

AHn: Dialina Da Costa

## CONSTRUCTION CERTIFICATE APPLICATION

Environmental Planning and Assessment Act 1979, Section 109C EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882 Mona Vale NSW 1660
Tel: (612) 9870 1111
Fax: (612) 9970 7160
Internet: www.pithvaterige.com.eu
Ernali: pithvater\_council@pithvater.naw.gov.au

lease t	k one.
	New Construction Certificate
	Modification of previously issued
	Construction Certificate
	CC/

15.7

09

## SITE DETAILS

Unit/Suite:	Street No	Street Alameda	Way	
Suburb:	arriew	ood	Lot No	Deposit /Strata Plan 22817 (
DEVELOP	WENT CONS	BENT		
Developme	nt Applicațio	n No	Determinatio	n Date

## APPLICANT DETAILS

NO210/09

Name/Company	Contact Person
Marie Nero	
Postal Address: 13 Alameda Way Warnewood	Contact Numbers Phone (H/B) 99993675 Mobile 04/0566777 Fax 99401676
Signature of Applicant	Date 5.809

## **OWNERS DETAILS**

Name	If Company, contact person
Marie Nero	
Postal Address	Contact Numbers
Ar above	Phone (H/B)  Mobile Ay above  Fax.
As the numer of the land to which this application is	elates. I consent to this application, I also give consent for the

As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of Owners, Date

5,809 5 7.00

If more than one owner every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be starriped on this application.

If the property has been recently purchased written confirmation from the purchaser's Solicitor must be provided if the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

SCANNE,
- 6 AUG 2003



## **CONSTRUCTION CERTIFICATE APPLICATION**

Environmental Planning and Assessment Act 1979, Section 109C EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882 Mona Vale NSW 1660
Tel (612) 9970 1111
Fax (612) 9970 7150
Internet: www.pittwateriga.com.au

Please tick one

New Construction Certificate

Modification of previously issued

Construction Certificate

CC 0246/091

			Construction Certificate  CC <u>02+6 / 09</u>			
Email pittwater_council@pittwater nsw gov au			CC	02 TE		29
SITE DETA	AILS					
Unit/Suite	Street No	Street		. (		
	_ 13	Alamedo		Way		
Suburb $\[ \]$	arrieWo	od		Lot No		Deposit /Strata Plan 22817 (
DEVELOPI	MENT CONS	SENT				
Developme	nt Applicațio	n No	De	termina	ation	Date
No	210/0	)9		15	5.7	09
APPLICAN	T DETAILS					
Name/Comp	oany		Co	ontact P	erso	n
Mari	e Nero	•				
Postal Addi	'ess		Co	ontact N	lumb	ers
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				<del></del>		
Signature o	f Applicant		Da	ite S	5 8	109
OWNERS I	DETAILS				,	
Name			lf (	Compai	ıy, co	ontact person
	re Ne	ro				
Postal Addr	<b>'ess</b>		Co	ntact N	lumb	ers
	<i>a</i>		Ph	one (H/	B)	A - 1
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			Fa	×		

As the owner of the land to which this application relates I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of owners.

Date

5, 8, 09

If more than one owner every owner must sign. If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this application. If the property has been recently purchased written confirmation from the purchaser's Solicitor must be provided if the contracts have been exchanged for the purchase of the land the current owner is to sign the application.

# VALUE OF PROPOSED DEVELOPMENT Value of Works \$ /50,000 (including full cost of labour and materials)

# DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY? Yes Only required if the development involves building works exceeding \$25,000 00

## **OFFICE USE ONLY**

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	\$1,265
Modification of Construction Certificate Fee	TCER	
Long Service Levy Fee	QLSL	\$525
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		\$1790
Date of Receipt	Receipt No 2632.75	Accepted By
New Application Number issued (not requ	cc 02461 09	

## PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to assess your proposal.					
Intended recipients	Council Staff/Consultants and any other relevant government agency that may be required to assess the proposal					
Supply	The information is required by legislation					
Consequence of Non-provision	Your application may not be accepted not processed or rejected for lack of information					
Storage	Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public					
Retention period	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely					
Please contact Co	uncil if this information you have provided is incorrect or changes					

Type of Work	Building	y Work
	OR	
	Subdivis	sion Work
Description of propo	osal (Provide	brief, concise details)
	•	
Alteration	13 ६ व	dditions to the existing
dwelling	house	& new shimming pool
)		
WHO WILK BE D	OING THE BI	UILDING WORKS?
☑ Owner Bu		OILDING WOUNT
		. 366944 <i>P</i>
	uilders Permit N	WO
Copy of Own		☑ Yes ☐ No – to be provided with Notice of
permit attache	ea	No – to be provided with Notice of
portant attack		
		Commencement Form residential building work exceeding \$5000 you must app
If you are an Owner- for a permit at NSW	-Builder for the Office of Fair T	Commencement Form residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Austral
If you are an Owner- for a permit at NSW	-Builder for the Office of Fair T	Commencement Form residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Austral
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If you are an Owner- for a permit at NSW	-Builder for the Office of Fair Ti Fax 61 2 9895 0	Commencement Form residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Austral 222.
If you are an Owner- for a permit at NSW Tel. 81 2 98950111 F	-Builder for the Office of Fair Ti Fax 61 2 9895 0	Commencement Form residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australi 222.  OR
If you are an Owner- for a permit at NSW Tel. 61 2 98950111 F	-Builder for the Office of Fair Ti Fax 61 2 9895 0	Commencement Form residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australi 222.  OR
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If you are an Owner- for a permit at NSW Tel. 61 2 98950111 F  Licensed Builder's t  Name of Builder  Contact person	-Builder for the Office of Fair Ti Fax 61 2 9895 0	Commencement Form  residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australi 222.  OR  Phone  Mobile
If you are an Owner- for a permit at NSW Tel. 61 2 98950111 F  Licensed Builder's t  Name of Builder  Contact person	-Builder for the Office of Fair Ti Fax 61 2 9895 0	Commencement Form residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australi 222.  OR Phone
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If you are an Owner- for a permit at NSW Tel. 61 2 98950111 F	Builder for the Office of Fair Ties 61 2 9895 02  Builder License Numbe	Commencement Form  residential building work exceeding \$5000 you must app rading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australi 222.  OR  Phone  Mobile  Fax  Insurance Certificate attached

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LOILU	 0110771	3011014	

# LEVY PAYMENT FORM FORM NO

See reverse of form for instruc	ctions OFFICE USE ONLY	
PART A - DETAILS OF PERSO	N/COMPANY/ORGANISATION LIABLE TO PAY LEVY PLEASE PRINT ALL DETAILS USING CAR	PITALS
Surname (if person) or Company/Organisation name	NERO	
Given names (if person) POSTAL ADDRESS	MARIEISUSANIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	
No and street or PO Box	USUA CAMEPA DA PAMILIDA DE LA CAMERA DEL CAMERA DE LA CAMERA DEL CAMERA DE LA CAMERA DEL CAMERA DE LA CAMERA	The second secon
Town/suburb		
State	NO'U Postcode 2102 Bus hours phone UM103667	
PART A = ADDRESS OF THE	DING/GONSTRUCTION WORK	
Number and street	ASPAGOSETTE	
Town/suburb		
State	Postcode Postcode Postcode	
Estimated start date D	TOMOBY 2009 Estimated finish date D24 M 12 Y 20	011
PART C - DETAILS OF WORK	— To be completed by consenting/certifying authority with whom plans lodged for approval	
Local Council Area	PUHHUAHEMOOOOOOOOO	
<sup>1</sup> DA/CC/CDC No		
Estimated value of work (see note on back)	\$ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	1, 1.
<sup>1</sup> If you have provided a CC abov	ve, please provide DA number here	
Name of Officer/Private Certifier		
PART D - DETAILS - To be co	ompleted by Dept/Authority where applicable – see reverse	
Department/Authority		The state of the s
Contract/DA No (circle which)	Contract amount \$	
Levy payable	; LLISQUII	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Contact person (Print)	Phone number	
Contact person (Signature)	Date D M Y	
PART E - DECLARATION - To	be signed by person liable to pay levy or authorised officer if company/organisat	ion
	tion provided on this form may result in prosecution under Section 58A ation provided on this form is true and correct to the best of my knowledge	
Name MARIE NER	Signature Maile Date DOG MOB V20	09
PART F – TO BE COMPLETED V	WHERE APPLICABLE - SEE REVERSE REVERSE	マチに
Exemption Approval Certificate N	WHERE APPLICABLE – SEE REVERSE $R = 2633$ $6/8/09$	. ) ત્ર
	6/8/8	/

Building and Construction Industry Long Service Payments Corporation Locked Bag 3000 Central Coast MC NSW 2252 Tel 13 14 41 Fax (02) 9287 5685 Email levy@lspc nsw gov au www lspc nsw gov au ABN 93 646 090 808

May 09/180

Marie Nero 13 ALAMEDA WAY WARRIEWOOD NSW 2102 HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit 366944P Receipt 1-317305055 Issued 20/7/2009 Amount \$148 00\*

### **BUILDING SITE**

Lot 21 13 Alameda Way, Warriewood, NSW 2102 AUSTRALIA

### **AUTHORISED BUILDING WORK**

Additions to dwelling & a new inground pool

Authority No

DA-N0210/09

Council Area

PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000 A certificate of insurance must be attached to any contract of sale

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc

Note This permit is only valid when an official receip has been imprinted f payment is made by cheque the permit is conditional on the cheque being met on presentation \*GST amount included in total fee \$0.00

Issuite officer

\*\*\*\*\* END OF PERMIT \*\*\*\*\*\*\*

NSW Office of Fair Trading ABN 54 625 095 406 I Fitzwilliam St P O Box 972 Parramatta NSW 2150 Australia Tel 13 32 20 TTY 02 9338 4943 www.fairttading.nsw.gov.au



# RBSOLUTE Owner Builder Online P/L

This certificate certifies that

# **Marie Nero**

has successfully completed the ABSOLUTE course

"Becoming an Owner-Builder"

0n

14th July 2009

Issued by

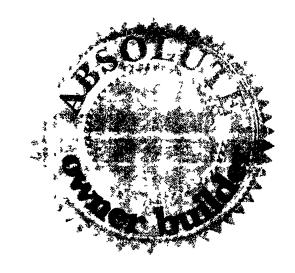
# Peter Berginc

On Behalf of ABSOLUTE Owner Builder Online P/L



Certificate Number

9868







# Peleng CONSULTING ENGINEERS Structural & Civil Engineers



Document Ref No 09882

4 August 2009

## STATEMENT OF STRUCTURAL ADEQUACY

**PROJECT** 

Proposed Alterations and Additions

**CLIENT** 

Mr & Mrs Nero

LOCATION

13 Alameda Way, Warriewood

**ELEMENTS** 

**Existing Structure** 

As a professional engineer qualified and experienced in timber steel and reinforced concrete design I confirm that the existing structure will be structurally adequate to support the additional or altered structural loads from the proposed alterations and additions

The loadings used are in accordance with AS/NZS 1170 0 AS/NZS 1170 1 AS/NZS 1170 2 and AS 1170 4 as appropriate

Structural design check has been performed in accordance with AS 2870. Serviceability and other design criteria used have been selected in accordance with these references.

## References

- 1 AS/NZS 1170 0 2002 Structural design actions Part 0 General Principles
- 2 AS/NZS 1170 1 2002 Structural design actions Part 1 Permanent imposed and other actions
- 3 AS/NZS 1170 2 2002 Structural design actions Part 2 Wind actions
- 4 AS 1170 4-1993 Minimum design loads on structures Part 4 Earthquake loads
- 5 AS 2870-1996 Residential Slabs and Footings

Regards

PelEng

Anthony Pellicano BE (Hons) MIEAust

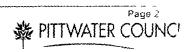
NOTE. This statement is provided for the benefit only of the client named on this certification and is not to be rupon by others for any purpose without the prior written consent of the certifier. It does relieve any other particle responsibilities inabilities or contractual obligations.



# GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO 2 - PART A - To be submitted with detailed design for Construction Certificate

Development Application for PETER PRINCI ARCHITECT

	Haine of Applicant	
	Address of site 13 ALAMERS WAY, WARRIEWOOD	
PART A	*	) the
· An	MHONY PELLENG PELENG	
4	(insert name)  (insert name)  (insert name)  (insert name)	
on this th	ne 04 August 2004	
authorise profession	lat I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater 2009 I amed by the above organisation/company to issue this document and to certify that the organisation/company has a current onal indemnity policy of at least \$2million   I also certify that I have prepared the below listed structural documents in once with the recommendations given in the Geotechnical Report for the above development and that	
Please n	mark appropriate box	
	the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfil bot the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Resolution Management Policy	
	Report Details  Report Title Risk Analysis + Management For Proposed Additions, Alterdions and New Foo!  Report Date 28 may 2009  Author Ben White  Authors Company/Organisation Juck Modgson (ensultants Phy Ldy)	
	Structural Documents list	
	SOLOI ESSUE A - FOOTEN Plan and Lewer Ground Plum Slub Plankind Details	
	50201 58500 A - First Floor + Ground Floor Marking Plans and Depuls	
certificati adequate	aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this ion as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been ely addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years use stated and justified  Signature  Name  Anthony  Pellicano  Chartered Professional Status  MIE Aus t  Membership No  183708  Company  Peleng	





## Application Lodgement Summary

Sydney WATER

Reference Number 2628466

Date Requested Wed July 29 2009

Agent

Reece Mona Vale, 10 Taronga Pi Mona Vale

Applicant

F Nero Ms Nero, 13 Alameda Way Warriewood 2102

Property/Asset

13 Alameda Way, Warriewood 2102 (F Nero Ms Nero) PNum 3395276

150 mm VC Sewer Main (2794528)

Product

**Building Plan Approval Application** 

Charge

Product Cost GST

Total

Building Plan Approval Application Fee

\$25 95 \$0 00 \$25 95

## **Property Special Conditions**

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph. 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or 'not available" or if the proposed development is being built over more than one existing property

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards

# 

Building Sustainability Index www basix nsw gov au

# Alterations and Additions

Certificate number A58449

Type of alteration and addition

My renovation work is valued at \$50 000 or more a

includes a pool (and/or spa)

Dwelling type

Separate dwelling house

Plan type and number

Deposited Plan 228171

Pittwater Counci

13 Alameda Way Warriewood 2102

13 Alameda Way Warriewood (Rev 1)

Local Government Area

Section number

Street address

Project name

This certificate confirms that the proposed development will meet the NSW government is requirements for sustainability if it is built in accordance with the commitments set out below. Terms used in this certificate or in the commitments have the meaning given by the document entitled. BASIX Alterations and Additions Definitions, dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au.

Director General

Datk of issue Tuesday 19 May 2009

Section C - No 4 - Construction Certificate

NSW GOVERNMENT

Department of Planning

All plans & details of the Basix commitments will be applied to the construction works of 13 Alameda Way Warnéwood.

All Basix specifications will be fulfilled

Mangles - MARIE NERO

The swimming pool must be outdoors

BASIX Certificate number A58419

The swimming pool must not have a capacity greater than 34 5 kilolitres

The swimming pool must have a pool cover

The applicant must install a pool pump timer for the swimming pool

The applicant must install the following heating system for the swimming pool that is part of this development solar only

BASIA Cutthrate number A58449

light emitting diode (LED) lamps The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or

Fixures 200 Control of the Control o

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating

BASIX Continuate number 458443

<b>-</b>	.——	dark (solar absorptance > 0.70)	ceiling R2 50 (up) roof foil/sarking	flat ceiling pitched roof
·— w			n#	external wall external insulated façade system (EIFS)(façade panel 70 mm)
			PM	floor above existing dwelling or building
			nu.	concrete slab on ground floor
		Other specifications	Additional insulation required (R-value)	Construction
		In accordance with the specifications listed in ruction is less than 2m2 b) insulation specified	The applicant must construct the new or aftered construction (floor(s) walls and ceilings/roofs) in accordance with the specifications listed in the table below except that a) additional insulation is not required where the area of new construction is less than 2m2 b) insulation specified is not required for parts of altered construction where insulation already exists	The applicant must construct the new or altered construction (floor(s) walls a the table below except that a) additional insulation is not required where the as not required for parts of altered construction where insulation already exists.
	- X- - X- - X- - X- - X- - X- - X- - X-			Insulation requirements
v on Show on Yans CC/CDC Plans & specs	Show on DA Plans			Construction

# Windows and glazed doors

Relevant overshadowing specifications must be satisfied for each window and glazed door The applicant must install the windows glazed doors and shading devices in accordance with the specifications listed in the table below

The following requirements must also be satisfied in relation to each window and glazed door

must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U values and SHGCs

must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U value and SHGC may be substituted. Each window or glazed door with improved frames or pyrolytic low e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U values and SHGCs

For projections described in millimetres the leading edge of each eave pergola verandah balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0 35

shades a perpendicular window. The spacing between battens must not be more than 50 mm Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated unless the pergola also

Dcpartment of Planning

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BASIX certificate number A58449

	standard aluminium single clear (or U value 7 63 SHGC 0 75)	eave/verandah/pergola/balcony  >=450 mm	0	0	5 67	S	D5
	Standard aluminium single clear (or U value 7 63 SHGC 0 75)	eave/verandah/pergola/balcony >=450 mm		0	6 72	S	D4
	Standard aluminium single clear (or U value 7 63 SHGC 0 75)	none	0	0	0 6	S	D3
	Standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)	eave/verandah/pergola/balcony >=450 mm	0	0	5 04	Z	D2
	U value 7 63 SHGC 0 75)	none	0	0	10 29	S	D1
	standard alumınıum single pyrolytic low e (U value 57 SHGC 0 47)	eave/verandah/pergola/balcony >=450 mm	0	0	0 75	V	W10
	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)	eave/verandah/pergola/balcony >=450 mm	0	0	2 52	Z	W9
<del></del>	standard alumınıum sıngle pyrolytic low e (U value 57, SHGC 047)	eave/verandah/pergola/balcony >=450 mm	0	0	1 62	Z	8/W
	standard aluminium single pyrolytic low e (U value 5 7 SHGC 0 47)	eave/verandah/pergola/balcony >=450 mm	0	0	07	<b>Z</b>	W7
	standard aluminium single pyrolytic low-e (U value 5 7 SHGC 0 47)	eave/verandah/pergola/balcony >=450 mm	0	0	2 52	2	W6
	standard alumınıum sıngle clear (or U value 763 SHGC 075)	none	0	0	1 62	<b>ν</b>	W5
	standard alumınıum single pyrolytic low e (U value 57, SHGC 047)	eave/verandah/pergola/balcony >=450 mm	0	0		W	W4
	Frame and glass type	Shading device	Overshadowing Height Distance (m) (m)	Oversh Height (m)	Area of glass inc. frame (m2)	w Orientation	Window / door no.

5AS X Cottificate man but A58449

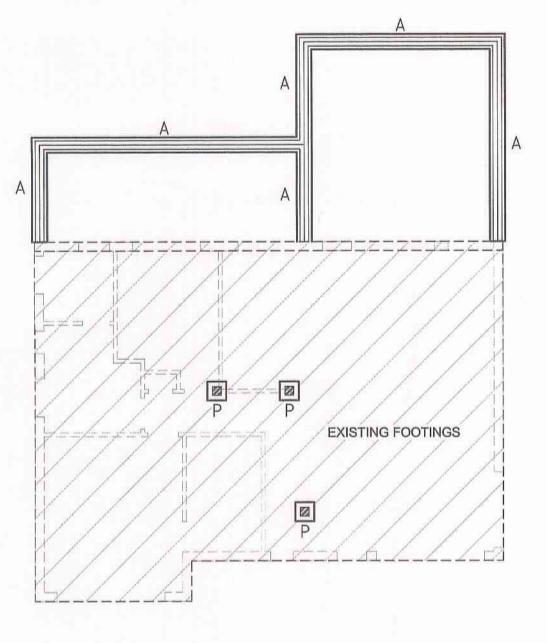
In these commitments applicant means the person carrying out the development

development application is to be lodged for the proposed development) Commitments identified with a in the Show on DA plans column must be shown on the plans accompanying the development application for the proposed development (if a

certificate / complying development certificate for the proposed development Commitments identified with a in the Show on CC/CDC plans & specs column must be shown in the plans and specifications accompanying the application for a construction

development may be issued

Commitments identified with a 🗀 in the Certifier check column must be certified by a certifying authority as having been fulfilled before a final occupation certificate for the



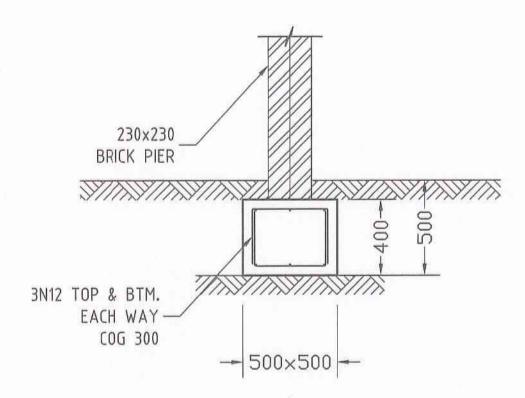
# FOOTING PLAN SCALE 1:100

# FOOTING NOTES:

- 1. ALL FOOTINGS TO BE FOUND ON SAND OF 150 kPa BEARING CAPACITY.
- 2. USE 450 LAP TO STRIP FOOTING REINFORCEMENT WHERE REQUIRED.
- 3. CONCRETE STRENGTH f'c = 20 MPa, 50 COVER.

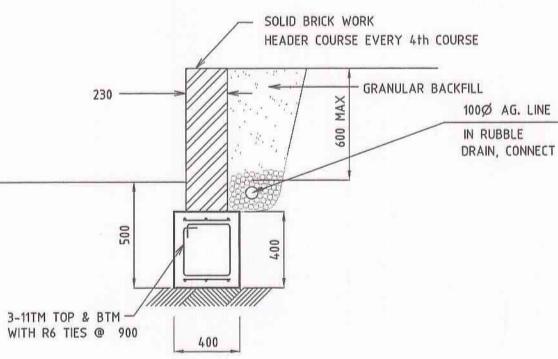
**|-----------**

4. DESIGN BASED ON THE USE OF ARTICULATED MASONRY VENEER CONSTRUCTION.



PAD FOOTING LOCATED BELOW STEEL POSTS P3, P4 & P8 ABOVE

FOOTING TYPE 'P'



4-L8TM TOP & BTM 4N12 DOWEL BARS 900 LONG TOP & BTM-R6-600 STIRRUPS DRILL & EPOXY 300 INTO EXISTING FOOTING TYPICAL FOR JUNCTIONS WHERE NEW FOOTING MEETS EXISTING FOOTING **EXISTING** 

BRICKWORK RETAINING WALL DETAIL

NOTE: BRICKS FOR RETAINING WALLS TO BE BEDDED WITH 1:1:3 MOTOR MIX BACKFILL IS NOT TO OCCUR UNTIL 10 DAYS AFTER COMPLETION

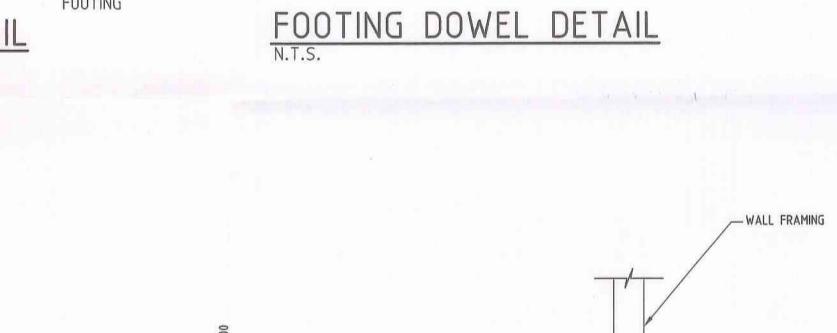
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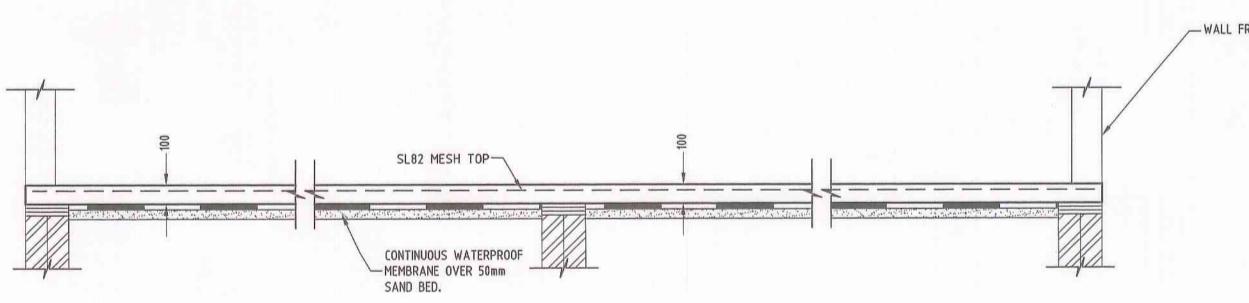
FOOTING TYPE 'A'

4-L8TM TOP & BTM.

R6-600 STIRRUPS

///>>////>>///





# SECTION SCALE 1:20

# LOWER GROUND FLOOR SLAB PLAN

EXISTING SUB FLOOR AREA

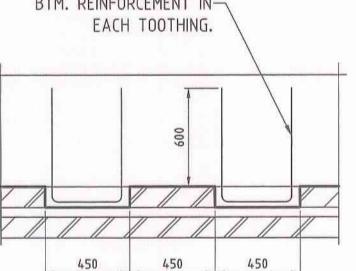
# LOWER GROUND FLOOR SLAB NOTES:

SCALE 1:100

1. SLAB TO BE 100mm THICK , REINFORCED WITH SL82 MESH TOP THROUGHOUT ; 30 COVER U.N.O.

SLB2 MESH

- 2. SLAB TO BE POURED OVER CONTINUOUS VAPOURPROOF MEMBRANE WITH A 50mm SAND BEDDING.
- 3. AT ALL RE-ENTRANT CORNERS, PLACE 3N12 TRIMMER BARS 2000 LONG , TIED UNDER TOP MESH.



TYPICAL TOOTHING DETAIL (REQUIRED WHERE NEW SLAB MEETS EXISTING WALLS)

## CONCRETE QUALITY SLUMP AGGREGATE CEMENT FOOTINGS 20mm INTERNAL SLABS 80mm 20mm A 25MPa EXTERNAL SLABS 80mm 20mm EXTERNAL BEAMS 80mm 20mm A 32MPa

REINFORC	EMENT	COVER	SCHE	DULE
MEMBER	C	OVER ( mm	1	EXPOSURE
MEMBER	TOP	воттом	SIDES	CLASSIFICATION
FOOTINGS	50mm	50mm	50mm	A1
INTERNAL SLABS	30mm	30mm	30mm	A1
EXTERNAL SLABS	40mm	40mm	40mm	B1
EXTERNAL BEAMS	40mm	40mm	40mm	B1

### C8 For chamfers, drip grooves, regiets, etc refer to Architect's BRICKWORK AND (REINFORCED) CONCRETE BLOCKWORK:

- 81 Materials including mortar, concrete, grout shall comply with Section 10 of AS3700. Masonry units shall comply with AS4455. Wall Hes shall comply with AS2699.
- C10 Free dropping of concrete from a height greater than 1000mm Masonry shall be constructed in accordance with Section 11 of AS3700. is not permitted. C11 All exposed concrete corners to have a minimum 15mm chamfer U Mortar proportions shall comply with Tables 5.1 and 10.1 of A53700.
- B2 Strengths of bricks, class of blocks and type of mortar shall be as follows:- (CementiLime:Sand) C12 Concrete shall be separated from supporting masonry by two lay of greased galvanised sheets or two layers of malthold. Vertice aces of concrete shall be kept free of adjoining surfaces by a 12mm thickness of bituminous caneite (or approved equivalent) uni of slab depth and spaced at not less than 3 diameters. Pipes of conduits shall not be placed within the cover of the reinforceme

on the structural drawings shall be made in concrete members

only with the prior approval of the Structural Engineer.

C14 Where not shown on the structural drawings construction joints shall be located to the approval of the Structural Engineer.

C15 The finished concrete shall be a dense homogeneous mass,

completely filling the formwork, thoroughly embedding the reinforcement and free of stone pockets. All concrete

including slabs on ground and footings shall be compacted C16 Curing of all concrete is to be achieved by keeping surfaces

continuously wet for a period of 7 days. Approved sprayed-on curing compounds that comply with A53799 may be used

to avoid overstressing the structure due to construction loading

All backgropping shall be approved by the Structural Engineer

suspended levels until all propping is removed and the slab

has undertaken its dead load deflection.

C19 Slabs and beams shall be constructed to bear only on the beams walls or columns shown on the structural drawings. All other

building elements shall be kept 15mm minimum clear from

C20 The Structural Engineer shall be given at least 24 hours notice

Reinforcement notation shall be as follows in the following order

reference number for fabric in accordance with AS4671.

necessarily in true projection.

C23 Slab reinforcement shall extend at least 65mm onto masonry

cogged to achieve anchorage at simply supported ends,

C25 Splices in reinforcement shall be made only in positions shown

of a support.

C24 Site bending of deformed reinforcing bars shall be done

without heating using mechanical bending tools.

C28 Lap bars 50 bar diameters, unless otherwise noted.

support walls, and 50% of bottom reinforcement shall be

except where bars extend more than 500mm beyond the face

on the structural drawings or in positions otherwise approved

C26 Welding of reinforcement shall not be permitted unless shown on

standard lap length table if not stated otherwise on the

BAR SIZE TENSION COMPRESSION

C30 Fabric shall be lapped in accordance with the following

centres with 3 wraps of the wire.

STRUCTURAL STEEL:

Bolt Designation

AS3678 Grade 250

AS1163 Grade 350

snug tightened

direct-tension indicator method.

S6 Unless noted otherwise: o all gusset plates shall be 10mm.

AS671 at 150mm pitch.

following surface treatment:

1 50 HIN

C32 Where transverse bars are not shown, provide N12-400

C36 Floor slabs on ground shall be poured in alternative

S1 All workmanship and materials shall be in accordance with

AS4100 and AS1554 except where varied by the contract

as appropriate.

Three (3) copies or one transparency of workshop fabrication

at least 7 days prior to commencement of fabrication.

4.6/S commercial bolts of grade 4.6 to AS1111 snug

shall not cover layout and member dimensions.

drawings shall be submitted to the Structural Engineer for review

shall not commence until approval has been received. The check

8.8/S high strength structural bolts of grade 8.8 to AS1252

8.8/TB high strength structural bolts of grade 8.8 to AS1252 fully tensioned to AS4100 as a bearing joint

8.8/TF high strength structural bolts of grade 8.8 to AS1252 fully tensioned to AS4100 as a friction joint with

facing surfaces left uncoated S5 TB and TF bolts shall be installed in accordance with Section

15 of AS4100, using either the part-turn method of the

o all boits shall be M20 grade 8.8/5. No connection shall

o All welds shall be 6mm continuous fillet type SP using

E48XX electrodes. Butt welds shall be complete

penetration butt welds to AS1554.1.

have less than 2 bolts. All bolts and washers for exposed or external connections shall be galvanised.

ire rating or exposure conditions, and be centrally reinforced

with 5mm wire to AS4671 or 6mm structural grade bars to

S9 All steelwork shall be securely temporarily braced by the erector

S8 Provide seal plates to all hollow sections, with "breather"

as necessary to stabilise the structure during erection. S10 Structural steelwork not encased in concrete shall have the

holes if members are to be hot dip galvanised.

spliced where necessary with a 600mm lap unless otherwise

and props must be removed before commencement of laying of

C33 2N12 diagonal corner bars 1500mm long shall be fixed at all

the structural drawings or approved by the Structural Engineer. C27 Joggles to bars shall be 1 bar diameter over a length of 12

in writing by the Structural Engineer. Laps shall be in accordance

with AS3600 and not less than the development length for each

C22 Reinforcement is represented diagrammatically and not

where floor finishes will not be affected (refer Manufacturer's Specification). Polythene sheeting or wet

hessian may be used if protected from wind and traffic. C17 Construction support propping is to be left in place where needed

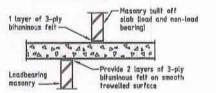
5 No brickwork or partition walls are to be constructed on

- Block 20 MPa 1:1: Loadbearing Brickwork Brick 20 MPa 1:1: B3 Mortar admixtures shall not be used without the written
- approval of the Structural Engineer.

  B4 All masonry supporting or supported by concrete floors shall
- be provided with vertical joints to match any control joints in the concrete floor. B5 No chases or recesses are permitted in load bearing masonry
- B6 For Joints in brickwork and blockwork, refer to architectura drawings. Provide vertical joints in brickwork and blockwork over joints in concrete work.
- 87 Do not construct masonry walls on suspended concrete slabs until slab has been stripped and de-propped. B8 Backfill to retaining walls to be 300mm vide strip of free draining granular material unless otherwise noted. Provide subsoll drain to
- falls or weepholes as noted. Refer also to Foundation Note F6.

  By Reinforced concrete blackwork shall camply with the above and the following, unless otherwise noted:
  o Blacks shall be strength Grade 15 conforming to AS4455. Mortar shall comprise 1 cement : 0.25 lime : 3 sand Provide cleanout holes at base of all walls and rod cor holes to remove protruding mortor fins. Core filling grout to be f'c = 20MPa, 10mm aggregate
- for reinforcement inspection and concrete shall not be delivered until final approval has been obtained for the reinforcement. 230mm stump +-30mm, in lifts of not more than 1200mm Provide 65mm cover to reinforcement from the outside of the blockwork to allow adequate grout cover. B10 Horizontal joints of concrete slabs (unless detailed (refer to note I1) C21 All reinforcement bar shall be Grade D500N to AS4671 unless noted otherwise. All mesh shall be Grade 500L to A54671 and

## o Load bearing masonry



 Non load bearing masonry: — 15mm thick closed cell polythene strip, or approval equal. Non-leadbearing

B11 Mortar joints shall be 10mm thick and have a maximum tooled depth of 3mm unless noted otherwise. B12 Wall this shall be provided at 600mm maximum centres harizontally and vertically and consist of 3.1mm diameter galvanised wire unless noted otherwise on the drawings or in the specification. B13 Reinforcing steel shall be securely fixed in position before grouting.

- C29 Grade 500 N-bars shall be lapped in accordance with the 814 Grout shall be thoroughly compacted. B15 All mortar obstructions in cares or cavities shall be removed prior to grouting. All mortar thus removed shall be cleaned from the bottom of the wall before the cleanout holes are closed for grouting. B16 Vertical control joints in block retaining walls to be spaced as shown on the structural drawings or at 8000mm maximum apart
- clear from soffit of beams and slabs over. If the wall serves as a fire separating wall, then the 15mm gap shall be filled with an approved fire rated flexible sealant.
  B16 Non-load bearing masonry walls shall be tied to soffits of beams and stabs over using 'Techpro-MFA4/1' fles (or approved equivalent), unless noted otherwise on drawings, at 700mm maximum centres and fixed to manufacturers specification.
  B19 For load bearing construction, where the external leaf of a cavity

wall continues past the slab edge, the cavity wall shall be restrained

by using galvanised 'Techpro-MFA2 anchors' for approved equivalent)

at 900mm centres. B20 All load bearing internal walls are to be stabilised by the slab over C31 Bundled bars shall be field tagether at 40 bar diameter using 38×38×3 aluminium angles x 150 long to both sides of the wall at 900mm maximum centres gun fixed to the slab. Angles are to be installed after the slab has cured. B21 Brickwork shall be separated from concrete at all vertical faces by 10mm thick caneite. B22 Provide vertical control joints at 10000mm maximum centres, and

5000mm maximum from corners in all masonry walls, unless shown otherwise on the structural drawings.

# All timber design, material and construction is to be to AS1720.1 and AS1720.2. AS1604 is relevant to domestic construction in sheltered

- totations.

  To Unless otherwise noted, softwood is to be minimum stress grade F7 and hardwood is to be minimum stress grade F7 and hardwood is to be minimum stress grade F14.

  Submit suppliers certificate as to stress grade of timber members. All timber shall be branded.

  To External timber is to be either hardwood durability class I or II to AS1720.2 or impregnated pine grade F7, pressure treated to AS1604 and re-dried prior to use. Supplementary treatment shall be applied to all cut surfaces. Supporting documentation for preservative treatment shall be applied to all cut surfaces. Supporting documentation for preservative treatment shall be supplied.
- for preservative freatment shall be supplied.

  Timber trusses are to be pre-cambered an amount equal to dead load deflection. Three (3) copies of shop drawings are to be submitted to the Structural Engineer for review, clearly showing the design loads for the roof and ceiling, the truss node point loads, pre-camber and truss reactions on supporting structure. Shop drawings shall also indicate member sizes and locations, timber species, stress grade, strength group and joint details.
- Joint details.

  76 All boits in timber construction are to be minimum M16
  unless otherwise noted. Boit holes shall be drilled exact size
  Washers under heads and nuts are to be at least 2.5 times
  boit diameter. bolt diameter.
  7 Timber dimensions on the finished width and thickness shall Seasoned Softwood +5, -0mm
  Unseasoned Softwood >F7 +2, -3mm
  <-F7 +2, -4mm
- Seasoned Hardwood +2, -0mm Unseasoned Hardwood +3, -3mm (See also clause 1.6.2 in AS2082). 78 All timber joints and notches are to be 100mm minimum away from loose knots, severely sloping grain, gum veins or other minor defects.

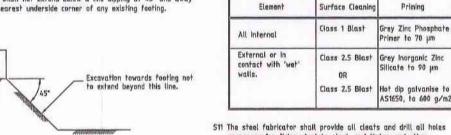
# FOUNDATIONS:

- F1 Footings have been designed for an allowable bearing intensity of 150 kPa on SAND. F2 Residential slabs and footings have been designed for a reactivity Class 'A' in accordance to A52870.
  F3 The foundation material shall be approved by the Geotechnical
- Engineer for this allowable bearing capacity before placing membrane, reinforcement or concrete. F4 Footings shall be located centrally under walls and columns unless noted otherwise on the structural drawings.
- S7 Concrete encased steelwork shall be unpainted. Concrete encasing shall be 25MPa, have cover 65mm or greater to suit F5 A rise of 1m a run of 1.5m shall not be exceeded for the line of slope between adjacent footings or excavations. F6 Footings shall be constructed and backfilled as soon as possible following excavation to avoid softening or drying out of foundation materials through exposure.
- F7 Retaining walls (other than cantilever walls) shall not be backfilled until the (floor) construction at the top and bottom is completed and has attained adequate strength. Cantilever walls shall not be backfilled until they have attained adequate

F9 Excavate for footings to the nominated size and depth. Footing

and approval by the Geotechnical Engineer.

strength. Ensure free draining backfill and drainage lines to falls (or weepholes) are in place. FB Excavation shall not extend below a line dipping at 45" and away from the nearest underside corner of any existing faoting.



necessary for fixing steel to steel, and timber and other elements to steel whether or not detailed in the structural drawings. Nailing plates shall be M10 bolted or gun-fixed at 500mm centres muximum. S12 Fabricators shall comply with AS4100, Section 14. Erectors shall comply with AS4100, Section 15. S13 The fabrication and erection of the structural steelwork shall be supervised by a qualified engineer experienced in such

# 514 Studs abutting columns shall be gun fixed at 300 max cts. and column faces abutting brickwork shall have approved frame lies gun fixed to them at 3 course centres for building into bed joints

- 515 High strength boilted joints shall be in accordance with AS1511 The specified bolt tension shall be obtained by the use of the "Part Turn" method of tightening. 516 Bolt holes in steel to steel, and steel to concrete connections shall be bolt diameter plus 2mm and plus 4mm respectively. For
- base plates allow bolt diameter plus 6mm. S17 After tightening, exposed faces of nuts, bolts and washers shall be prepared and coated as specified or as for the adjacent work. 518 All holding down bolts shall be either commercial bolts or be made
- from mild steel bars with a minimum fsy of 230 MPa.

  519 All welds shall be SP (Special Purpose) in accordance with AS1554.

  All electrodes shall be class E48. All butt welds shall be full
  strength complete penetration welds as defined in AS1554. 520 Substitutions for steel sections shown on drawings shall not be made without the approval of the engineer.
- encased in 75mm min, concrete all round. S22 All steelwork, except that which is to be concrete encased, fire sprayed or contact surfaces of friction type joints, shall be surface cleaned and painted in accordance with the specification. S23 Steelwork that is concrete encased, fire sprayed or facing surface of friction type joints shall be left unpainted and free from scale.
- 524 Columns and multions shall have their base plates fully grouted in accordance with the specifications after plumbing and levalling on
- 526 All members shall be supplied in single lengths. Splices shall only be permitted in locations shown on the structural drawings. 527 All galvanising of structural steelwork shall be to AS4680. The continuous average zinc coating mass shall be 600g/m²

	Revisions	
_		

# GENERAL NOTES:

G1 These structural drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepance shall be referred to the Engineer and be resolved before

- G2 All materials and workmanship shall be in accordance with the requirements of the relevant current SAA codes noted below
- and with the Building Code of Australia. All work shall be carried out in compliance with the requirements of Work Cover and the O H & S Act. G4 All dimensions shown on these structural drawings shall be verified
- by the Builder on site. These structural drawings shall not be G5 During construction the structure shall be maintained in a
- stable condition and no part shall be overloaded. Temporary bracing shall be provided by the Contractor in order to keep e building works and excavations stable at all times.

- G6 Unless noted atherwise, all levels are in metres and all dimensions are in millimetres.
- G7 All discrepancies shall be referred to the architect for decision before proceeding with the work. GO The structural drawings do not show all details of fixtures.
- number of bars in group bar grade nominal bar size in mm. epacing in mm e.g. 17N20 - 200
  The figures following the fabric symbols RL, SL, L ..... TM is the Inserts, sleeves, openings, etc. required by the various trades. All such details, including openings for construction purposes, must be approved by the engineer before proceeding with construction. G9 U.N.O. - denotes 'Unless Noted Otherwise'
  - G10 Construction using these structural drawings shall not commence until a Construction Certificate is issued by the Principal Certifying G11 The method of construction and the maintenance of safety during
  - construction is the responsibility of the Contractor. If any structural presents difficulty in respect of constructability or safety, the matter shall be referred to the Structural Engineer for resolution before
  - L1 The structural components detailed on these drawings have been designed in accordance with the relevant SAA codes and the Building Code of Australia following loadings. Refer to architectural drawings for preposed figor usage.

L2	Live and superimposed dead AS1170.1, as follows:		dance with
	Area	Live Load (kPa)	Superimposed Dead Load (kPa)
	Generally	1.5	
	Foyers, Stairs, Balconies	3.0	Refer
	Commercial	5.0	to Relevant
	Compactus Area	10.0	Architectural

# L3 Wind loads are in accordance with AS1170.2 as follows:, The Simplified Procedure (Section 2) was used.......

3.0

3.0

Drawings

C1 All workmanship and materials shall be in accordance with the current edition of A53600 including amendments, except where varied by the contract documents.
Readymix concrete supply shall comply with AS1379. C3 Concrete Quality
All requirements of the current ACSE concrete Specification

Trafficable Roofs

Trafficable Roofs

- re-entrant corners of openings in slabs and walls.
  C34 Closed fitments U.N.O. shall have corner splices thus: Document 1 shall apply to the formwork, reinforcement and f'c MPa Fire Other (28 days) Rating Requireme
  - nternal Floor Slabs (uno), Stairs 25 External Floor Slabs,L2,L3,L6, 32 Roof and Plant room Slabs 32 Unless noted otherwise:
  - Slump during placing shall be a Beams, slabs, footings ..... 40mm to 60mm; a Columns, walls ...... 50mm to 80mm; Cement type shall be (ACSE Specification) Type SL Project control testing shall be carried out in accordance with S1379, Clause 87.

Maximum aggregate size shall be 20mm;

writing by the Structural Engineer.
C5 Clear concrete cover to all reinforcement for durability shall be as follows unless shown otherwise.

C4 No admixtures shall be used in concrete unless approved in

- Exposure Concrete Cast Cast in Cast in Forms and to AS3600 Ground Exposed Exposed A1 & A2 25 50mm 30mm 20mm (A1) B1 32 60mm 40mm
- Except that clear cover to reinforcement for beams and columns shall be a minimum of 40mm. Exposure classifications for this project are:
- Internal Work External or exposed work B1 All reinforcement shall be firmly supported on mild steel
- plastic tipped chairs, plastic chairs or concrete chairs at not greater than 1m centres both ways. Bars shall be fied at alternate intersections. In exposure conditions greater than B1 use only plastic chairs or concrete chairs. Minimum cover to all reinforcement unless noted otherwise on the drawings shall be in accordance with AS3600 current addition
- with amendments. C6 Concrete sizes shown do not include thicknesses of applied C7 Depths of beams are given first and include slab thickness.

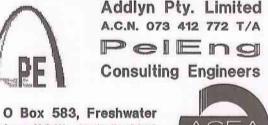
# Project PROPOSED ALTERATIONS AND ADDITIONS AT

13 ALAMEDA WAY WARRIEWOOD

MR & MRS NERO

FOOTING PLAN AND LOWER GROUND

FLOOR SLAB PLAN AND DETAILS

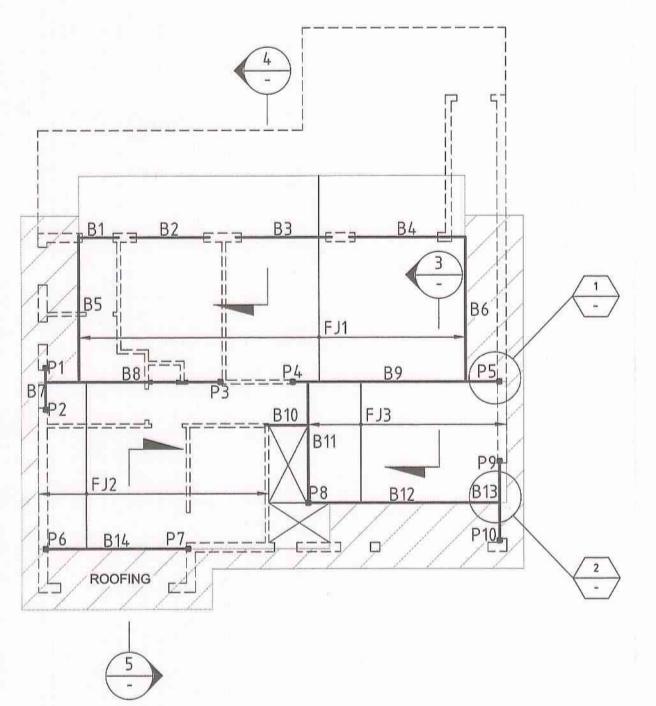


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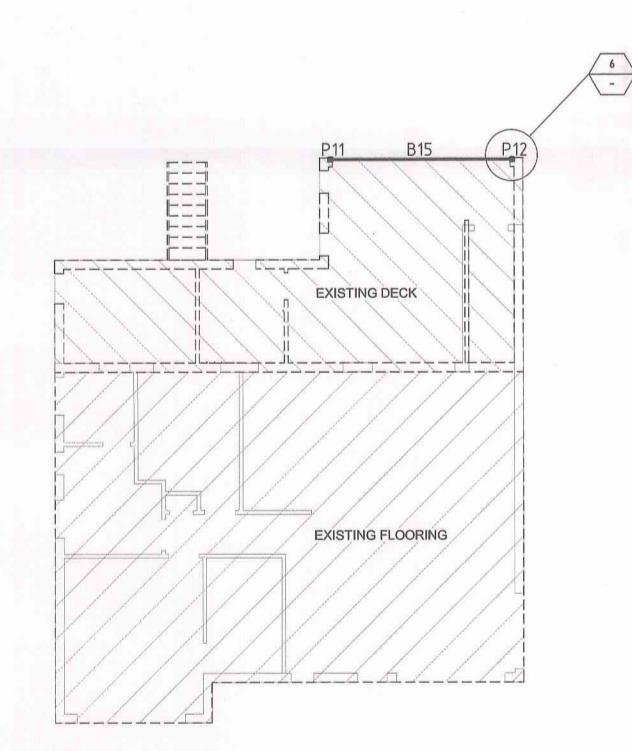
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Approved 6	Thorplett-			ny Pellicano Hons) MIEAust
Nor	A.J.P.	Drawn A.J.P	Date 04/0	08/09
	Checked A.J.P.		1:100 U.N.O	
W	Job No 09PE883		Drawing No S0101	lesue A

525 All beams and rafters shall be fabricated and erected with natural

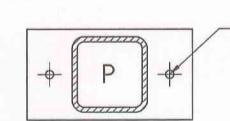
1N12 'U' BAR LAID OVER BTM. REINFORCEMENT IN-



FIRST FLOOR MARKING PLAN
SCALE 1:100



# GROUND FLOOR MARKING PLAN SCALE 1:100



\_\_ 2M16 CHEMSET ANCHORS INTO CONCRETE FOOTING OR 2M16 MASONRY ANCHORS INTO BRICKWORK 10 BASE PLATE ON 20 NON SHRINK GROUT UNDER BASE PLATE

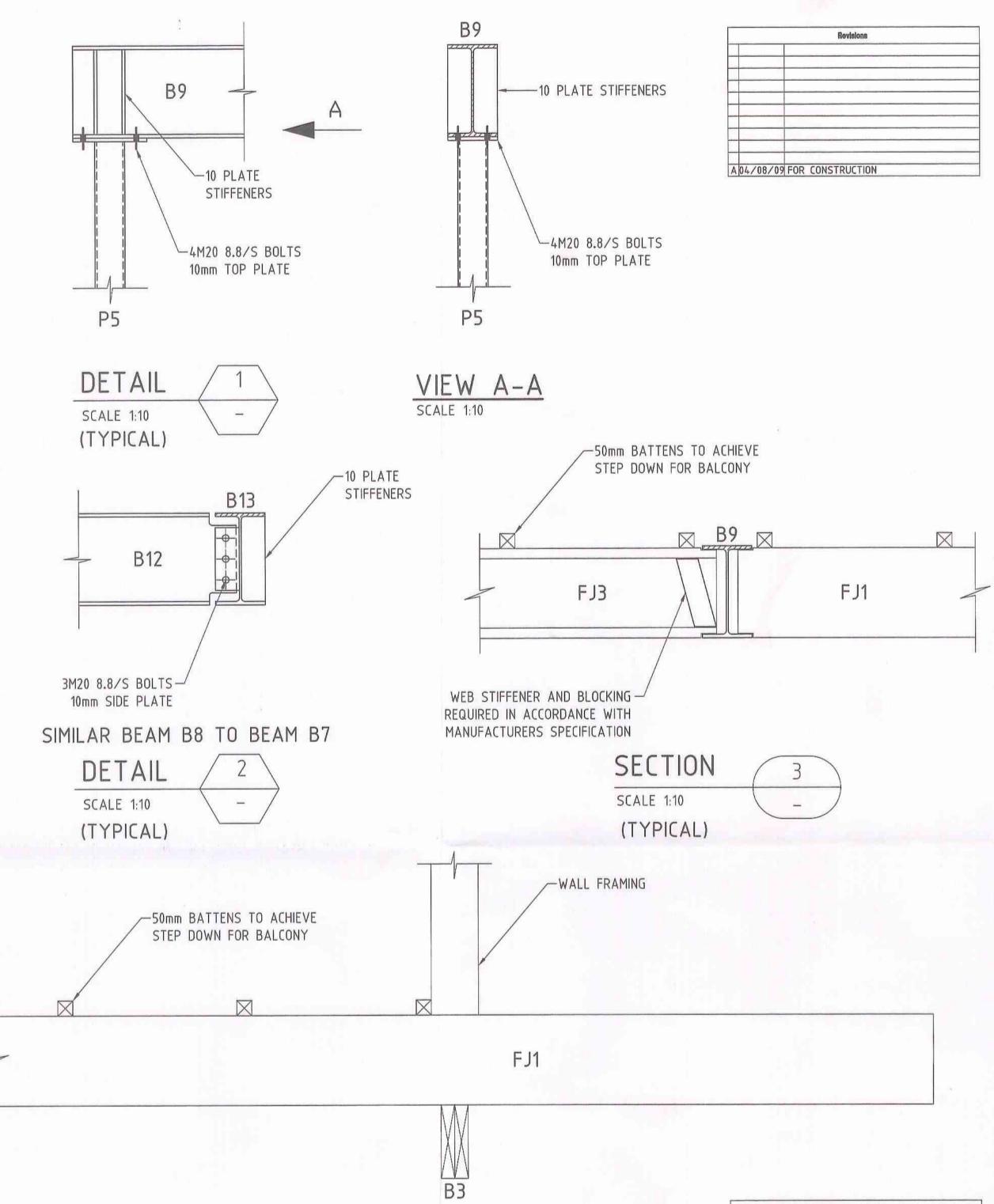
POST BASE PLATE DETAIL
SCALE 1:5

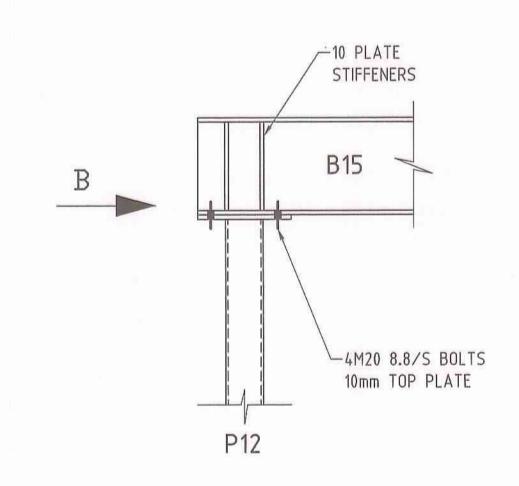
	FIRST FLC	OR MEMBER	SCHEDULE	
MARK	MEMBER	MATERIAL	SIZE	GRADE
FJ1	FLOOR JOIST	TIMBER	300x63 AT 450 CENTRES	HYNE LVL
FJ2	FLOOR JOIST	TIMBER	HI 30090 AT 450 CENTRES	HYNE-I-BEAN
FJ3	FLOOR JOIST	TIMBER	HI 30090 AT 450 CENTRES	HYNE-I-BEAN
B1	BEAM	TIMBER	245x45	HYNE LVL
B2	BEAM	TIMBER	245x45	HYNE LVL
В3	BEAM	TIMBER	2/245x45	HYNE LVL
B4	BEAM	TIMBER	2/300x63	HYNE LVL
B5	BEAM	TIMBER	2/300x63	HYNE LVL
B6	BEAM	TIMBER	2/300x63	HYNE LVL
В7	BEAM	STEEL	310UB46.2	BHP-300PLUS
B8	BEAM	STEEL	310UB46.2	BHP-300PLUS
В9	BEAM	STEEL	310UB46.2	BHP-300PLUS
B10	BEAM	TIMBER	300x63	HYNE LVL
B11	BEAM	TIMBER	2/300×63	HYNE LVL
B12	BEAM	STEEL	310UB46.2	BHP-300PLUS
B13	BEAM	STEEL	310UB46.2	BHP-300PLUS
B14	BEAM	STEEL	310UB46.2	BHP-300PLUS
P1	POST	STEEL	90x90x5 SHS	C450
P2	POST	STEEL	90x90x5 SHS	C450
P3	POST	STEEL	90x90x5 SHS	C450
P4	POST	STEEL	90x90x5 SHS	C450
P5	POST	STEEL	90x90x5 SHS	C450
P6	POST	STEEL	90x90x5 SHS	C450
P7	POST	STEEL	90x90x5 SHS	C450
P8	POST	STEEL	90x90x5 SHS	C450
P9	POST	STEEL	90x90x5 SHS	C450
P10	POST	STEEL	90x90x5 SHS	C450

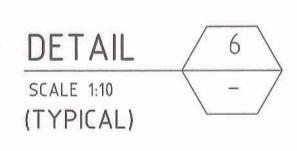
# NOTES:

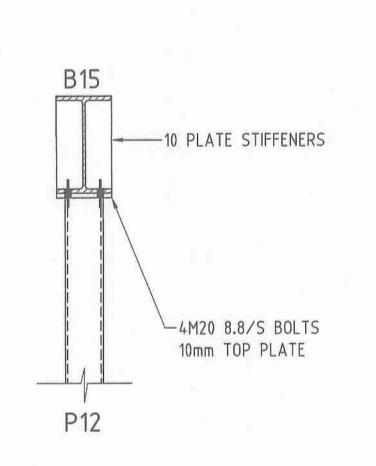
- 1. ALL TIMBER FRAMEWORK TO BE IN ACCORDANCE WITH AS1684 TIMBER FRAMING CODE.
- 3. FLOOR JOISTS DESIGNED NOT TO SUPPORT ANY ROOF LOADS.
- 4. DESIGN BASED ON TRUSSED ROOF AND NO INTERNAL WALLS SUPPORTING ROOF LOAD
- 5. ALL EXPOSED TIMBER TO BE H3 RATED.

	GROUND	FLOOR	MEMBER	SCHEDULE	
B15	BEAM		STEEL	250UB37.3	BHP-300PLUS
P11	POST		STEEL	90x90x5 SHS	C450
P12	POST		STEEL	90x90x5 SHS	C450

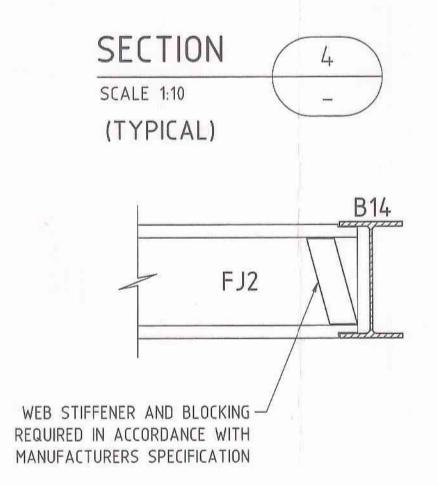


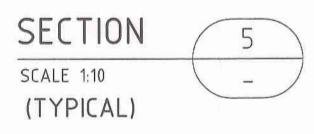








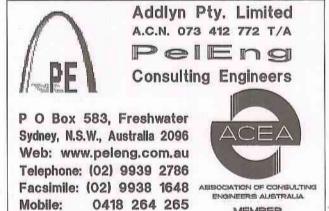




Project PROPOSED ALTERATIONS AND
ADDITIONS AT
13 ALAMEDA WAY
WARRIEWOOD

Client
MR & MRS NERO

Sheet Title
FIRST FLOOR & GROUND FLOOR
MARKING PLANS AND DETAILS



Approved

Approved

Approved

Anthony Pellicano B.E (Hone) MIEAust

North Gesigned Drawn
A.J.P. A.J.P. 04/08/09

Checked A.J.P. 1:100 U.N.O.

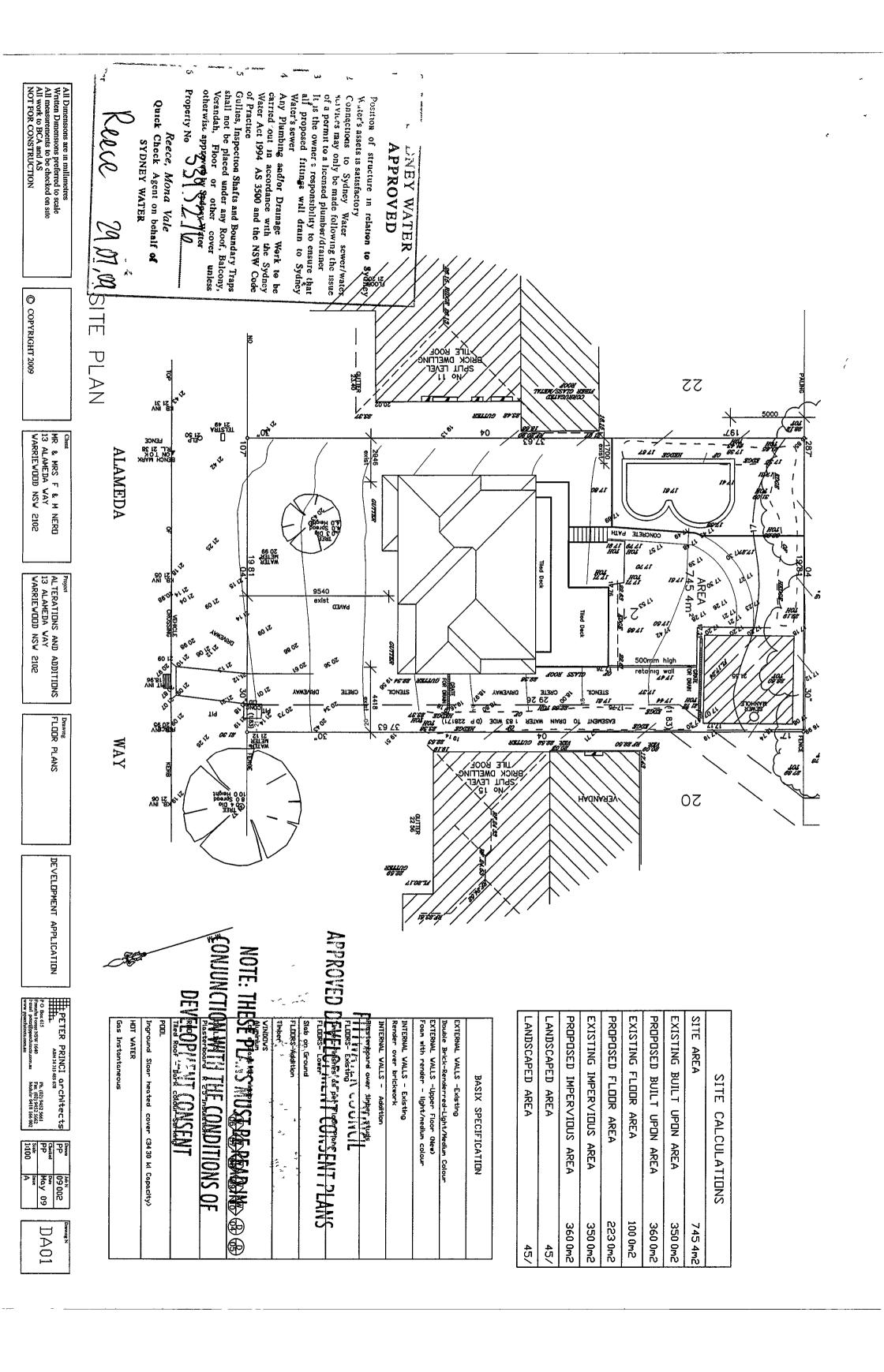
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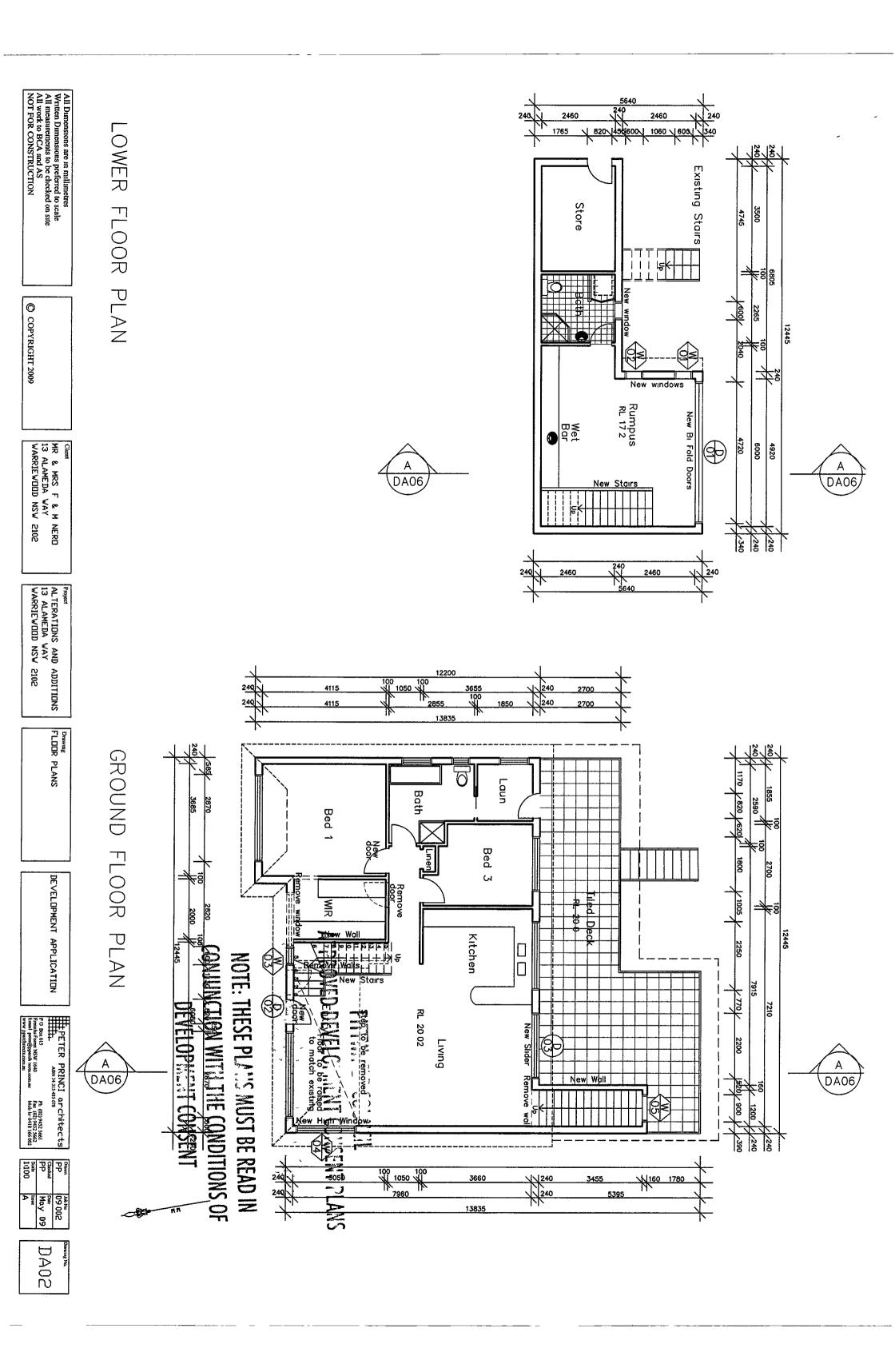
Description Members

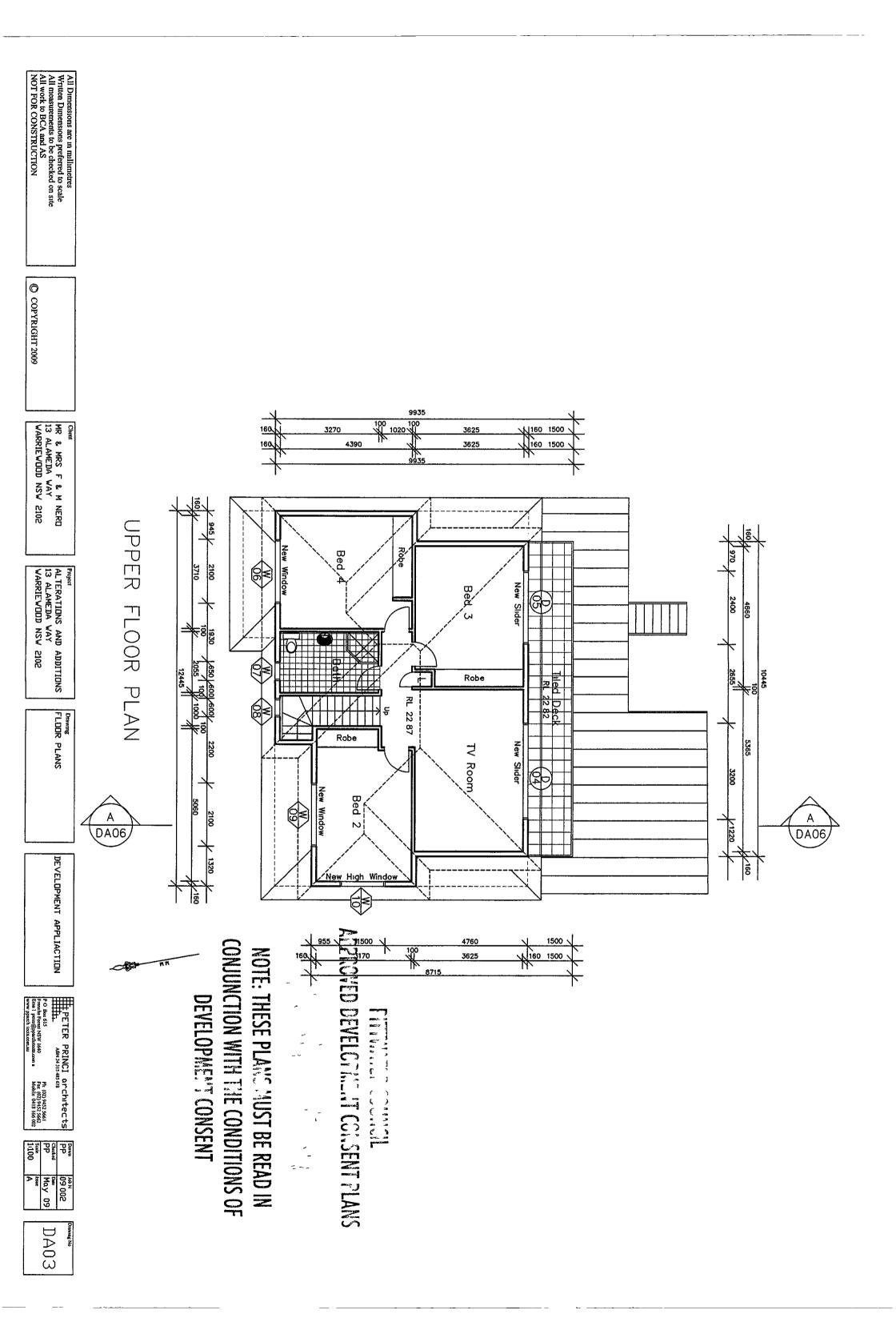
Anthony Pellicano B.E (Hone) MIEAust

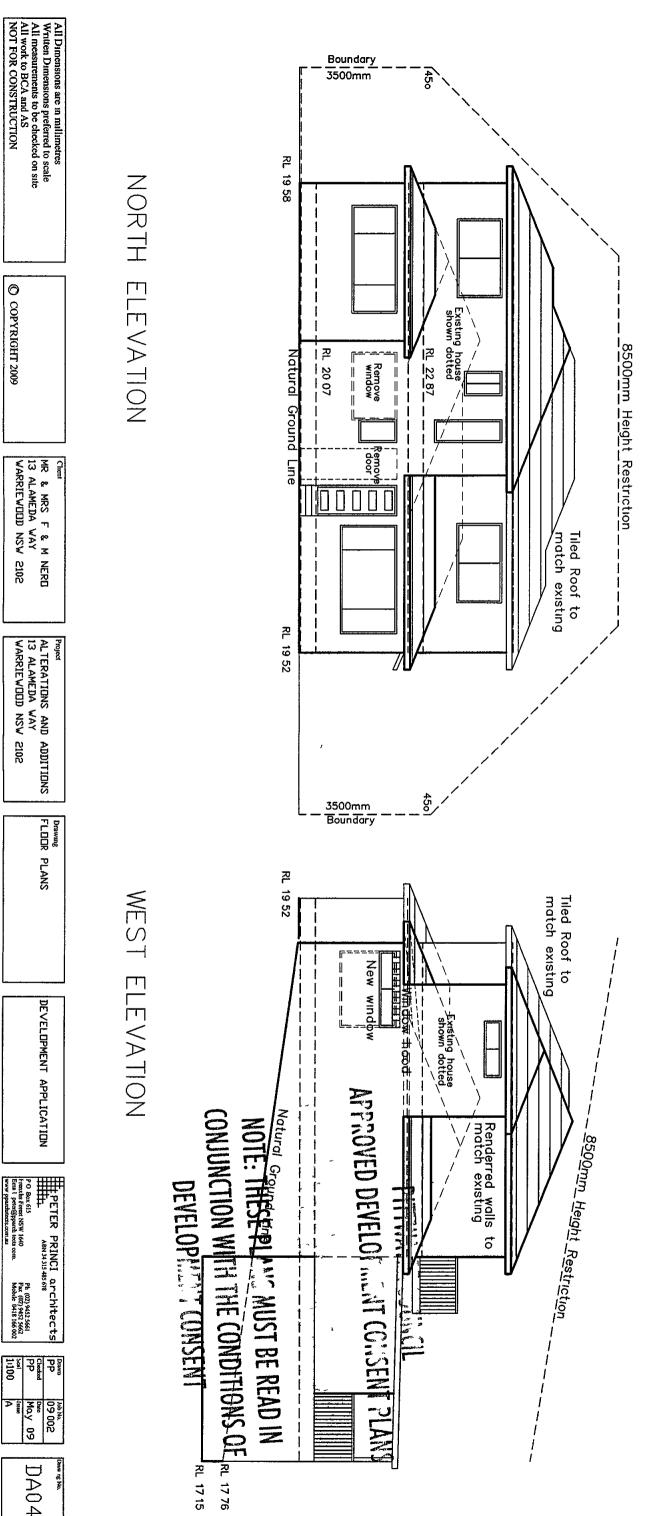
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Drawing No Soule Soule





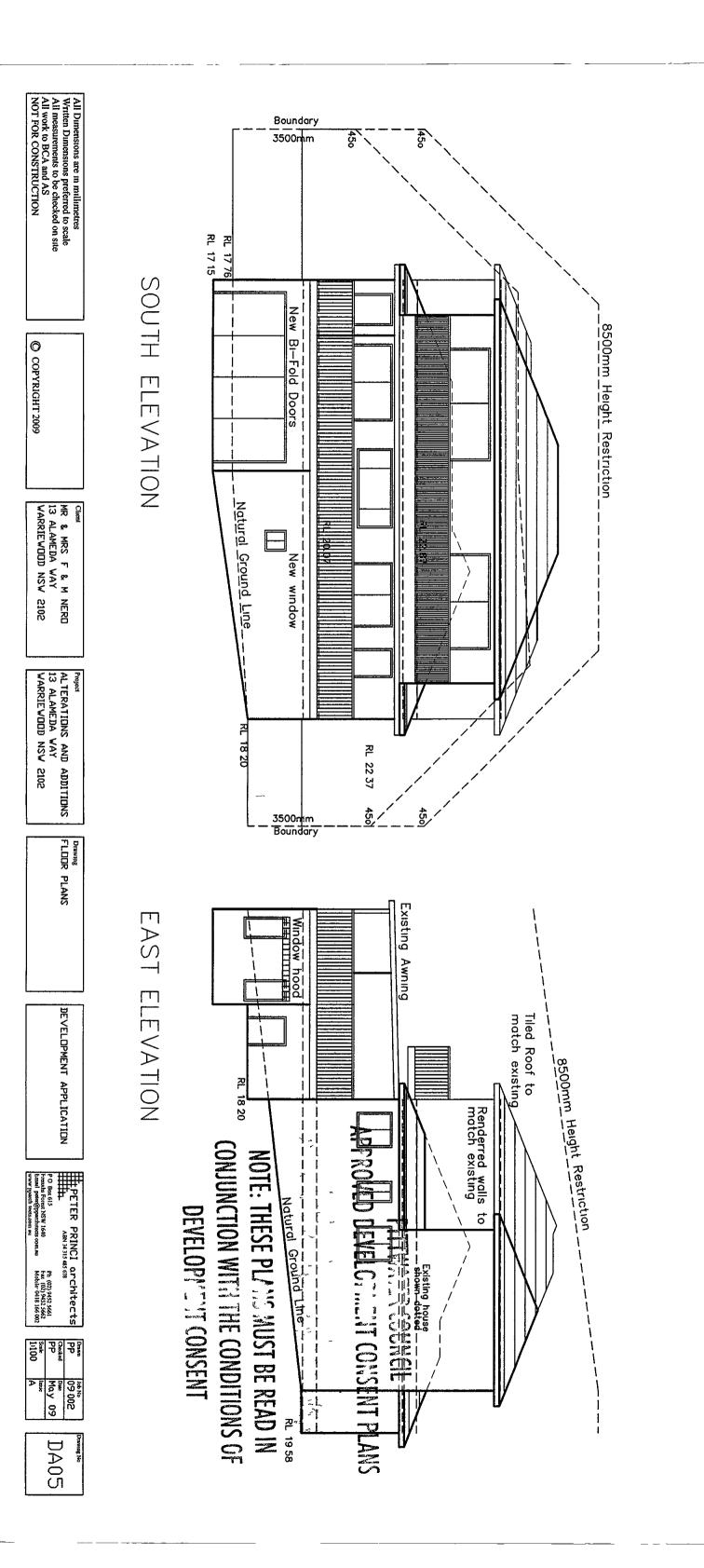


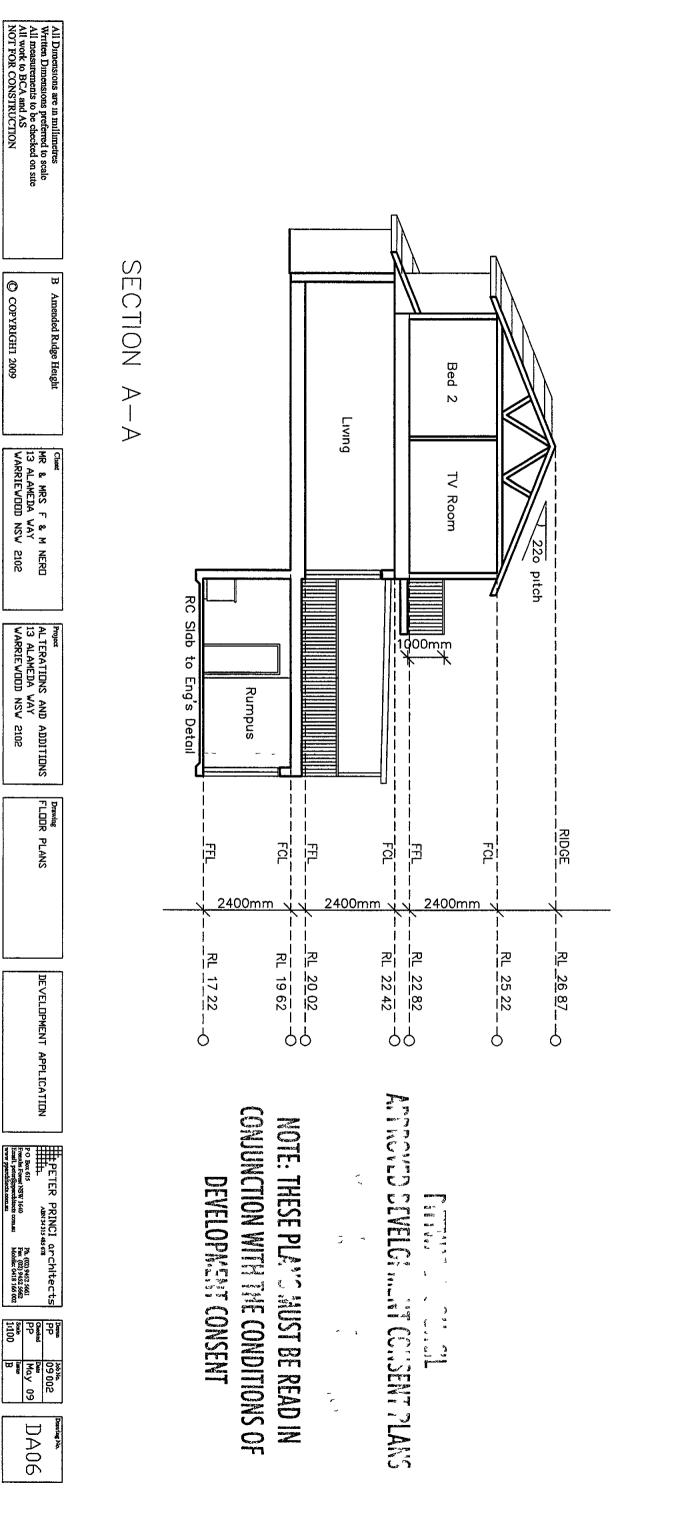


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