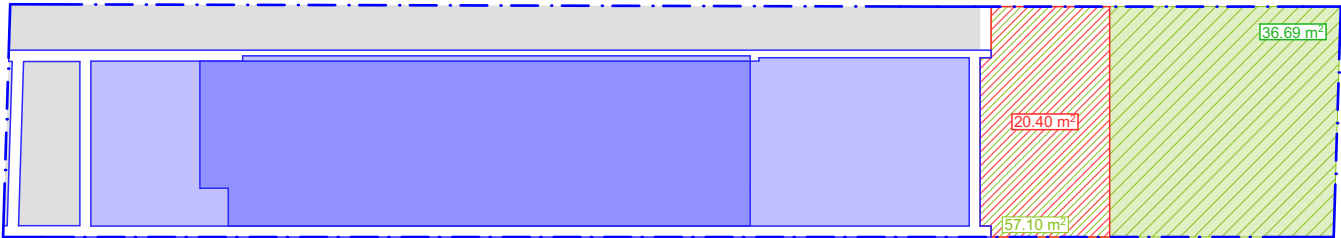
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4

FSR: FIRST FLOOR

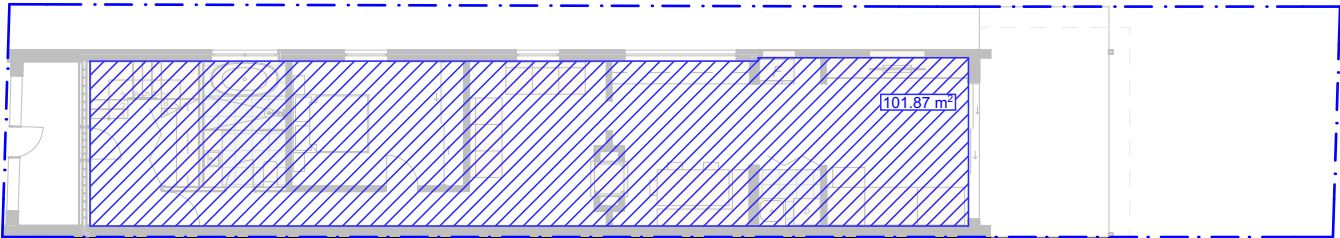
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1

PROPOSED AREA CALCULATIONS

1:200



3

FSR: GROUND FLOOR

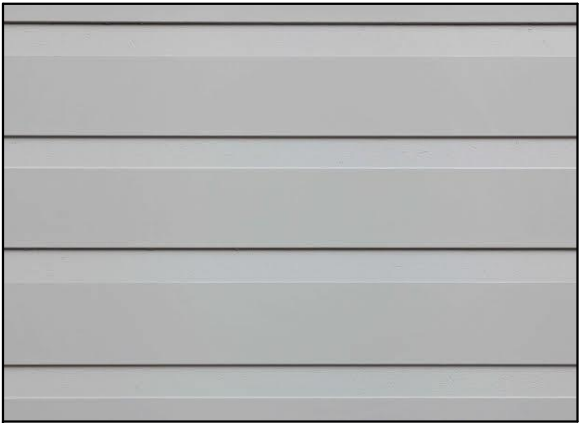
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METAL SHEET ROOFING
TO MATCH EXISTING



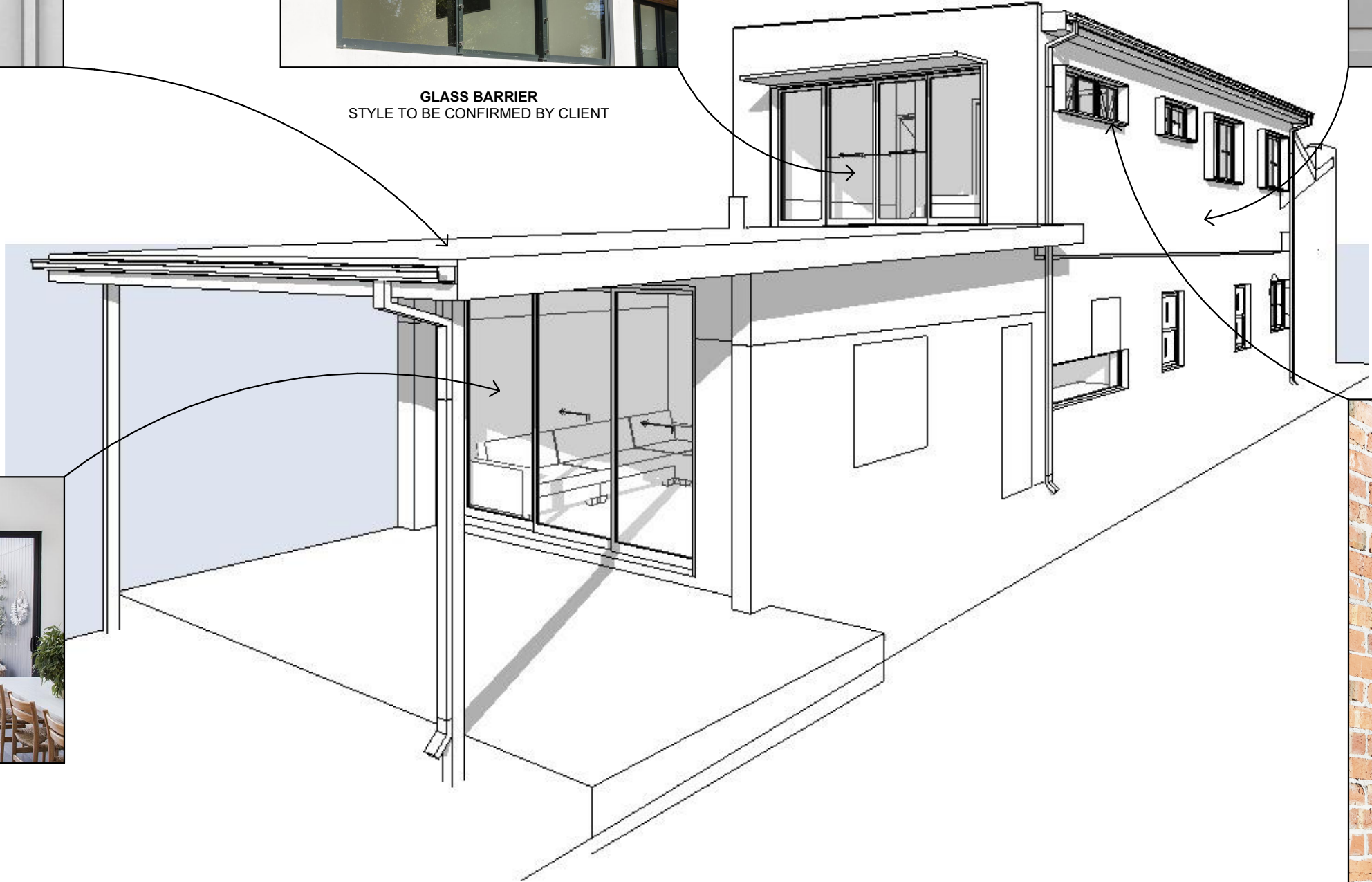
GLASS BARRIER
STYLE TO BE CONFIRMED BY CLIENT



WEATHERBOARD CLADDING
COLOUR TO BE CONFIRMED BY CLIENT

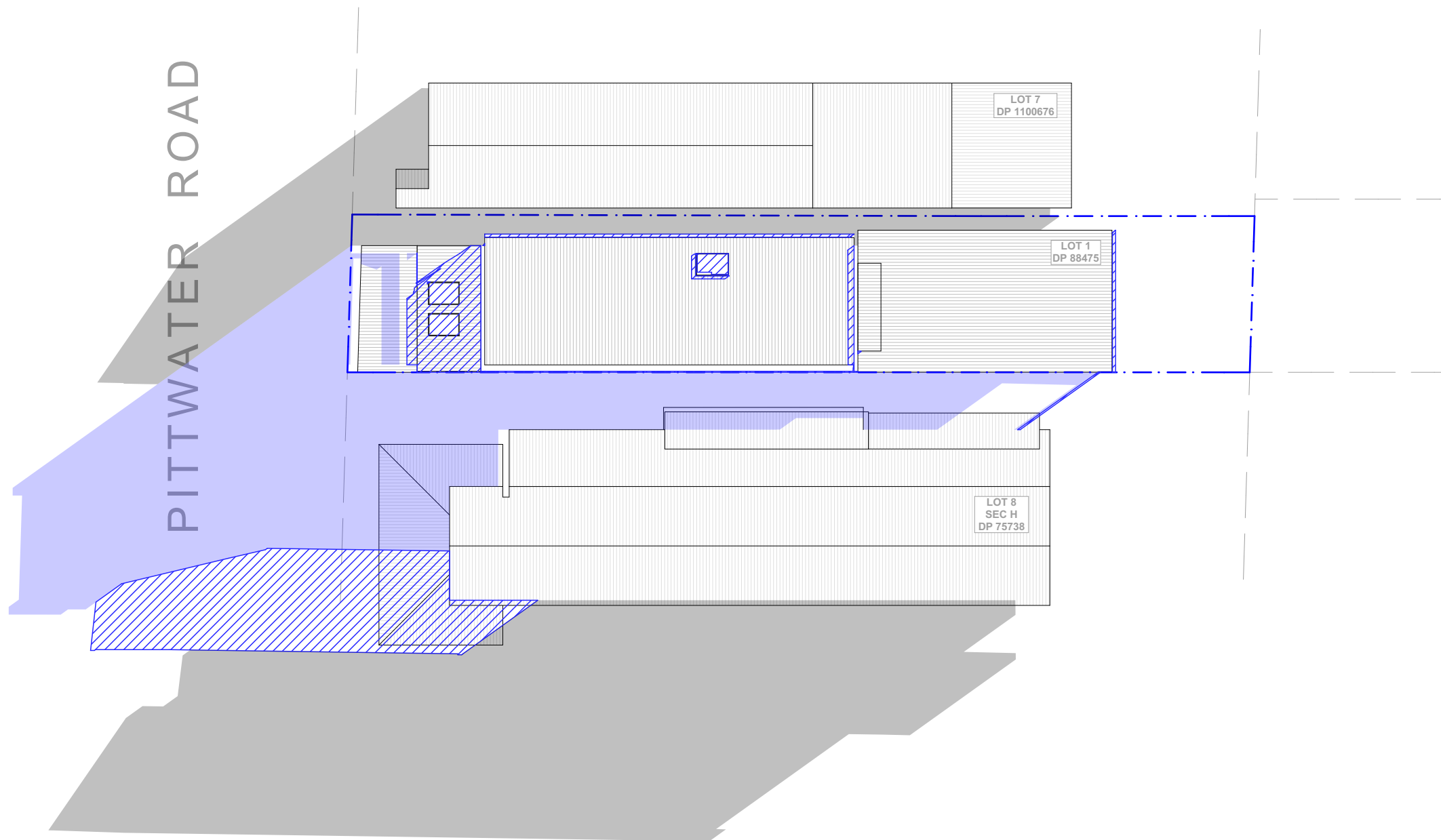


ALUMINIUM FRAMED SLIDING DOOR
BY STEGBAR OR OTHER



PROTUDING ALUMINIUM FRAMED WINDOWS
BY STEGBAR OR OTHER

1 SAMPLE BOARD



1

WINTER SOLSTICE 9AM

1:200



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LEGEND

 EXISTING SHADOWS

 PROPOSED SHADOWS

 NEIGHBOURING SHADOWS

CLIENT

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CARTER

PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA10

DATE

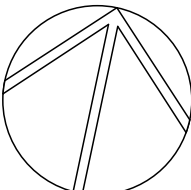
Friday, June 12, 2020

DRAWING NAME

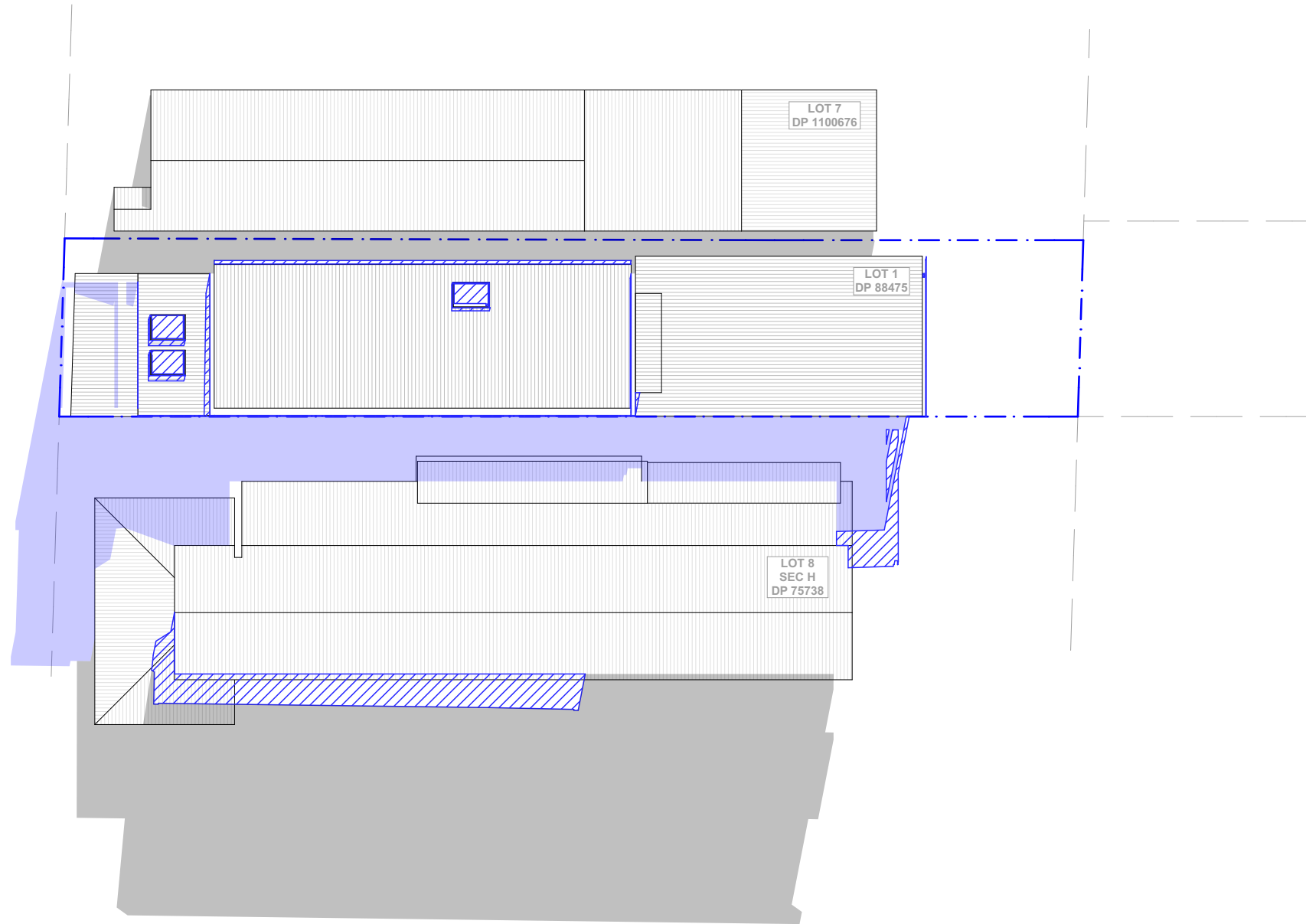
WINTER SOLSTICE 9 AM

SCALE

1:200 @A3



PITTWATER ROAD



1

WINTER SOLSTICE 12PM

1:200



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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
DANNY & NICOLE
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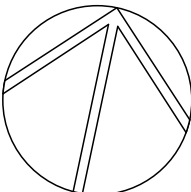
PROJECT ADDRESS
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MANLY 2095

DRAWING NO.
DA11

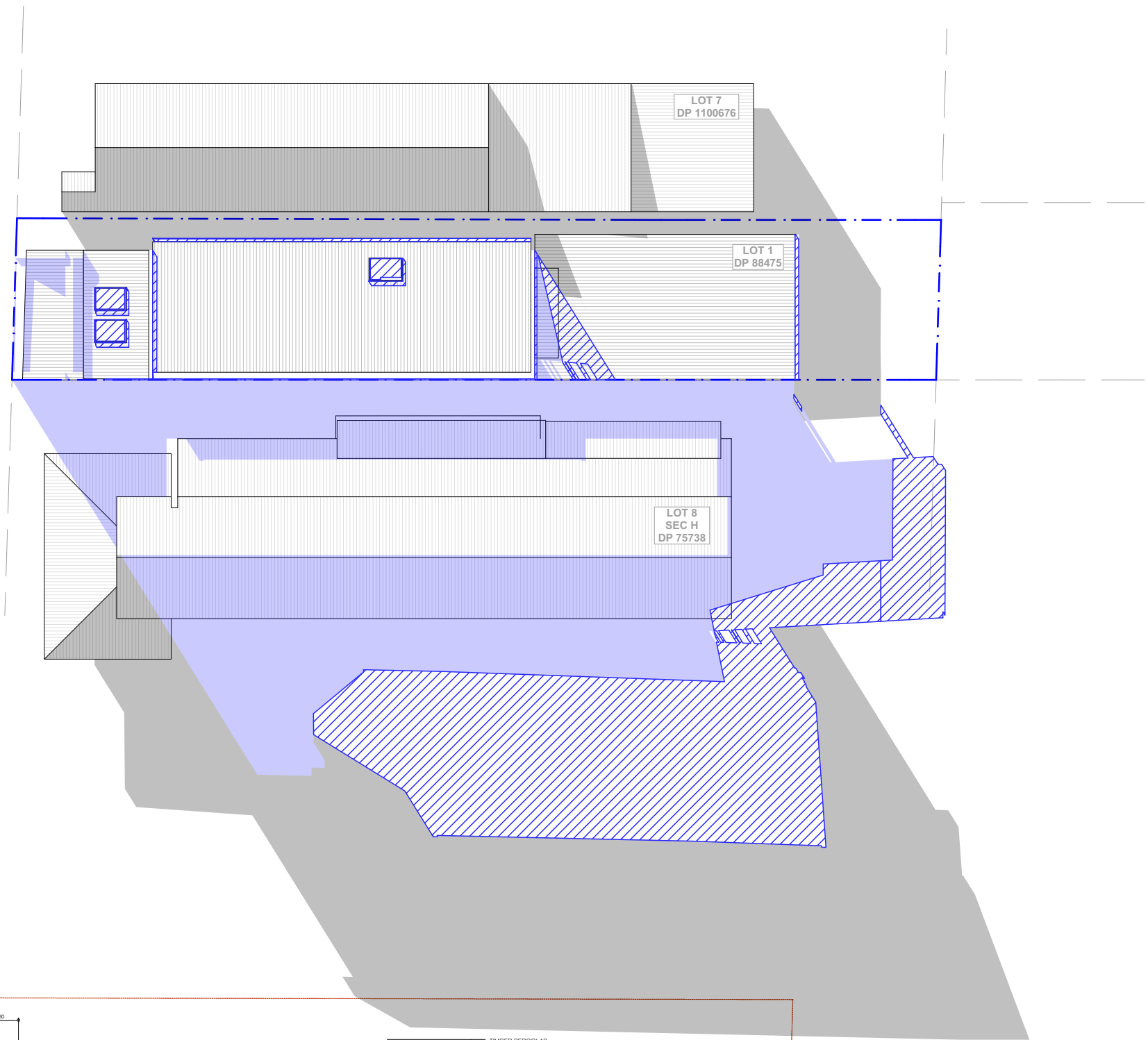
DATE
Friday, June 12, 2020

DRAWING NAME
WINTER SOLSTICE 12 PM

SCALE
1:200 @A3



PITTWATER ROAD



Alterations and Additions

Certificate number: A376411_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 15, May 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	122 Pittwater Road Manly_02
Street address	122 Pittwater Road Manly 2095
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 88475
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
floor above existing dwelling or building.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external wall: other/undecided	R1.70 (including construction)				
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
----------------------	------------------	------------------------------	-----------------

Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	1.98	2.65	1.46	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	1.8	2.97	1.46	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	2.52	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	N	2.52	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	N	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	N	1.5	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D1	E	9.82	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	E	7.14	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.		✓	✓
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.109	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check												
<table><tr><th>Skylight number</th><th>Area of glazing inc. frame (m2)</th><th>Shading device</th><th>Frame and glass type</th></tr><tr><td>S2</td><td>1.109</td><td>external adjustable awning or blind</td><td>aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)</td></tr><tr><td>S3</td><td>1.109</td><td>external adjustable awning or blind</td><td>aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)</td></tr></table>	Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type	S2	1.109	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)	S3	1.109	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type												
S2	1.109	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)												
S3	1.109	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)												



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The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.
U value takes precedence over glazing type/colour in all cases.
all new glazing must meet the BASIX specified frame and glass type, *OR* meet the certified U value and SHGC value.

CLIENT
DANNY & NICOLE
CARTER

PROJECT ADDRESS
122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

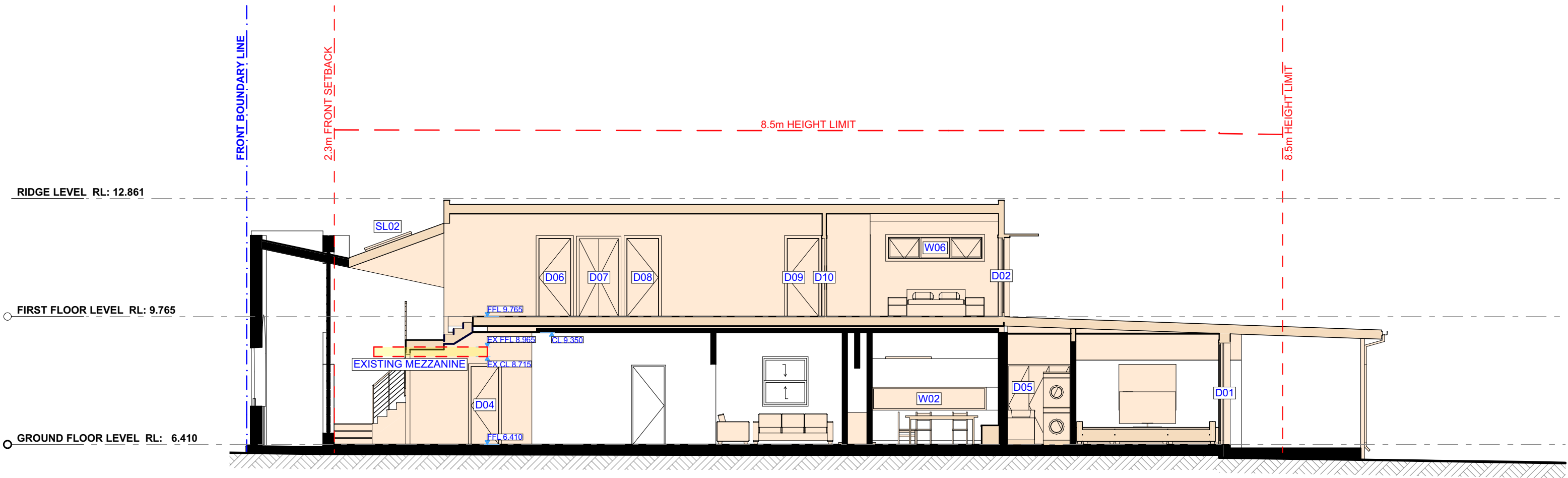
DA13

DATE

Friday, June 12, 2020

DRAWING NAME

BASIX COMMITMENTS



1

LONG SECTION

1:100

NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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LEGEND

EXISTING

PROPOSED

CLIENT

DANNY & NICOLE CARTER

PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA14

DATE

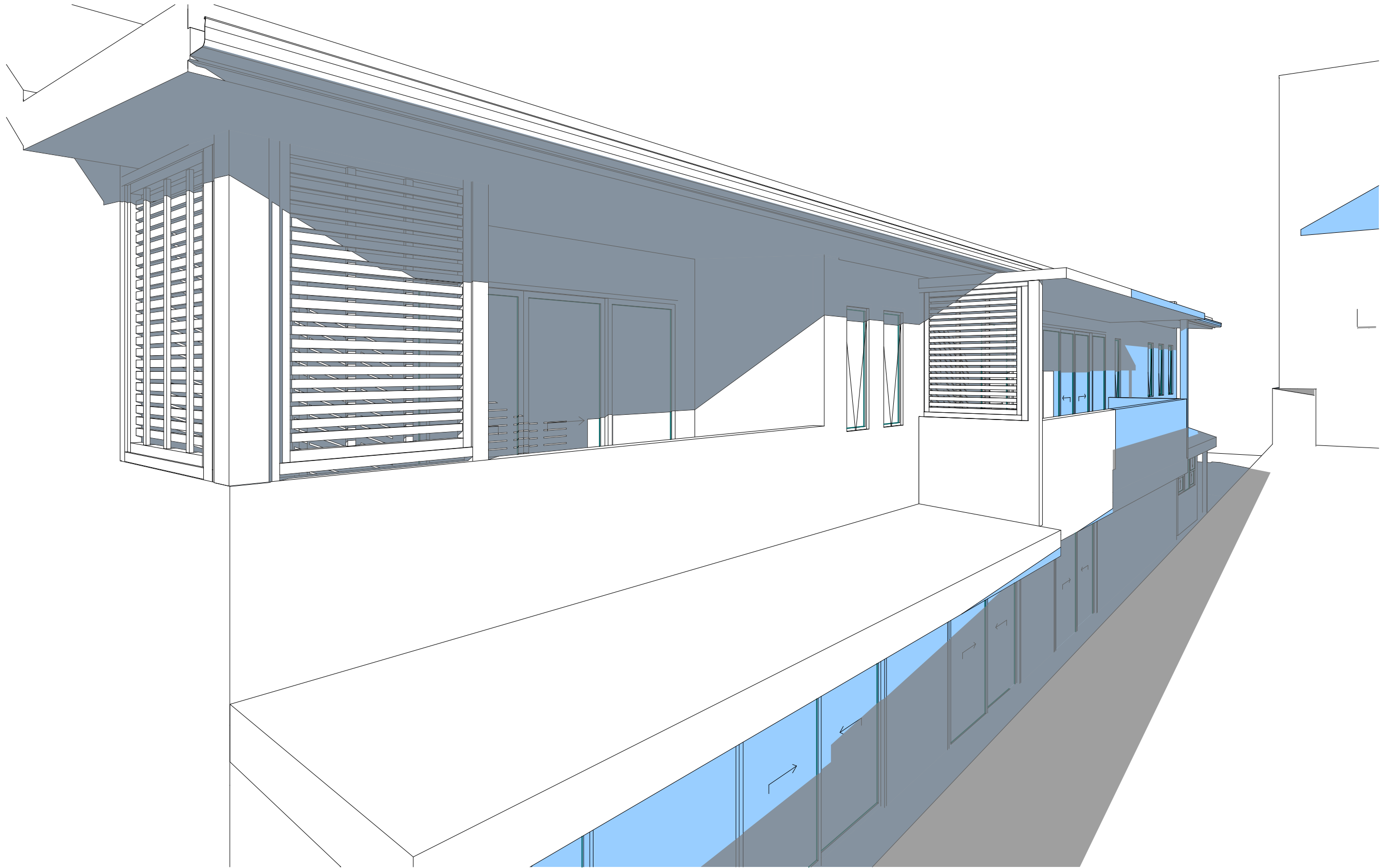
Friday, June 12, 2020

DRAWING NAME

LONG SECTION

SCALE

1:100 @A3



1

0900 - 21 JUNE



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LEGEND

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122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA15

DATE

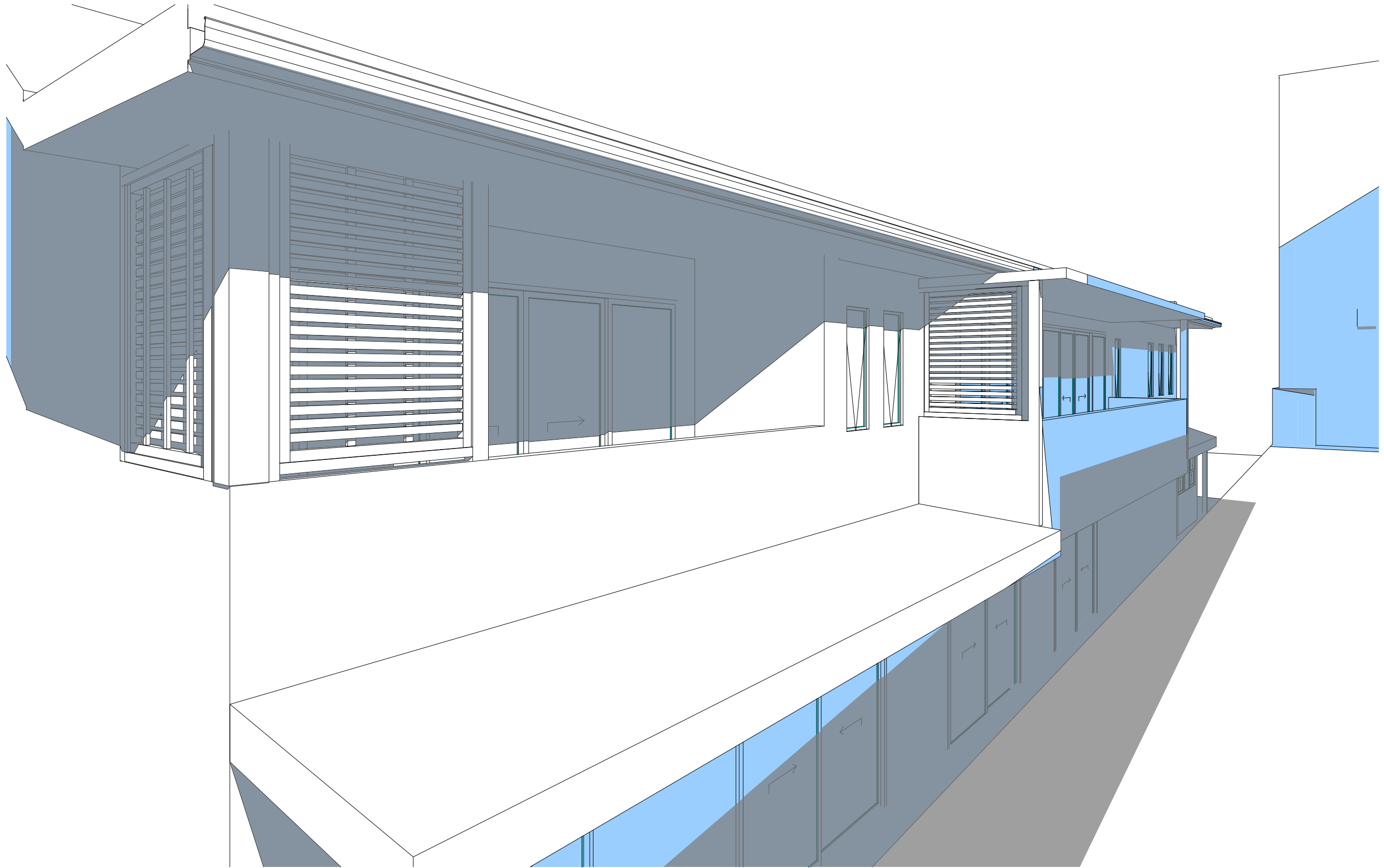
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0900 - 21 JUNE

SCALE

@A3



1

1200 - 21 JUNE



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LEGEND

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PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA16

DATE

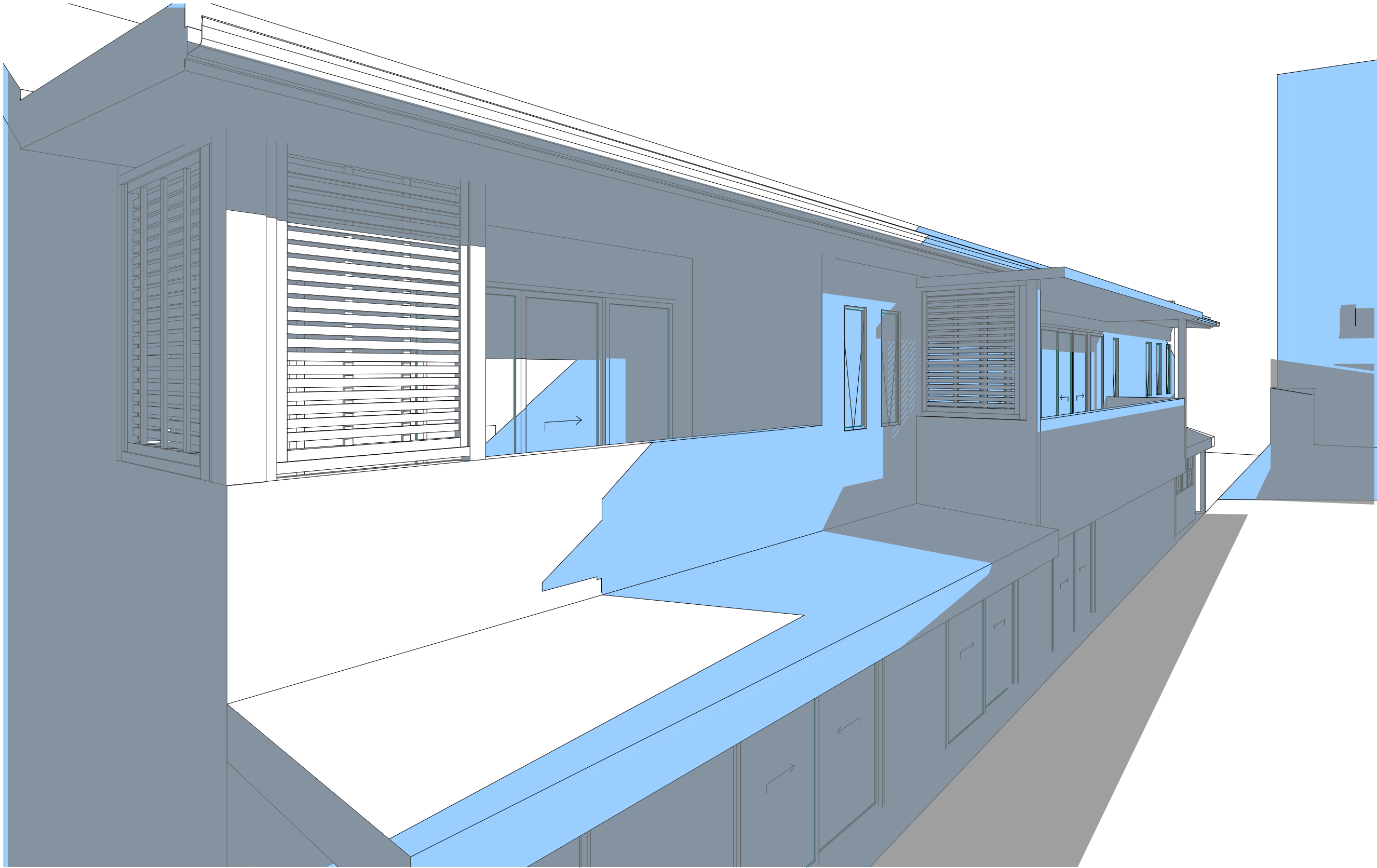
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DRAWING NAME

1200 - 21 JUNE

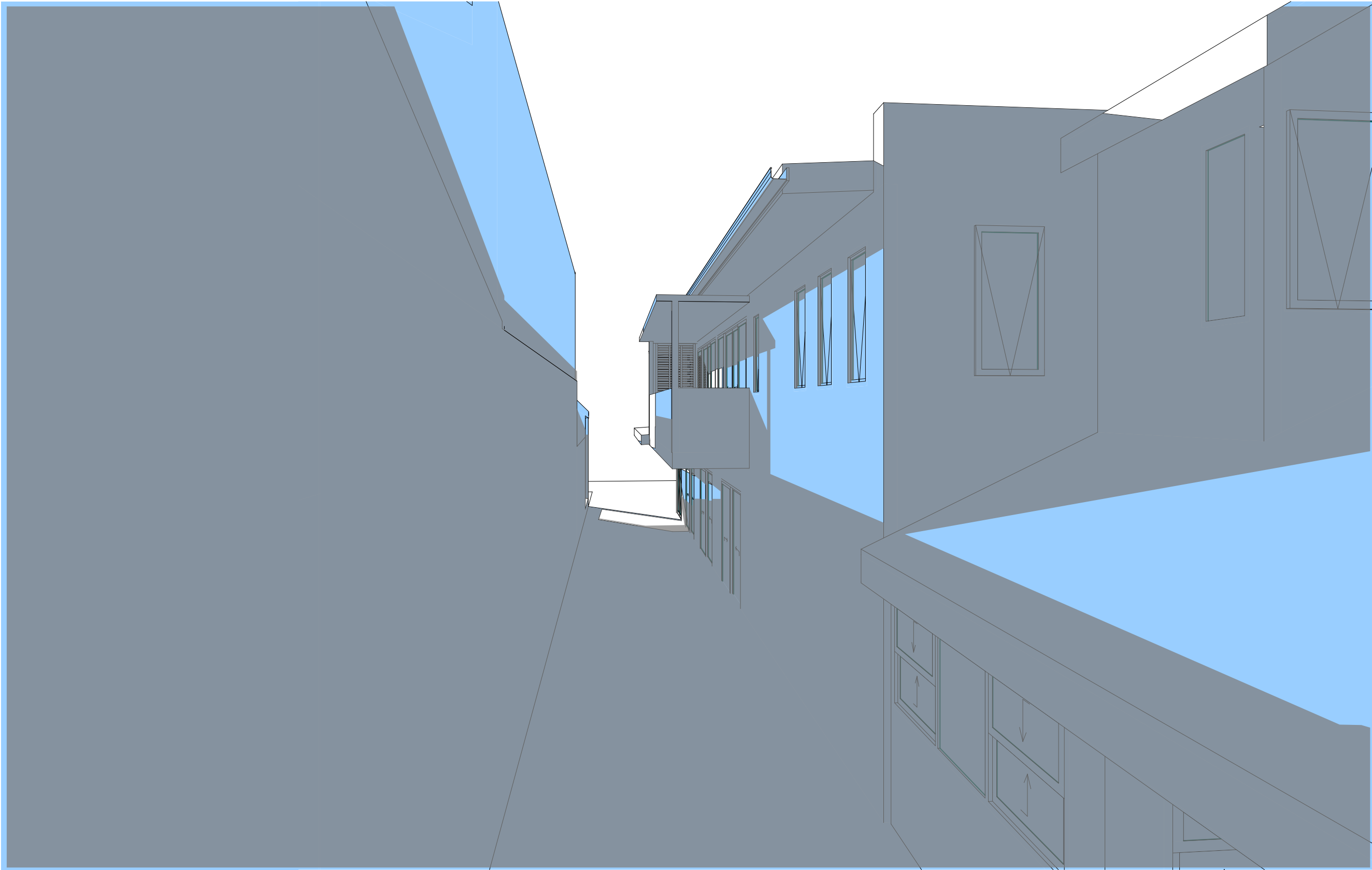
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LEGEND		CLIENT	DRAWING NO.	DRAWING NAME
		DANNY & NICOLE CARTER	DA17	1500 - 21 JUNE
		PROJECT ADDRESS	DATE	SCALE
		122 PITTWATER ROAD, MANLY 2095	Friday, June 12, 2020	@A3





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LEGEND

CLIENT

DANNY & NICOLE CARTER

PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA18

DATE

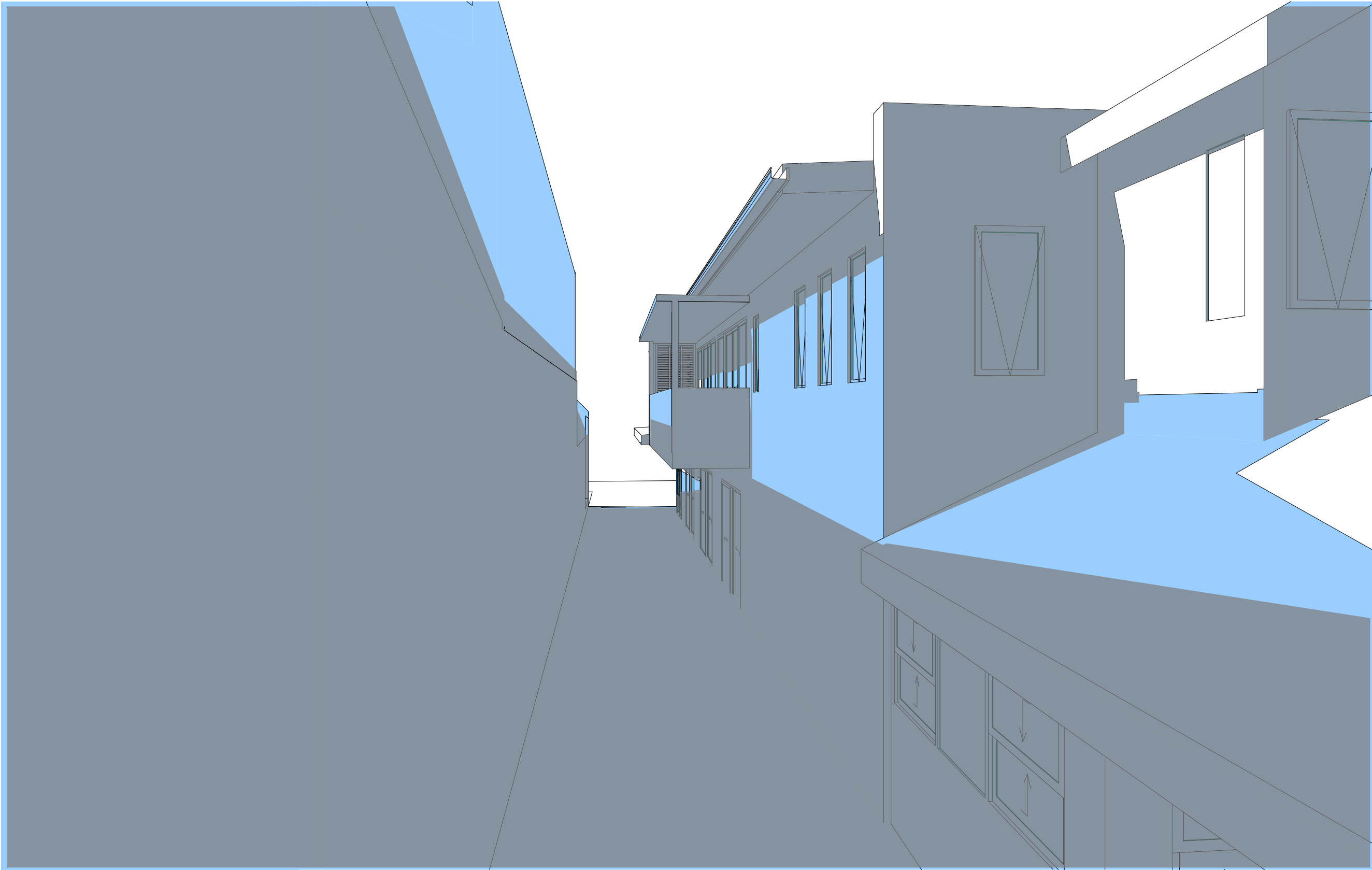
Friday, June 12, 2020

DRAWING NAME

0900 - 21 JUNE

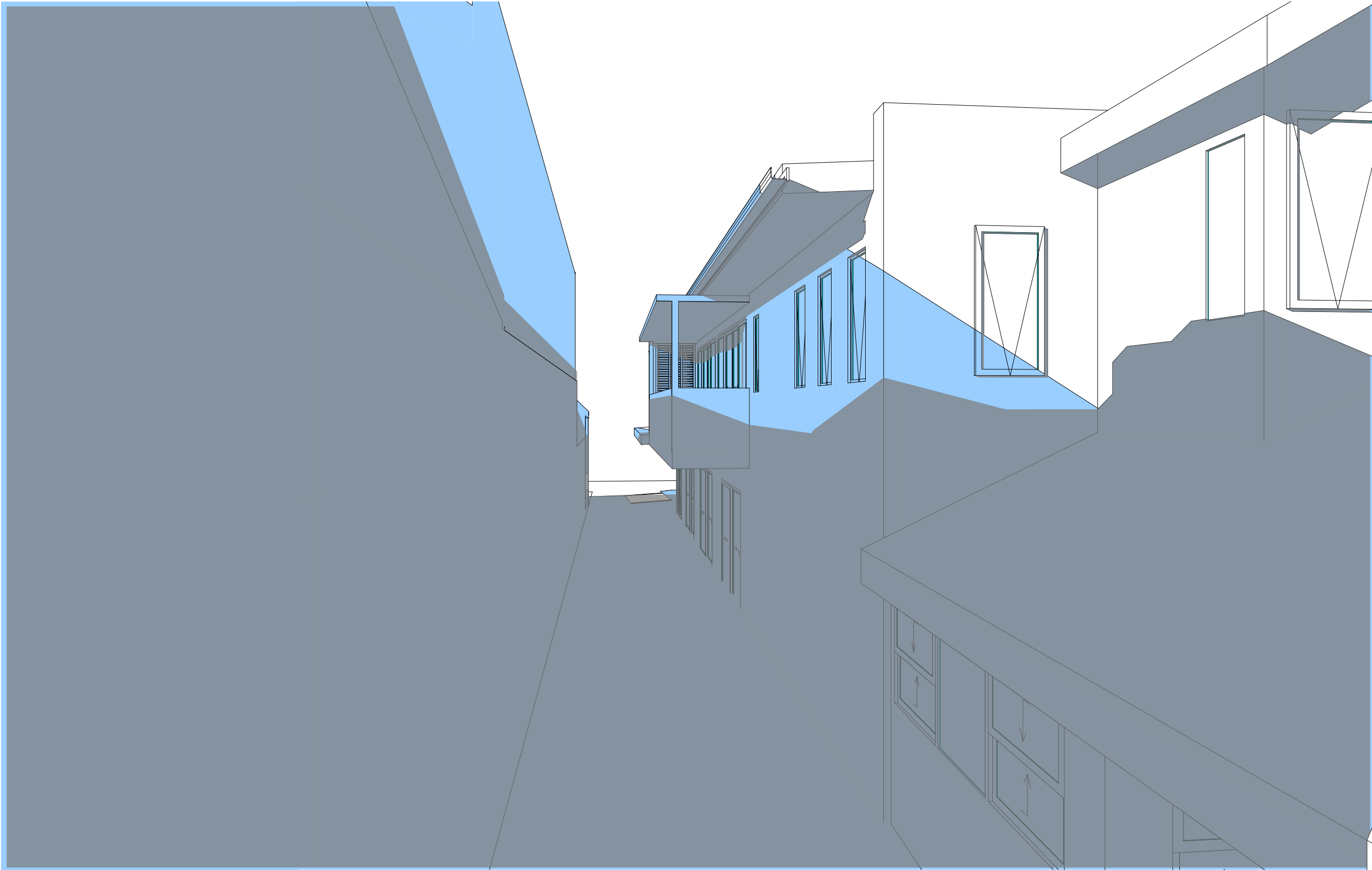
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LEGEND		CLIENT	DRAWING NO.	DRAWING NAME
		DANNY & NICOLE CARTER	DA19	1200 - 21 JUNE
		PROJECT ADDRESS	DATE	SCALE
		122 PITTWATER ROAD, MANLY 2095	Friday, June 12, 2020	@A3





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LEGEND

CLIENT

DANNY & NICOLE CARTER

PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA20

DATE

Friday, June 12, 2020

DRAWING NAME

1500 - 21 JUNE

SCALE

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