

Attn: Dialina
Da Costa



CONSTRUCTION CERTIFICATE APPLICATION

Environmental Planning and Assessment Act 1979, Section 109C
EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882 Mona Vale NSW 1660
Tel (012) 9970 1111
Fax (012) 9970 7180
Internet: www.pittwater.nsw.gov.au
Email: pittwater_council@pittwater.nsw.gov.au

Please tick one:
☒ New Construction Certificate
☐ Modification of previously issued Construction Certificate
CC _____

SITE DETAILS

Unit/Suite:	Street No	Street
	13	Alameda Way
Suburb:	Lot No	Deposit /Strata Plan
WarrIEWOOD	21	228171

DEVELOPMENT CONSENT

Development Application No	Determination Date
N0210/09	15.7 09

APPLICANT DETAILS

Name/Company	Contact Person
Marie Nero	
Postal Address	Contact Numbers
13 Alameda Way WarrIEWOOD	Phone (H/B) 99993675 Mobile 0410566777 Fax 99401676
Signature of Applicant	Date
	5.8 09

OWNERS DETAILS

Name	If Company, contact person
Marie Nero	
Postal Address	Contact Numbers
As above	Phone (H/B) Mobile As above Fax
As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.	

Signature of Owners, _____ Date 5.8 09
S.Y.O.

If more than one owner every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land the current owner is to sign the application.

SCANNED
6 AUG 2009
PITTWATER.C



PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

Environmental Planning and Assessment Act 1979, Section 109C

EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882 Mona Vale NSW 1660

Tel (612) 9970 1111

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Internet: www.pittwater.nsw.gov.au

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Please tick one

- ☒ New Construction Certificate
☐ Modification of previously issued Construction Certificate

CC 0246109

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Signature of Owners

Date

M. Nero

5.8 09

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VALUE OF PROPOSED DEVELOPMENT

Value of Works \$ 150,000 (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

☐ Yes

☒ No

Only required if the development involves building works exceeding \$25,000 00

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	\$1,265
Modification of Construction Certificate Fee	TCER	
Long Service Levy Fee	QLSL	\$525
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		\$1 790
Date of Receipt 06/08/09	Receipt No 263275	Accepted By [Signature]
New Application Number issued (not required for modification of CC)		CC 0246 09

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to assess your proposal.
Intended recipients	Council Staff/Consultants and any other relevant government agency that may be required to assess the proposal
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted not processed or rejected for lack of information
Storage	Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public
Retention period	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

DEVELOPMENT DETAILS

Type of Work	☒ Building Work
OR	
	☐ Subdivision Work
Description of proposal – (Provide brief, concise details)	
Alterations & additions to the existing dwelling house & new swimming pool	

WHO WILL BE DOING THE BUILDING WORKS?

☒ Owner Builder	
Owner Builders Permit No	366944P
Copy of Owner Builders permit attached	☒ Yes ☐ No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia Tel. 61 2 98950111 Fax 61 2 9895 0222.</i>	

OR

☐ Licensed Builder	
Builder's License Number	
Name of Builder	Phone
Contact person	Mobile
Address	Fax
Insurance Company	Insurance Certificate attached ☐ Yes ☐ No – to be provided with Notification of Commencement form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.</i>	



See reverse of form for instructions

LEVY PAYMENT FORM

FORM NO

OFFICE USE ONLY

PART A - DETAILS OF PERSON/COMPANY/ORGANISATION LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person)
or Company/Organisation name **NERO**

Given names (if person) **MARIE SUSAN**

POSTAL ADDRESS
No and street or PO Box **13 ALAMEDA WAY
LAKELANDWOOD**

Town/suburb **NSW**

State **NSW** Postcode **2102** Bus hours phone **0410566777**

PART B - ADDRESS OF BUILDING/CONSTRUCTION WORK

Number and street **AS ABOVE**

Town/suburb **NSW**

State **NSW** Postcode **2102**

Estimated start date **D 18 M 08 Y 2009** Estimated finish date **D 24 M 12 Y 2009**

PART C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **Pittwater**

¹ DA/CC/CDC No **1500000000**

Estimated value
of work (see note on back) \$ **150 000.00** Levy payable \$ **525.00**

¹ If you have provided a CC above, please provide DA number here **0000000000**

Name of Officer/Private Certifier **Business hours phone**

PART D - DETAILS - To be completed by Dept/Authority where applicable - see reverse

Department/Authority **Contract/DA No (circle which)**

Contract amount \$ **525.00**

Levy payable \$ **525.00**

Contact person (Print) **Phone number**

Contact person (Signature) **Date D M Y**

PART E - DECLARATION - To be signed by person liable to pay levy or authorised officer if company/organisation

Any false or misleading information provided on this form may result in prosecution under Section 58A
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name **MARIE NERO** Signature **M. Nero** Date **D 06 M 08 Y 2009**

PART F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No

**R 263275
6/8/09**

Fair Trading

for consumers
& traders

Marie Nero
13 ALAMEDA WAY
WARRIEWOOD NSW 2102

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit 366944P
Receipt 1-317305055

Issued 20/7/2009
Amount \$148 00*

BUILDING SITE

Lot 21 13 Alameda Way, Warriewood, NSW 2102 AUSTRALIA

AUTHORISED BUILDING WORK

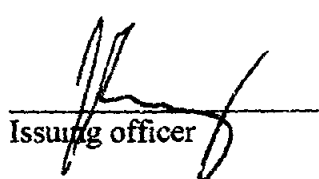
Additions to dwelling & a new inground pool

Authority No DA-N0210/09
Council Area PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque the permit is conditional on the cheque being
met on presentation. *GST amount included in total fee \$0.00


Issuing officer

***** END OF PERMIT *****

NSW Office of Fair Trading ABN 54 625 095 406
1 Fitzwilliam St PO Box 972 Parramatta NSW 2150 Australia
Tel 13 32 20 TTY 02 9338 4943
www.fairtrading.nsw.gov.au



ABSOLUTE Owner Builder Online P/L

This certificate certifies that

Marie Nero

has successfully completed the ABSOLUTE course

"Becoming an Owner-Builder"

On

14th July 2009

Issued by

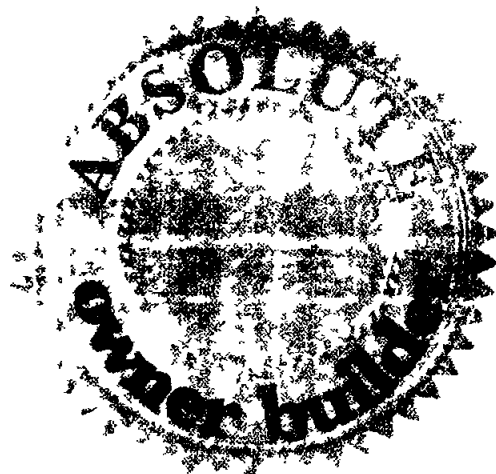
Peter Berginc

On Behalf of

ABSOLUTE Owner Builder Online P/L



Certificate
Number **9868**





Document Ref No 09882

4 August 2009

STATEMENT OF STRUCTURAL ADEQUACY

PROJECT Proposed Alterations and Additions
CLIENT Mr & Mrs Nero
LOCATION 13 Alameda Way, Warriewood
ELEMENTS Existing Structure

As a professional engineer qualified and experienced in timber steel and reinforced concrete design I confirm that the existing structure will be structurally adequate to support the additional or altered structural loads from the proposed alterations and additions

The loadings used are in accordance with AS/NZS 1170 0 AS/NZS 1170 1 AS/NZS 1170 2 and AS 1170 4 as appropriate

Structural design check has been performed in accordance with AS 2870 Serviceability and other design criteria used have been selected in accordance with these references

References

- 1 AS/NZS 1170 0 2002 Structural design actions Part 0 General Principles
- 2 AS/NZS 1170 1 2002 Structural design actions Part 1 Permanent imposed and other actions
- 3 AS/NZS 1170 2 2002 Structural design actions Part 2 Wind actions
- 4 AS 1170 4-1993 Minimum design loads on structures Part 4 Earthquake loads
- 5 AS 2870-1996 Residential Slabs and Footings

Regards

PelEng

Anthony Pellicano
BE (Hons) MIEAust

NOTE This statement is provided for the benefit only of the client named on this certification and is not to be relied upon by others for any purpose without the prior written consent of the certifier. It does not relieve any other parties of their responsibilities liabilities or contractual obligations

ADDLYN PTY LIMITED ACN 073 412 772 T/A

PelEng

PO Box 583, FRESHWATER NSW 2096

Tel (02) 9939 2786

Mobile 0418 264 265

Fax (02) 9938 1648

Web www.peleng.com.au

E-mail engineers@peleng.com.au



PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO 2 – PART A – To be submitted with detailed design for Construction Certificate

Development Application for PETER PRINCI ARCHITECT
Name of Applicant

Address of site 13 ALAMEDA WAY, WARRIEWOOD

PART A Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, ANTHONY PELICANO on behalf of PELENG
(insert name) (trading or company name)

on this the 04 AUGUST 2009
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

Geotechnical Report Details

Report Title Risk Analysis + Management for Proposed Additions, Alterations and New Footings
Report Date At 13 Alameda Way, Warriewood
Author 28 May 2009
Author's Company/Organisation Ben White
Jock Hodgson Consultants Pty Ltd

Structural Documents list

S0101 Issue A - Footing Plan and Lower Ground Floor Slab Plans and Details
S0201 Issue A - First Floor + Ground Floor Marking Plans and Details

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified

Signature [Signature]
Name Anthony Pellicano
Chartered Professional Status MIE Aust
Membership No 183708
Company PeLeng



Application Lodgement Summary

Sydney
WATER

Reference Number 2628466

Date Requested Wed July 29 2009

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale
Applicant F Nero Ms Nero, 13 Alameda Way Warriewood 2102
Property/Asset 13 Alameda Way, Warriewood 2102 (F Nero Ms Nero) PNum 3395276
150 mm VC Sewer Main (2794528)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$25 95	\$0 00	\$25 95

Property Special Conditions

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A58449

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability if it is built in accordance with the commitments set out below. Terms used in this certificate or in the commitments have the meaning given by the document entitled BASIX Alterations and Additions Definitions dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director General
Date of issue: Tuesday 19 May 2009



Project address	
Project name	13 Alameda Way Warriewood (Rev 1)
Street address	13 Alameda Way Warriewood 2102
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 228171
Lot number	21
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50 000 or more a includes a pool (and/or spa)

Section C - No 4 - Construction Certificate

All plans & details of the BASIX commitments will be applied to the construction works of 13 Alameda Way Warriewood.

All BASIX specifications will be fulfilled

Planned - Marie Nero

Pool and Spa

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Outdoor swimming pool

The swimming pool must be outdoors

The swimming pool must not have a capacity greater than 34 5 kilolitres

The swimming pool must have a pool cover

The applicant must install a pool pump timer for the swimming pool

The applicant must install the following heating system for the swimming pool that is part of this development solar only

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent compact fluorescent or light emitting diode (LED) lamps				
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating				
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating				
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating				

Construction

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
floor above existing dwelling or building	nil	
external wall external insulated facade system (EIFS) (facade panel 70 mm)	nil	
flat ceiling pitched roof	ceiling R2.50 (up), roof foil/sarking	dark (solar absorptance > 0.70)

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames or pyrolytic low e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)
W2	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)
W3	N	0.6	0	0	none	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W4	W	1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7, SHGC 0.47)
W5	S	1.62	0	0	none	standard aluminium single clear (or U value 7.63 SHGC 0.75)
W6	N	2.52	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low-e (U value 5.7 SHGC 0.47)
W7	N	0.7	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)
W8	N	1.62	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7, SHGC 0.47)
W9	N	2.52	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)
W10	W	0.75	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)
D1	S	10.29	0	0	none	standard aluminium single clear (or U value 7.63 SHGC 0.75)
D2	N	5.04	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single pyrolytic low e (U value 5.7 SHGC 0.47)
D3	S	0.6	0	0	none	standard aluminium single clear (or U value 7.63 SHGC 0.75)
D4	S	6.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single clear (or U value 7.63 SHGC 0.75)
D5	S	5.67	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium single clear (or U value 7.63 SHGC 0.75)

Legend

In these commitments applicant means the person carrying out the development

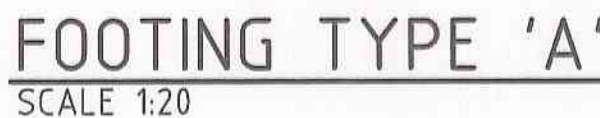
Commitments identified with a in the Show on DA plans column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a in the Show on CC/CDC plans & specs column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a in the Certifier check column must be certified by a certifying authority as having been fulfilled before a final occupation certificate for the development may be issued



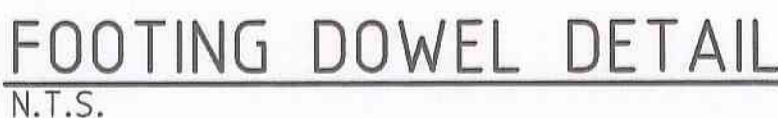
1. ALL FOOTINGS TO BE FOUND ON SAND OF 150 kPa BEARING CAPACITY.
2. USE 450 LAP TO STRIP FOOTING REINFORCEMENT WHERE REQUIRED.
3. CONCRETE STRENGTH $f'c = 20$ MPa, 50 COVER.
4. DESIGN BASED ON THE USE OF ARTICULATED MASONRY VENEER CONSTRUCTION.



FOOTING TYPE 'P'



NOTE: BRICKS FOR RETAINING WALLS TO BE BEDDED WITH 1:1.3 MOTOR MIX
BACKFILL IS NOT TO OCCUR UNTIL 10 DAYS AFTER COMPLETION

[illegible][illegible]

04/08/09 FOR CONSTRUCTION
GENERAL NOTES

[illegible]

Area	Live Load (kPa)	Superimposed Dead Load (kPa)
Generally	1.5	
Foyers, Stairs, Balconies	3.0	Refer
Commercial	5.0	
Comptech Area	10.0	Refer to Architect
Plant Rooms	7.5	Architectural
Carpark	3.0	and Landscaping
Trafficable Roofs	3.0	
Non-Trafficable Roofs	6.25	

L3 Wind loads are in accordance with AS1170.2 as follows:
The Simplified Procedure (Section 2) was used..... ☒ Yes

CONCRETE:

- ☐ All workmanship and materials shall be in accordance with the current edition of ACI 308 including amendments, except where varied by the contract documents.
- ☐ Ready-mix concrete supply shall comply with ACI 319.
- ☐ **Concrete Quality**
All requirements of the current ACSE concrete Specifications Document 1 shall apply to the formwork, reinforcement and concrete unless noted otherwise.

Element	f'c MPa (28 days)	Fire Rating	Other Requirements
Footings	25		
Basement Slabs	25		
Internal Floor Slabs (incl.Stairs)	25		
External Floor Slabs,1,2,3,16, Roof and Plant room Slabs	32		
Columns,Walls	32		

Minors noted otherwise:

- Maximum aggregate size shall be 20mm;
- Spump during placing shall be:
 - Beams, slabs, footings 45mm to 60mm;
 - Columns, walls 20mm to 30mm;
- Cement type shall be ISCE Specification Type SL

Project control testing shall be carried out in accordance with AS3737, Clause 37.

No admixture shall be used in concrete unless approved in writing by the Structural Engineer.

Clear concrete cover to all reinforcement for durability shall be as follows unless shown otherwise.

Exposure Classification to AS3446	Concrete Grade	Cast Against Ground	Cast in Forms and Exposed	Cast in Forms not Exposed
A1 & A2	25	50mm	30mm	20mm (A1)
B1	32	50mm	40mm	

Except that clear cover to reinforcement for beams and columns shall be a minimum of 40mm.
Exposure classifications for this project are:

Internal Mark	A1
External or exposed work	B1

All reinforcement shall be firmly supported on mild steel plastic tipped chairs, plastic chairs or concrete chairs at not greater than 1m centres both ways. Bars shall be tied at

alternate intersections. In exposure conditions greater than B1 use only plastic chairs or concrete chairs. Minimum cover to all reinforcement unless noted otherwise on the drawings shall be in accordance with AS3080 current edition with amendments.

Concrete sizes shown do not include thicknesses of applied finishes.

Depths of beams are given first and include slab thickness.

Project PROPOSED ALTERATION
ADDITIONS AT

Project PROPOSED ALTERATIONS AND
ADDITIONS AT
13 ALAMEDA WAY
WARRIEWOOD

Client MR & MRS NERO

Sheet Title
FOOTING PLAN AND LOWER GROUND
FLOOR SLAB PLAN AND DETAILS



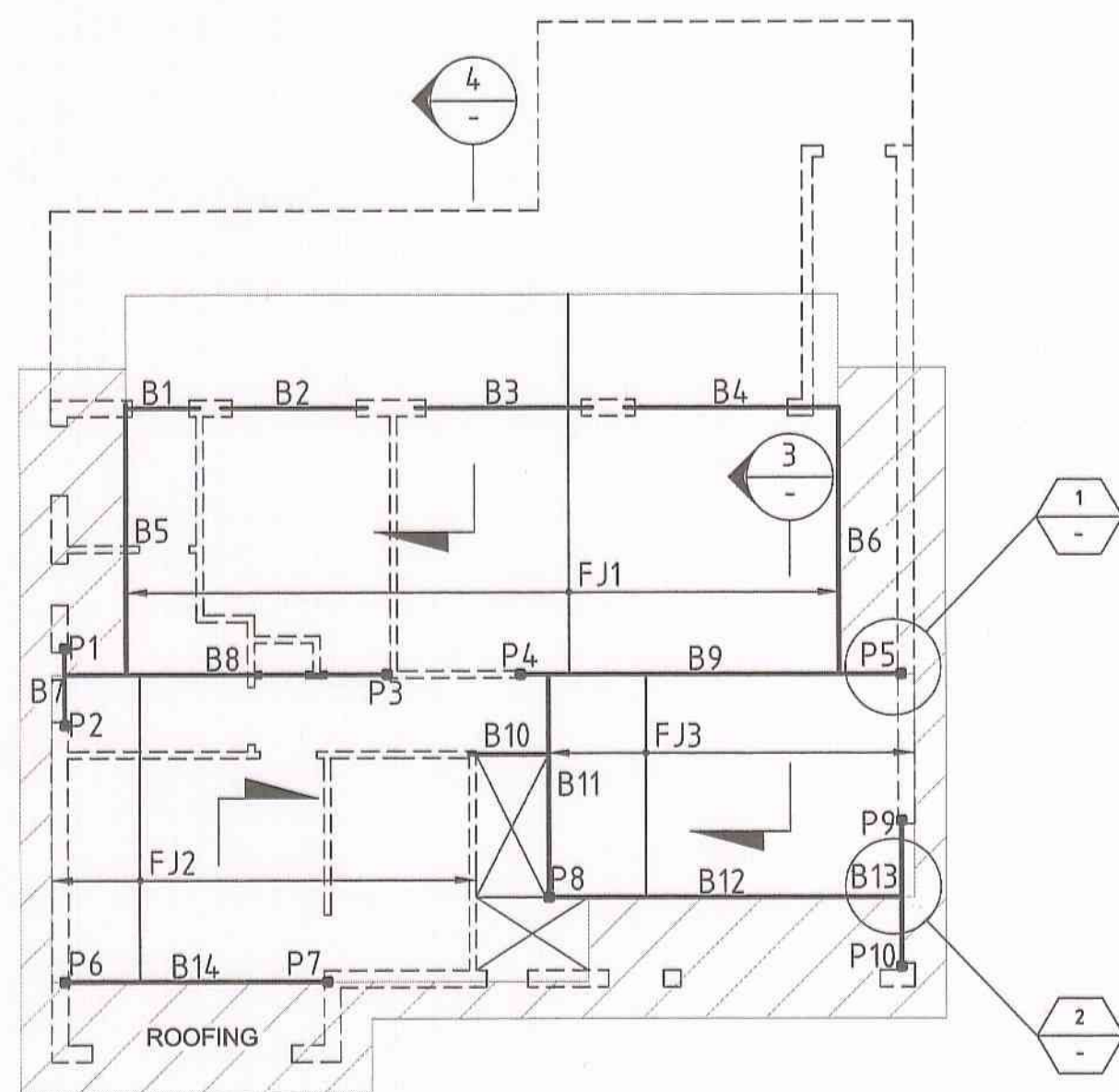
Addlyn Pty. Limited
A.C.N. 073 412 772 T/A
PE Eng
Consulting Engineers

P O Box 583, Freshwater
Sydney, N.S.W., Australia 2096
Web: www.peleng.com.au
Telephone: (02) 9939 2786
Facsimile: (02) 9938 1648
Mobile: 0418 264 265
E-mail: engineers@peleng.com.au

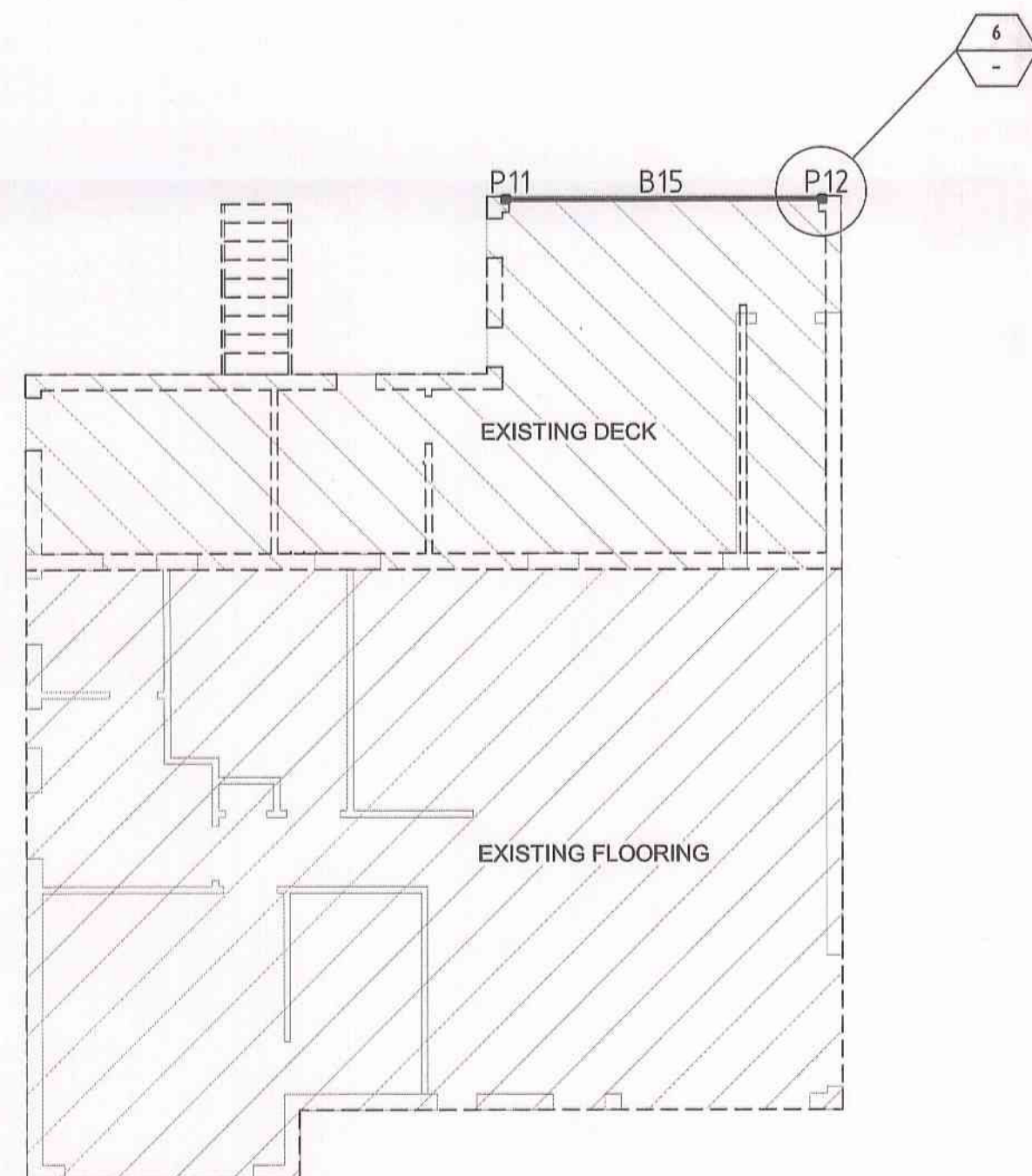
Approved: Anthony Pellicano
B.E. (Hons) MEd

	Designed	Drawn	Date
	A.J.P.	A.J.P.	04/08/09
Checked	Scale		
A.J.P.	1:100 U.N.O.		
Job No	Drawing No	Issue	
09PE883	S0101	A	

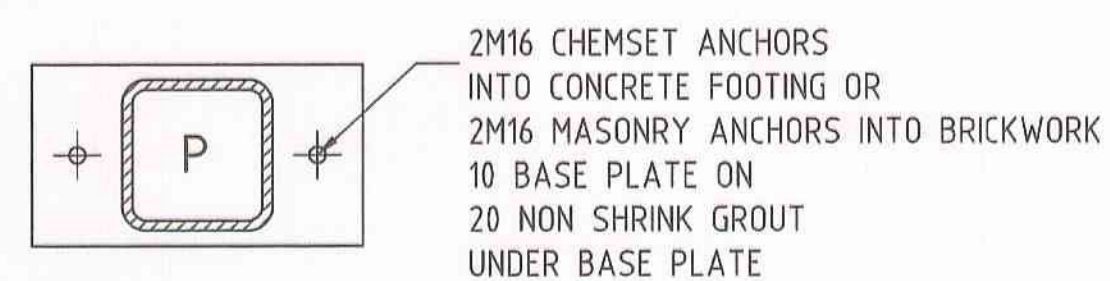




FIRST FLOOR MARKING PLAN
SCALE 1:100



GROUND FLOOR MARKING PLAN
SCALE 1:100



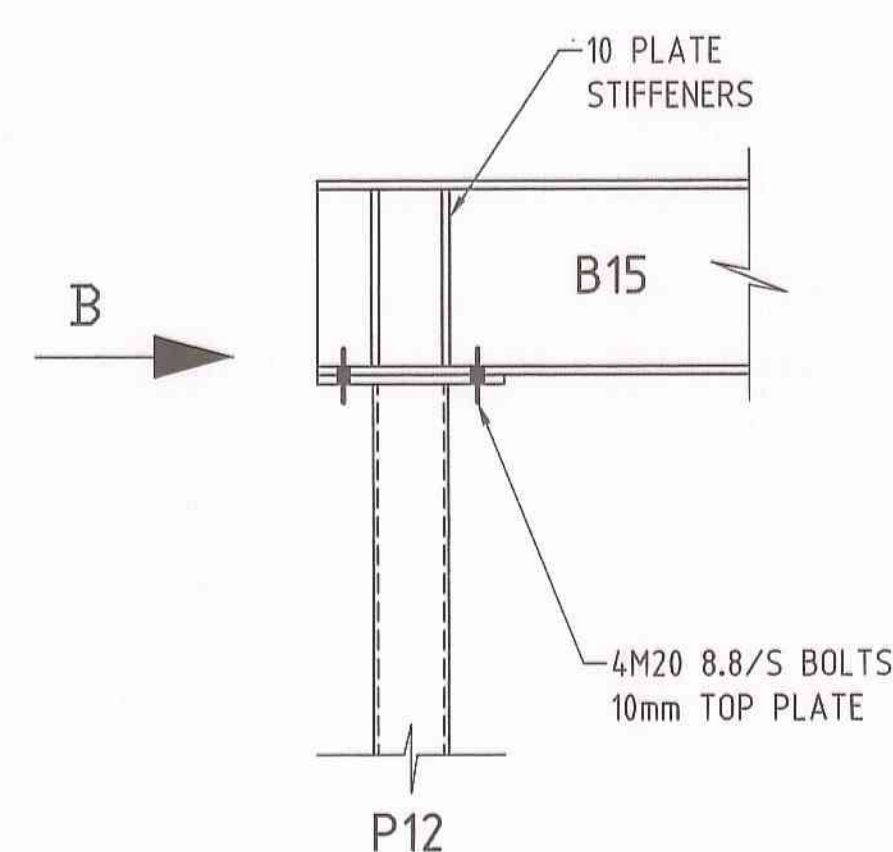
POST BASE PLATE DETAIL
SCALE 1:5

FIRST FLOOR MEMBER SCHEDULE				
MARK	MEMBER	MATERIAL	SIZE	GRADE
FJ1	FLOOR JOIST	TIMBER	300x63 AT 450 CENTRES	HYNE LVL
FJ2	FLOOR JOIST	TIMBER	HI 30090 AT 450 CENTRES	HYNE-I-BEAM
FJ3	FLOOR JOIST	TIMBER	HI 30090 AT 450 CENTRES	HYNE-I-BEAM
B1	BEAM	TIMBER	245x45	HYNE LVL
B2	BEAM	TIMBER	245x45	HYNE LVL
B3	BEAM	TIMBER	2/245x45	HYNE LVL
B4	BEAM	TIMBER	2/300x63	HYNE LVL
B5	BEAM	TIMBER	2/300x63	HYNE LVL
B6	BEAM	TIMBER	2/300x63	HYNE LVL
B7	BEAM	STEEL	310UB46.2	BHP-300PLUS
B8	BEAM	STEEL	310UB46.2	BHP-300PLUS
B9	BEAM	STEEL	310UB46.2	BHP-300PLUS
B10	BEAM	TIMBER	300x63	HYNE LVL
B11	BEAM	TIMBER	2/300x63	HYNE LVL
B12	BEAM	STEEL	310UB46.2	BHP-300PLUS
B13	BEAM	STEEL	310UB46.2	BHP-300PLUS
B14	BEAM	STEEL	310UB46.2	BHP-300PLUS
P1	POST	STEEL	90x90x5 SHS	C450
P2	POST	STEEL	90x90x5 SHS	C450
P3	POST	STEEL	90x90x5 SHS	C450
P4	POST	STEEL	90x90x5 SHS	C450
P5	POST	STEEL	90x90x5 SHS	C450
P6	POST	STEEL	90x90x5 SHS	C450
P7	POST	STEEL	90x90x5 SHS	C450
P8	POST	STEEL	90x90x5 SHS	C450
P9	POST	STEEL	90x90x5 SHS	C450
P10	POST	STEEL	90x90x5 SHS	C450

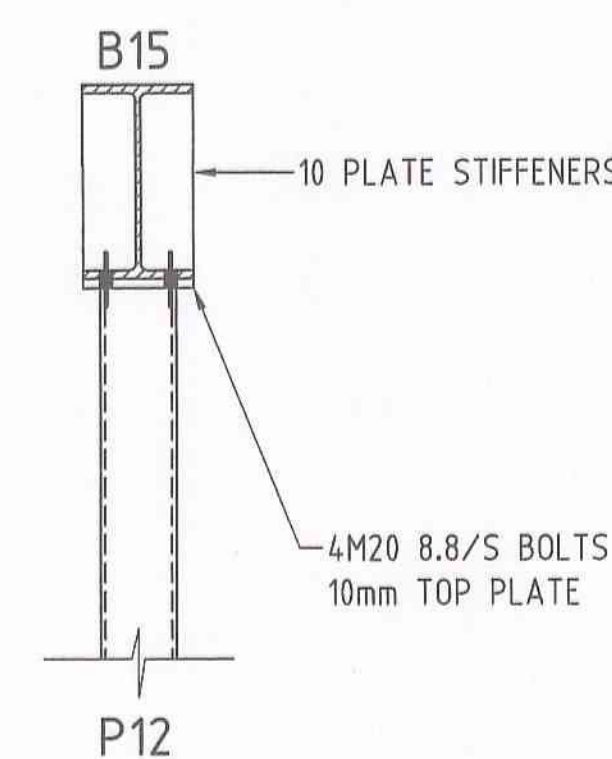
NOTES :

1. ALL TIMBER FRAMEWORK TO BE IN ACCORDANCE WITH AS1684 TIMBER FRAMING CODE.
2. HYNE-I-BEAM & HYNE LVL INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
3. FLOOR JOISTS DESIGNED NOT TO SUPPORT ANY ROOF LOADS.
4. DESIGN BASED ON TRUSSED ROOF AND NO INTERNAL WALLS SUPPORTING ROOF LOAD.
5. ALL EXPOSED TIMBER TO BE H3 RATED.

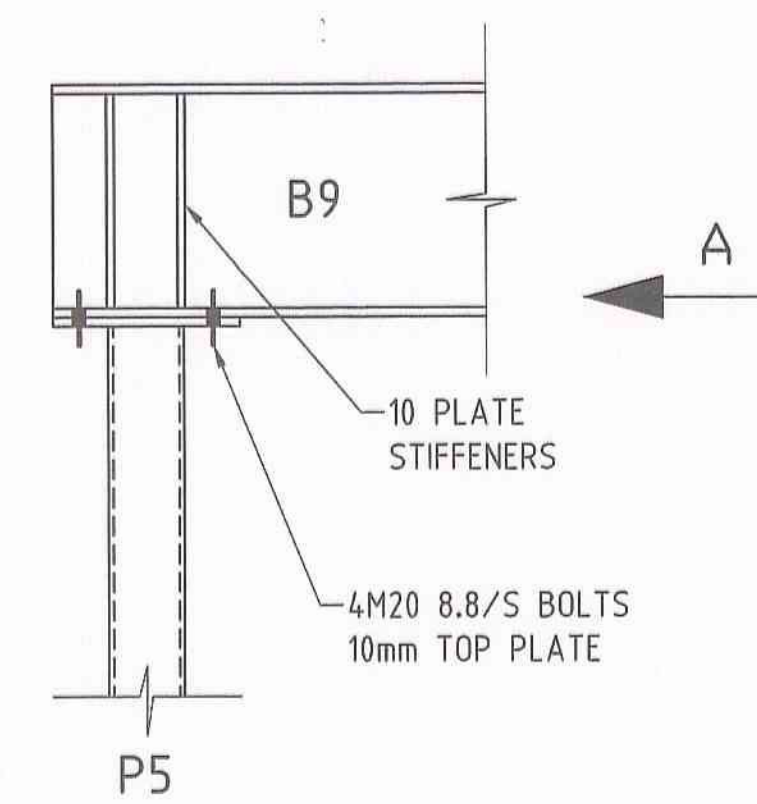
GROUND FLOOR MEMBER SCHEDULE				
B15	BEAM	STEEL	250UB37.3	BHP-300PLUS
P11	POST	STEEL	90x90x5 SHS	C450
P12	POST	STEEL	90x90x5 SHS	C450



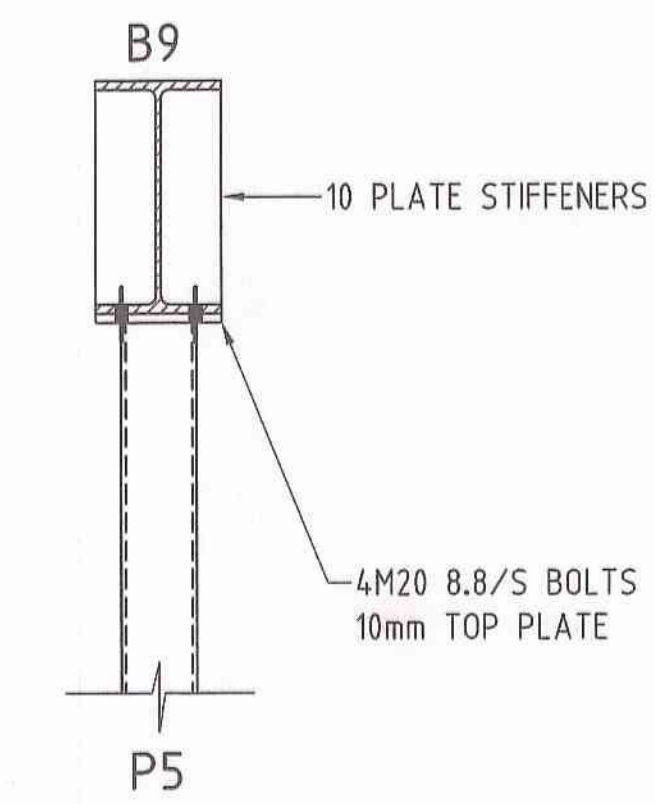
DETAIL 1
SCALE 1:10
(TYPICAL)



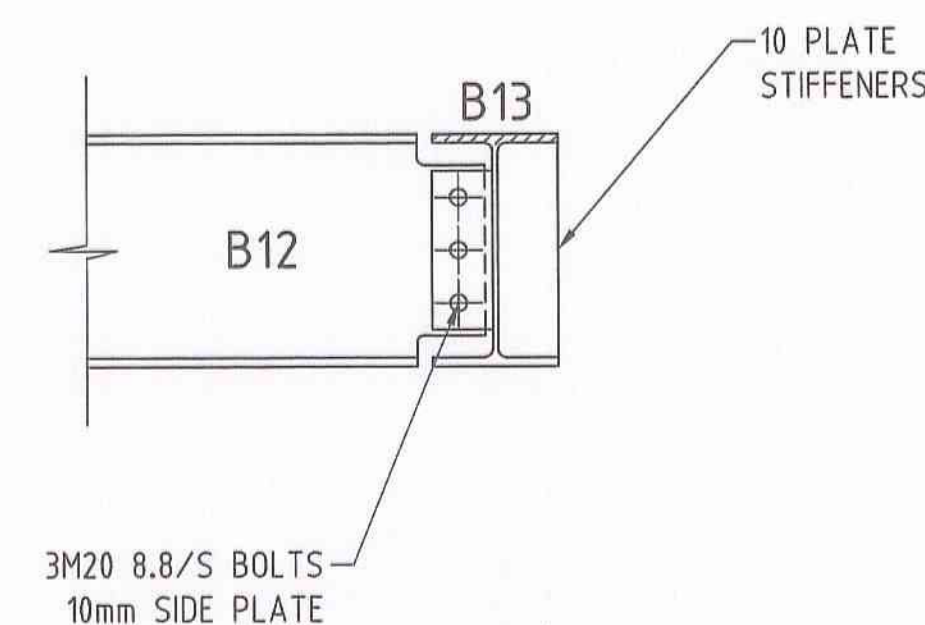
VIEW B-B
SCALE 1:10



DETAIL 2
SCALE 1:10
(TYPICAL)

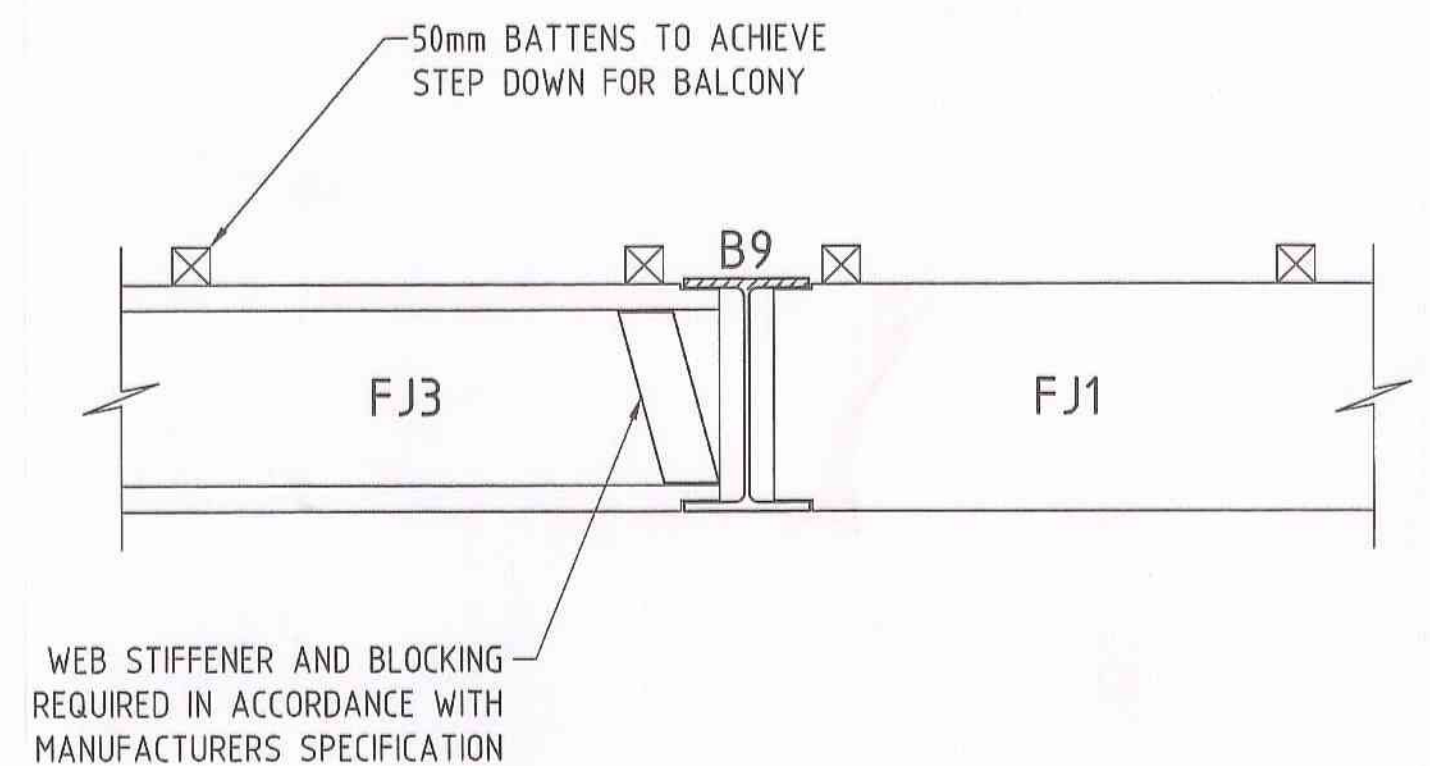


VIEW A-A
SCALE 1:10

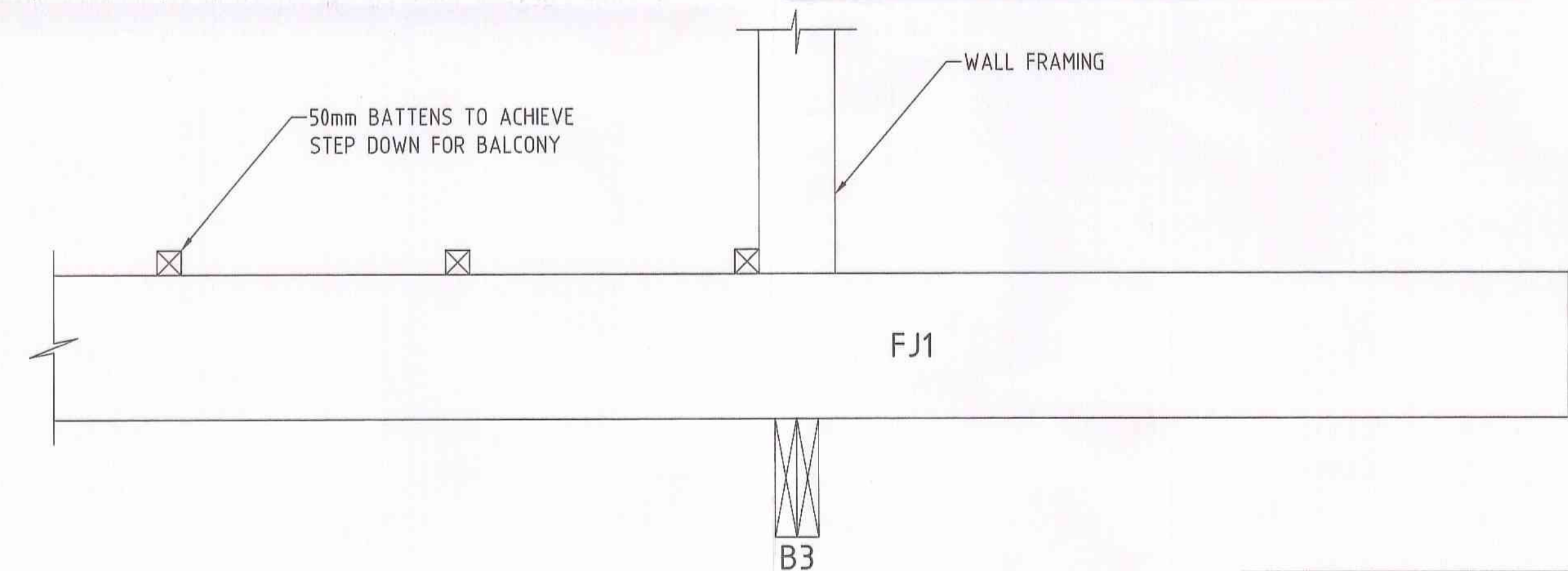


DETAIL 3
SIMILAR BEAM B8 TO BEAM B7

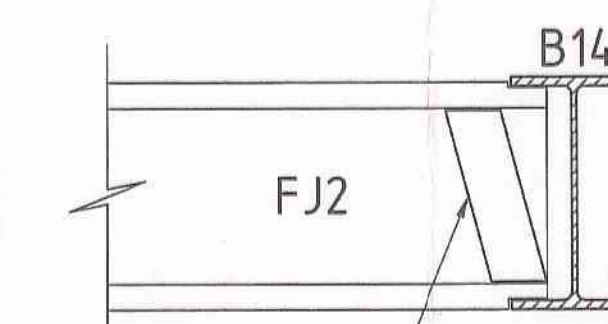
DETAIL 4
SCALE 1:10
(TYPICAL)



SECTION 3
SCALE 1:10
(TYPICAL)



SECTION 4
SCALE 1:10
(TYPICAL)



SECTION 5
SCALE 1:10
(TYPICAL)

Revision	
1	04/08/09 FOR CONSTRUCTION

Project PROPOSED ALTERATIONS AND ADDITIONS AT 13 ALAMEDA WAY WARRIEWOOD
Client MR & MRS NERO
Sheet Title FIRST FLOOR & GROUND FLOOR MARKING PLANS AND DETAILS

Addlyn Pty. Limited
A.C.N. 073 412 772 T/A
PelEng
Consulting Engineers
P O Box 593, Freshwater
Sydney, N.S.W., Australia 2096
Web: www.peleng.com.au
Telephone: (02) 9939 2786
Facsimile: (02) 9938 1648
Mobile: 0418 264 265
E-mail: engineers@peleng.com.au

Approved: *[Signature]* Anthony Pelicciolo
B.E. (Hons) M.Eng.
Checked: A.J.P.
Drawn: A.J.P.
Scale: 1:100 U.N.O.
Drawing No: 50201
Issue: A

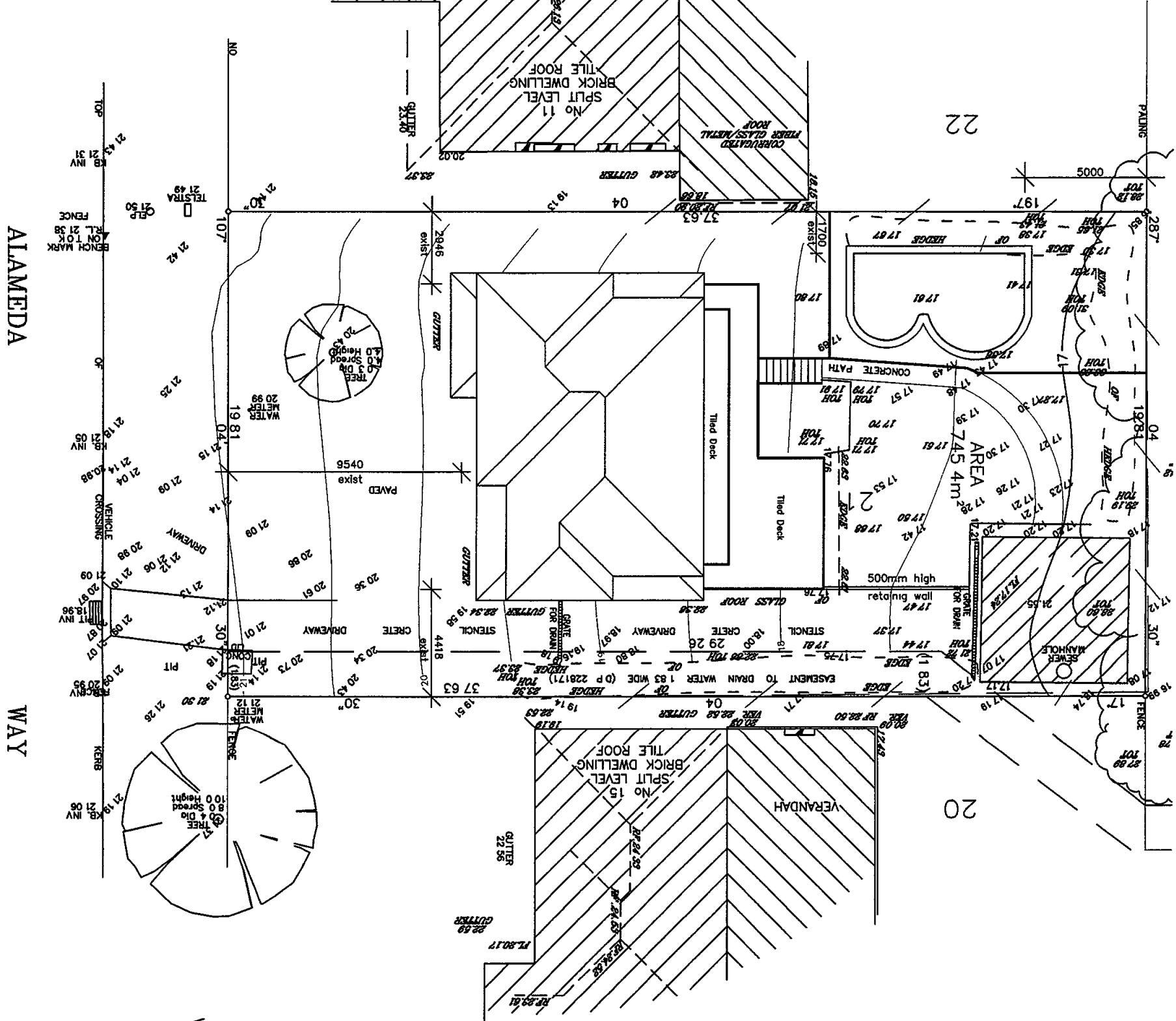
SITE CALCULATIONS	
SITE AREA	745 4m2
EXISTING BUILT UPON AREA	350 0m2
PROPOSED BUILT UPON AREA	360 0m2
EXISTING FLODR AREA	100 0m2
PROPOSED FLODR AREA	223 0m2
EXISTING IMPERVIOUS AREA	350 0m2
PROPOSED IMPERVIOUS AREA	360 0m2
LANDSCAPED AREA	45/
LANDSCAPED AREA	45/

BASIX SPECIFICATION	
EXTERNAL WALLS -Existing	
Double Brick-Rendered-Light/Medium Colour	
EXTERNAL WALLS -Upper Floor (New)	
Foam with render - light/medium colour	
INTERNAL WALLS - Existing	
Render over brickwork	
INTERNAL WALLS - Addition	
Plasterboard over timber studs	
FLOORS- Existing	
Timber - Existing	
FLOORS- Lower	
Slab on Ground	
FLOORS- Addition	
Timber	
ALUMINIUM	
Plasterboard & 25mm insulation	
Tiled Roof - Dark colour	
POOL	
Inground Slab- heated cover (34 30 M Capacity)	
HOT WATER	
Gas instantaneous	

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

APPROVED DEVELOPMENT CONSENT PLANS

City of Parramatta Council



SYDNEY WATER
APPROVED

- Position of structure in relation to Sydney Water's assets is satisfactory
- Connections to Sydney Water sewer/water utilities may only be made following the issue of a permit to a licensed plumber/drainier
- It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer
- Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994 AS 3500 and the NSW Code of Practice
- Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Reece 29.07.09
SITE PLAN

All Dimensions are in millimetres
Written Dimensions preferred to scale
All measurements to be checked on site
All work to BCA and AS
NOT FOR CONSTRUCTION

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Client
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13 ALAMEDA WAY
WARRIEWOOD NSW 2102

Project
ALTERATIONS AND ADDITIONS
13 ALAMEDA WAY
WARRIEWOOD NSW 2102

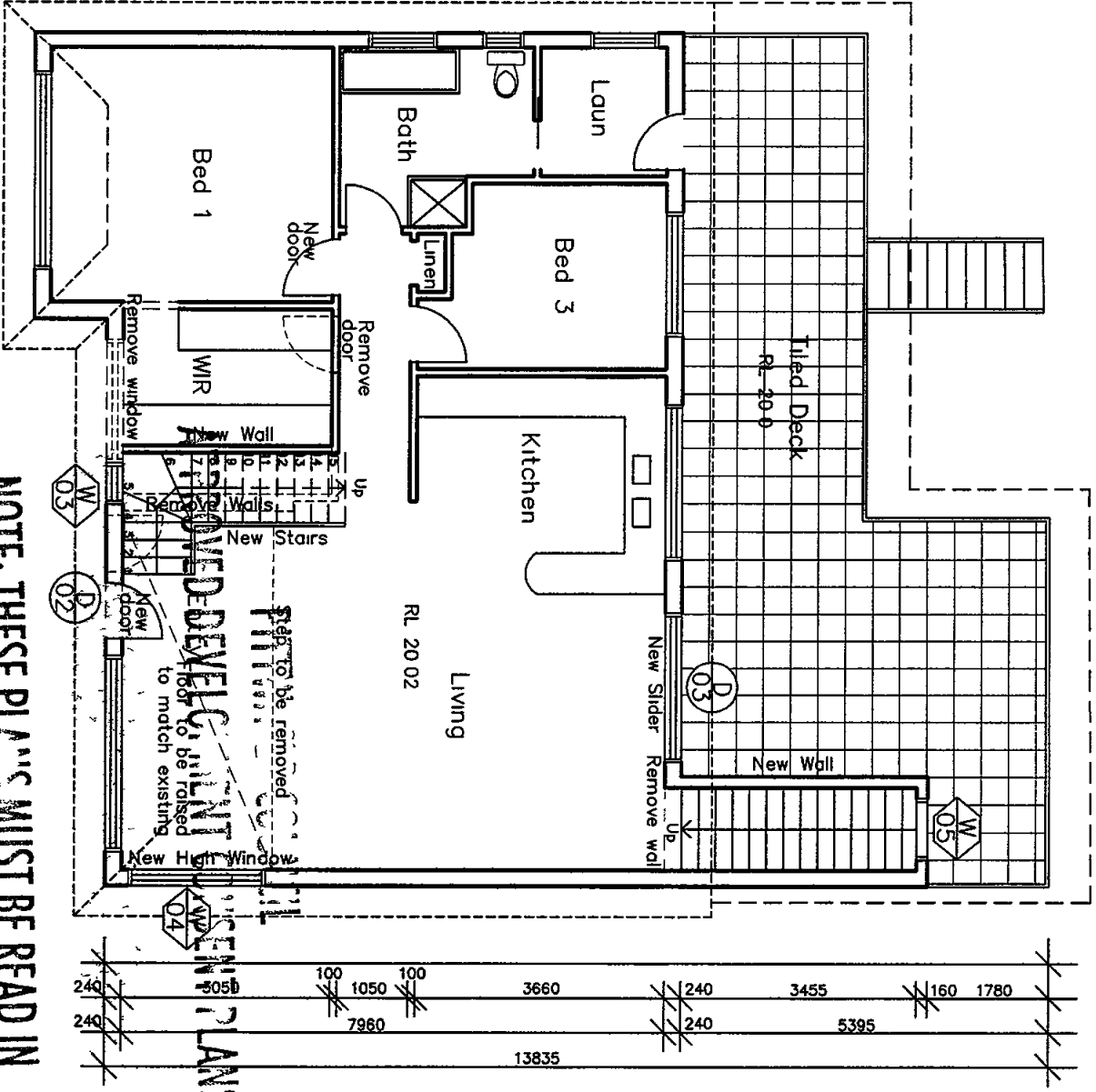
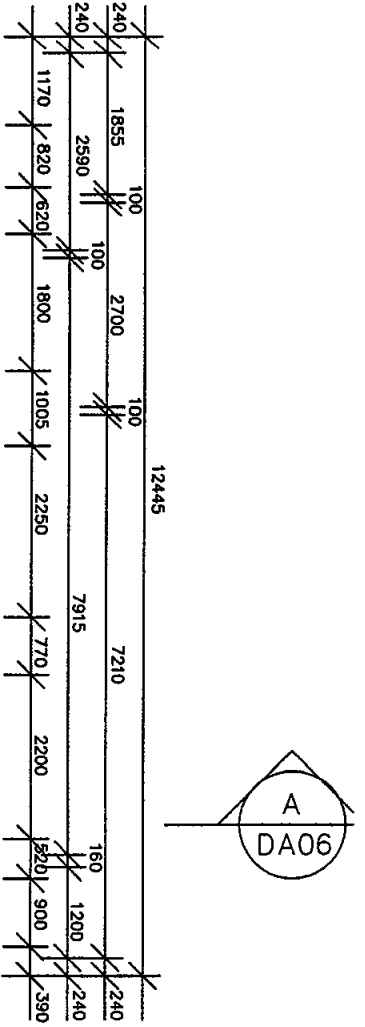
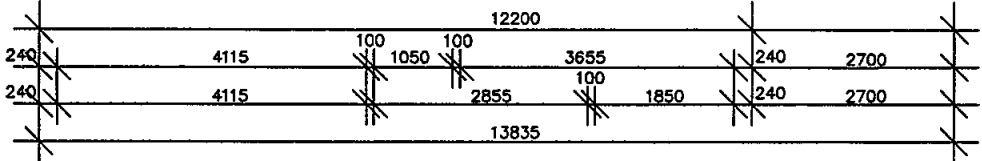
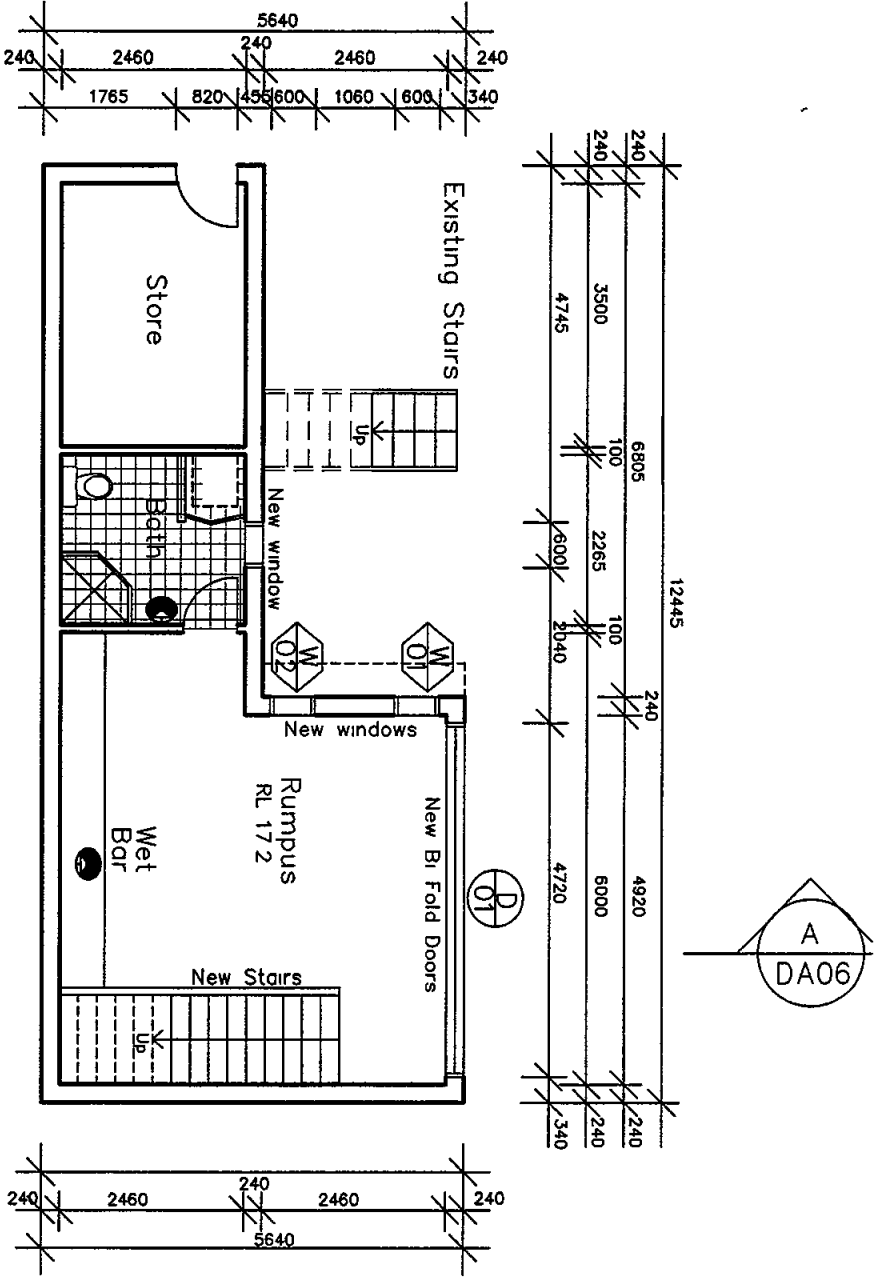
Drawing
FLOOR PLANS

DEVELOPMENT APPLICATION

PETER PRINCI architects
P.O. Box 415
Ave 34 315 485 678
Tel: (02) 9422 5661
Fax: (02) 9422 5551
Email: peter@peterprinci.com.au
www.peterprinci.com.au

Drawn	PP	Job N
Checked	PP	09 002
Scale	PP	May 09
1:1000	A	

Drawing N
DA01



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

LOWER FLOOR PLAN

GROUND FLOOR PLAN

All Dimensions are in millimetres
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Project
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13 ALAMEDA WAY
WARRIEWOOD NSW 2102

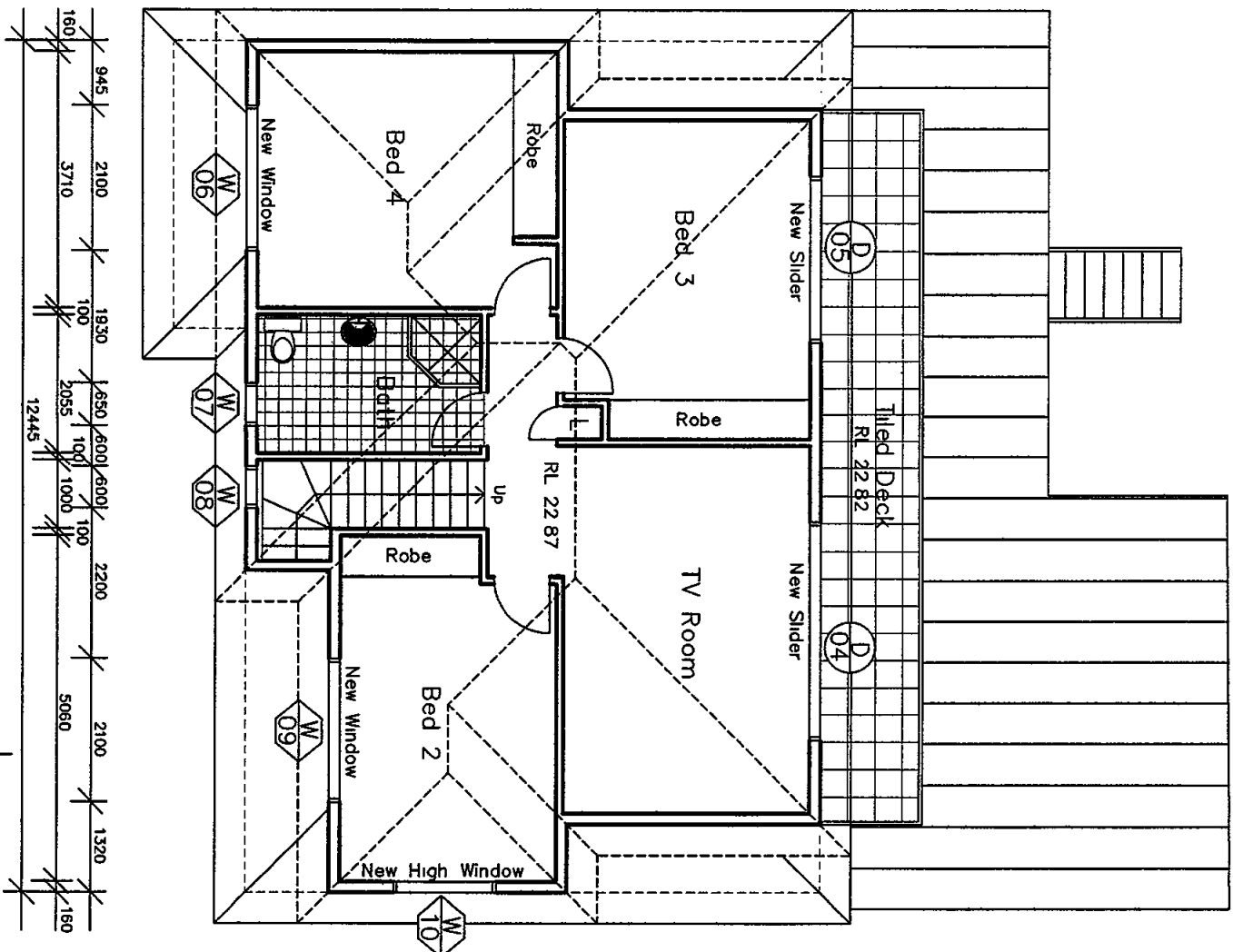
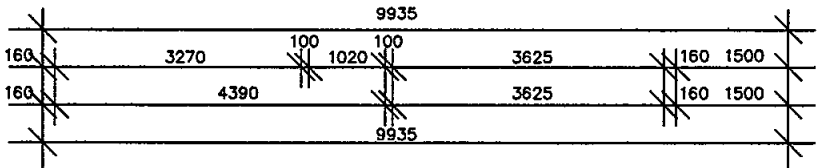
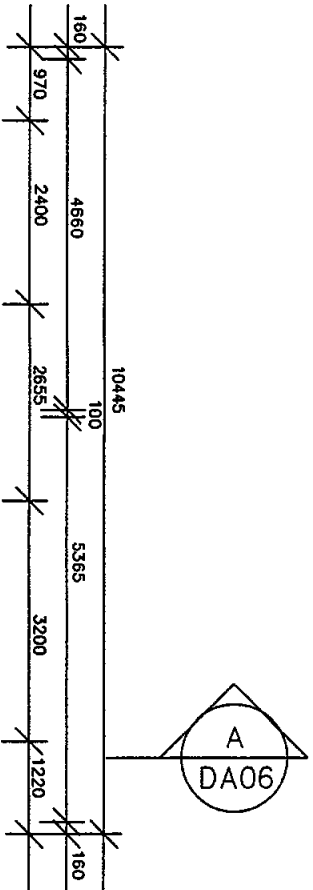
Drawing
FLOOR PLANS

DEVELOPMENT APPLICATION

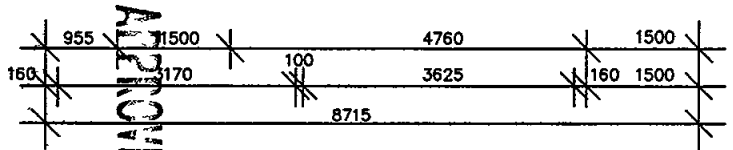
PETER PRINCI architects
P.O. Box 615
NEW 1540
Email: peter@peterprinci.com.au
www.peterprinci.com.au
ABN 34 315 483 678
Ph: (02) 9452 5665
Fax: (02) 9552 5665
Mob: 0418 155 004

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PP	09 002
Checked	Scale
PP	100%
Scale	Issue
1000	A

Drawing No.
DA02



UPPER FLOOR PLAN



NOTED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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13 ALAMEDA WAY
WARRIEWOOD NSW 2102

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WARRIEWOOD NSW 2102

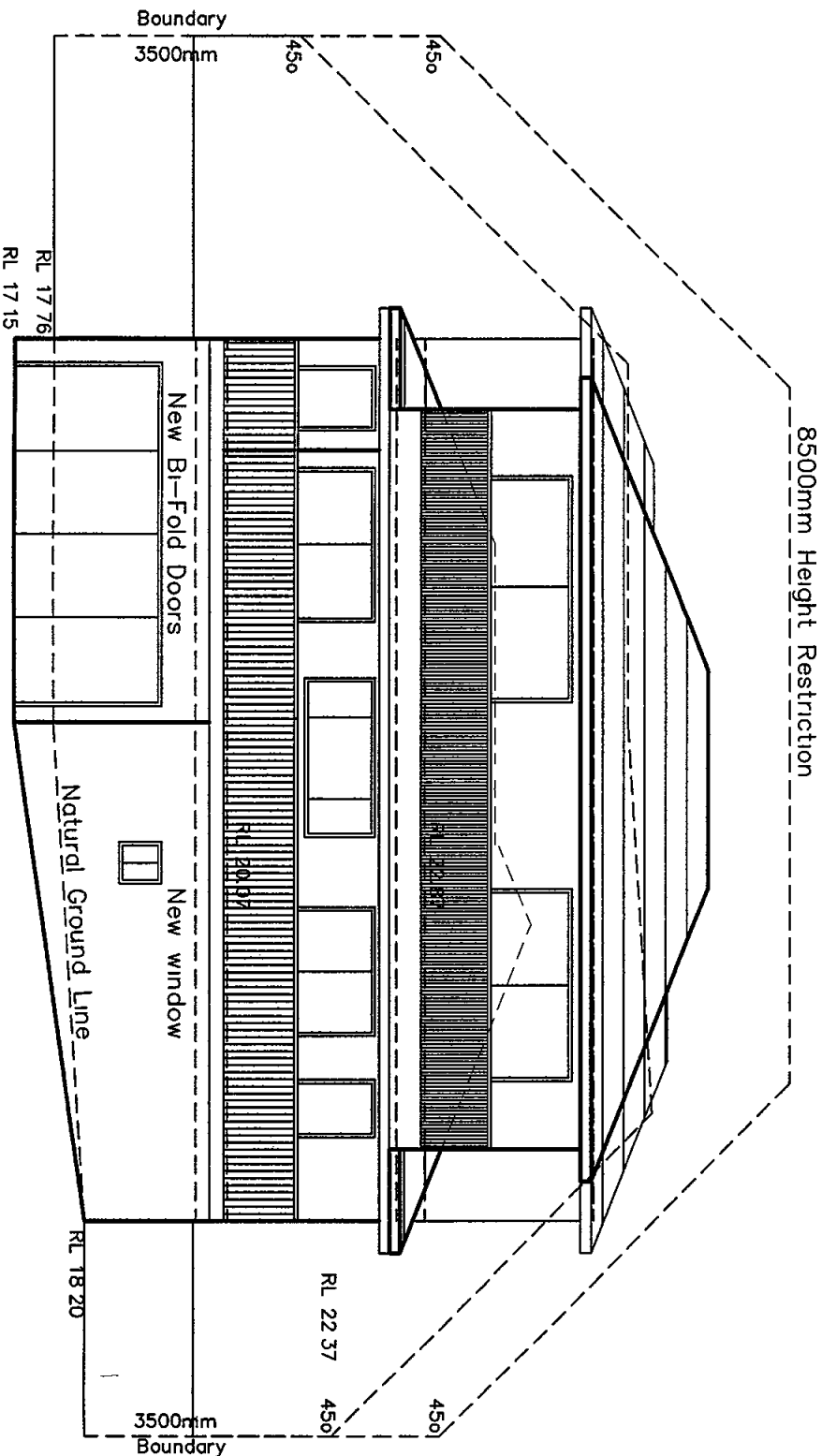
Drawing
FLDOR PLANS

DEVELOPMENT APPLICATION

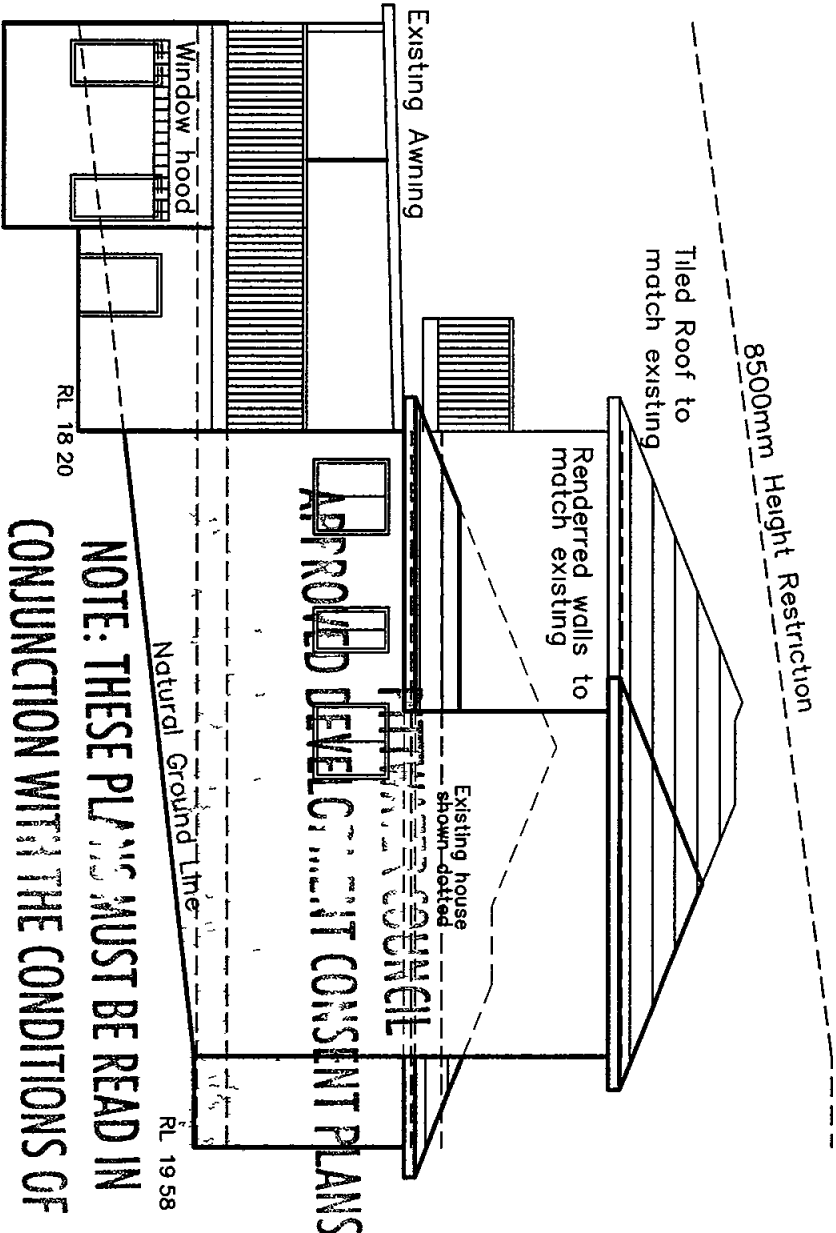
PETER PRINCI architects
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Fremantle Forest NSW 1640
Email: peter@peterprinci.com.au
www.peterprinci.com.au
ABN 13 131 482 678
Ph: (02) 9452 5661
Fax: (02) 9452 5662
Mobile: 0418 166 002

Drawn	Job No
PP	09/002
Checked	Date
PP	May 09
Scale	Issue
1:100	A

Drawing No
DA03



SOUTH ELEVATION



NOTE: THESE PLANS MUST BE READ IN
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WARRIEWOOD NSW 2102

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13 ALAMEDA WAY
WARRIEWOOD NSW 2102

Drawing
FLDOR PLANS

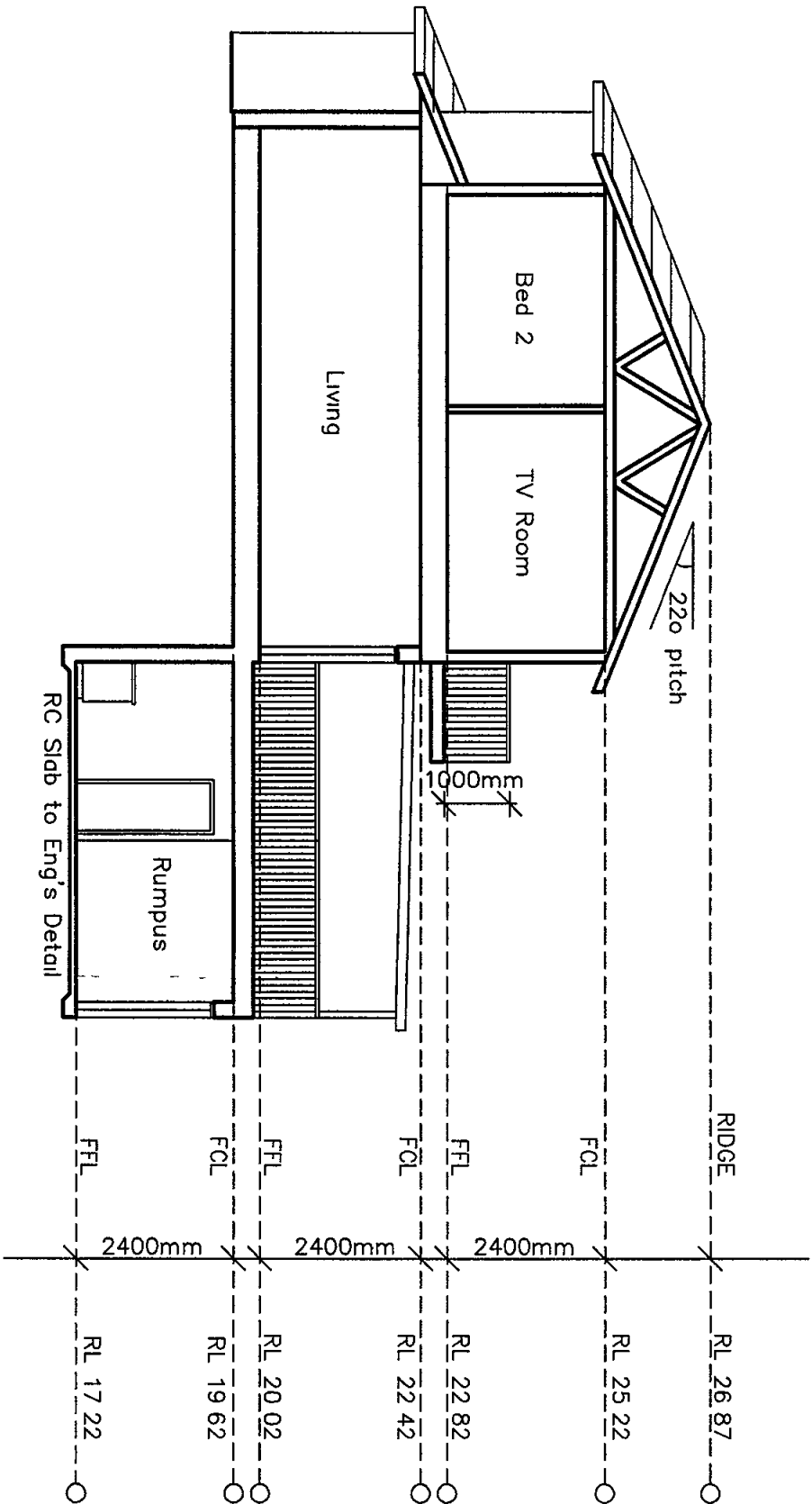
DEVELOPMENT APPLICATION

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Drawn
PP
Checked
PP
Scale
1:100

Issue
Date
Mo/Y
09
A

Drawing No
DA05



SECTION A-A

FIGURE 2.11
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
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DEVELOPMENT CONSENT

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B Amended Ridge Height
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WARREWOOD NSW 2102

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WARREWOOD NSW 2102

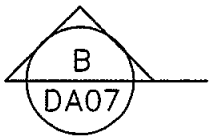
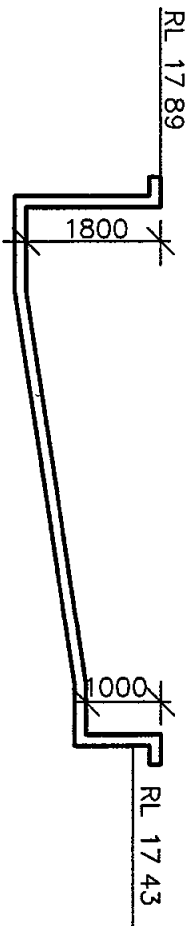
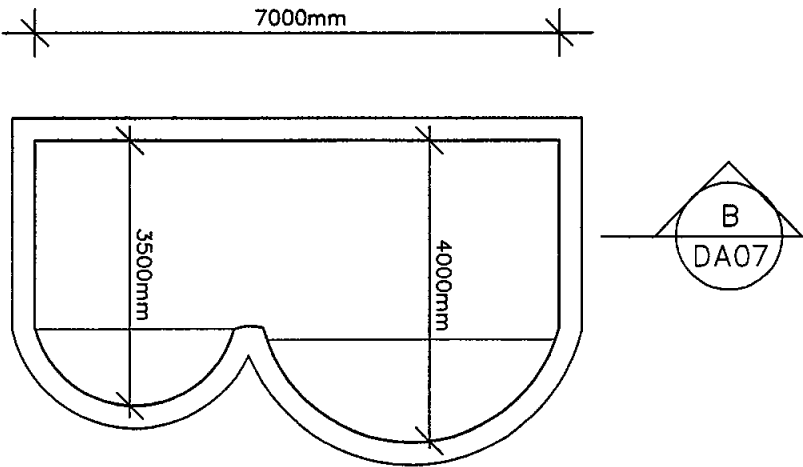
Drawing
FLOOR PLANS

DEVELOPMENT APPLICATION

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PP
Scale
1:100
Date
May 09
Time
B

Drawing No.
DA06



POOL PLAN

SECTION B – B

FIGURE 22.001
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
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DEVELOPMENT CONSENT

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All measurements to be checked on site
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WARRIEWOOD NSW 2102

Project
ALTERATIONS AND ADDITIONS
13 ALAMEDA WAY
WARRIEWOOD NSW 2102

Drawings
POOL PLANS

SKETCH DRAWINGS

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M to 0418 166 002

Drawn	Scale	Checkd	Date
PP	1:100	PP	May 09
Seal			

DA07

NOTE ALL NEW SHAW SHADOW CAST
WILL BE WITHIN EXIST GARAGE
AND TREE SHADOW



W A Y

SHADOW PLAN - JUNE 21-9am, 12noon, 3pm
1 200

All Dimensions are in millimetres
Written Dimensions preferred to scale
All measurements to be checked on site
All work to BCA and AS
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WARRIEWOOD NSW 2102

Project
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13 ALAMEDA WAY
WARREWOOD NSW 2102

Drawing SHADOW DIAGRAMS

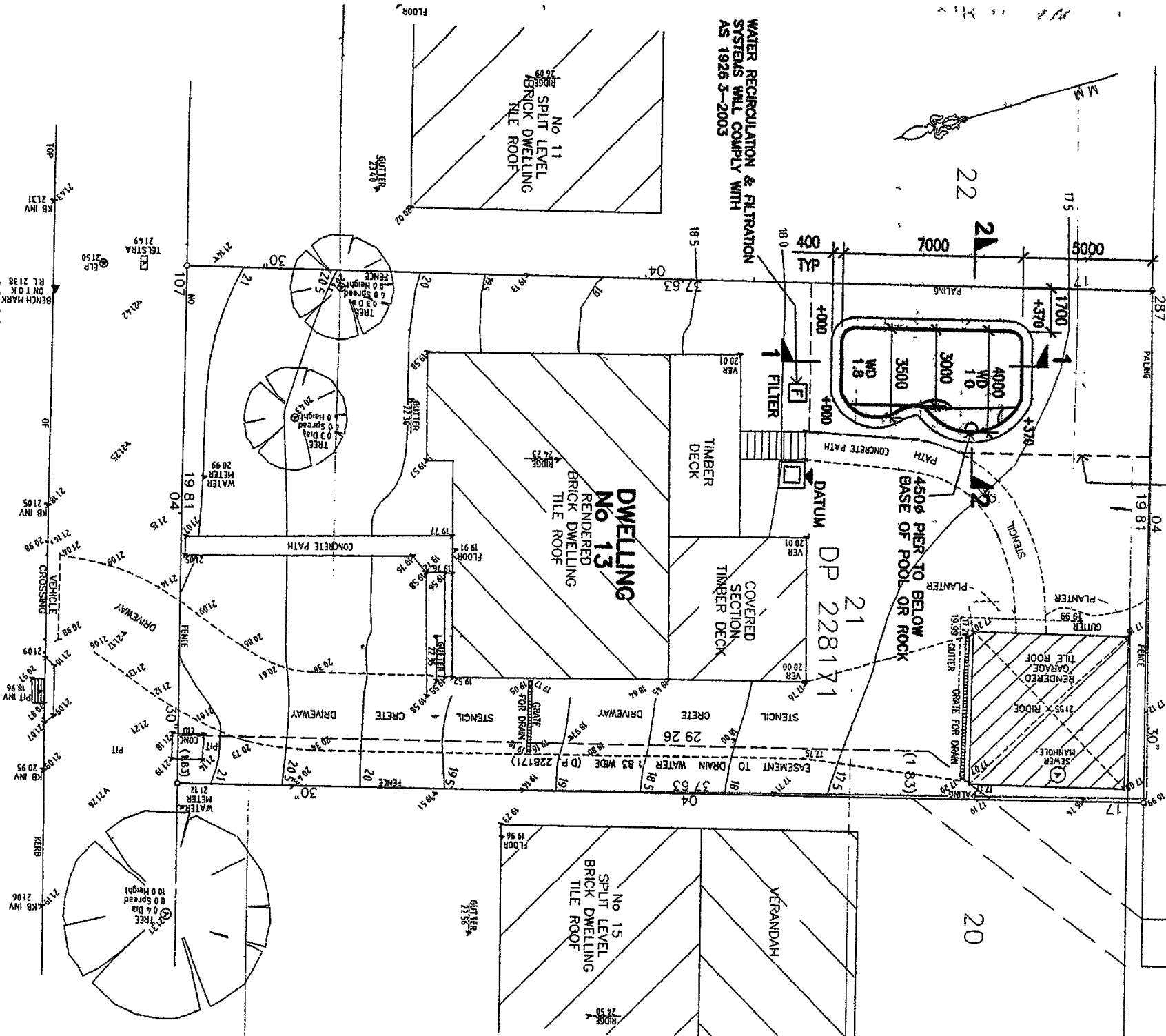
DEVELOPMENT APPLICATION

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 P.O. Box 615
 Pinckney Forest, NSW 1560
 Email: peter@peterprinci.com.au
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 Ph. (022) 9452 5661
 Fax: (022) 9452 5662
 Mobile: 0418 166 002

Lab #	09002
Checked	Date
PP	May 09
Scale	Item
1:100	A

DA08

CHILDPROOF FENCE 1.2m HIGH
WITH SCSL GATE WILL COMPLY
WITH AS 1926.3-2007



POOL & SITE LAYOUT PLAN

(1/200)

CONSTRUCTION NOTES

- General
1. These specifications are to be read in conjunction with the Architectural drawings
2. Do not scale off any of the details use written dimensions only
3. Structure to be kept in a stable condition and no part is to be overstressed
4. All workmanship and materials to be in accordance with the relevant codes and ordinances.
5. Pool not designed for surcharge loading from other structures
6. Builder to note that records must be kept as outlined in clause 6.4 of AS2783
7. Wall thicknesses shown have no negative tolerances
8. Pool must not be emptied until ground water pressures have been removed from pool base and wall
9. Pool construction to conform with AS2783
10. These details are primarily for structural details All other ancillary information has been given by others and so we take no responsibility
- Foundation
11. Pool is to be founded on approved natural ground with a bearing capacity of at least 120 kPa
12. Pool wall can project a maximum of 600mm out of natural ground with that wall having bearing on at least 100 kPa If > 600mm protrusion engineer to be notified and revised details given
13. Excavation to be kept free of water If surface deteriorates loose or soft material is to be removed
14. Pool suitable for site Classed A, S or M as per AS2870 any other condition and engineer is to be notified and details modified
15. Foundation material to be approved by engineers prior to pouring of shell
- Concrete
16. All workmanship and materials to be in accordance with AS3600
17. Concrete quality
18. Element Slump Max Age Size Exposure Classification
- Pool 80 10 A1 B2 Sdine soils
- AS3600 Fc (Mpa) 25 28 32 35 40
- Coping width CW required 200 2512 300 3512 400 4512 600 6512 900 8512
- Reo required
- C3 Cement content $\pm 280 \text{ kg/m}^3$ Exposure
- C4 Clear concrete cover to reo Formed face of instu concrete Exposed face of pneumatically applied concrete Concrete placed in contact with ground Faces exposed in aggressive water
- Cover 40 50 60 70
- Internal Finish, As Req'd
- Pool Data
- Maximum depth 1.80 M
- Maximum length 7.0 M
- C5 Sizes of concrete do not include applied finishes
- C6 Construction joints located to the approval of the Engineer
- C7 Contractor to notify Engineer 24hrs prior to any concrete being poured
- Reo
- P1 All reinforcement shall comply with AS1304
- R2 Reinforcement to be supported on approved chairs spaced 1000 max
- R3 Min Lap S12 bars - 450mm
- Relief value as per details
- Design details comply with
- AS1170 Pt 1 SAA Loading Code
- AS3600 SAA Concrete Structures Code
- AS2783 SAA Concrete Pool Code
- AS2610 Pt 2 SAA Pool Part 2 Private Spas

DATUM POINT

TOP OF SANDSTONE SURROUND OF FISH POND

POOL COPING LEVEL

TOP OF FINISHED COPING TO BE
360mm BELOW THE DATUM POINT

BASIX NOT REQUIRED
POOL CAPACITY 34.30KL

PACIFIC POOLS P/L (ACN 067 579 195)

84 THIRD RD, BERKSHIRE PARK 2765
Licence No 62686C Ph 9897 5566

PROJECT PROPOSED REINFORCED CONCRETE POOL

13 ALAMEDA WAY
WARRIEWOOD

CLIENT NERO

TITLE SWIMMING POOL DETAILS

JOHN CAVASINI & ASSOC. P/L

CIVIL & STRUCTURAL ENGINEERING CONSULTANTS

ACN 000 906 936 Ph 9820 1161
P O BOX 22 1839 THE HORSELEY DR HORSELEY PARK 2175 For 8620 1180
Mobile 0418 25 8645

Drawn RM

Approved

Date APRIL 2009

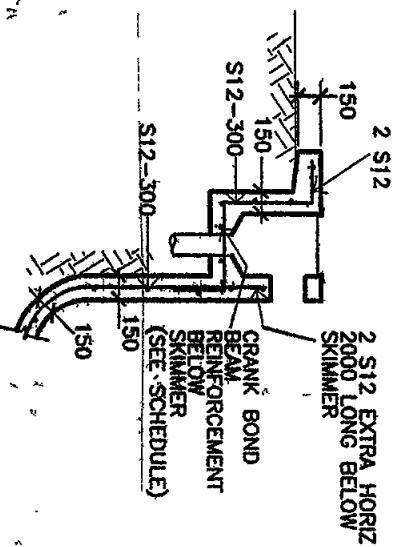
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1/2

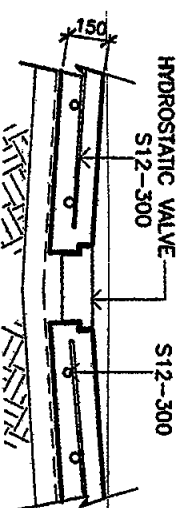
Registered Professional Engineer 229530
Mr John Cavasini
MIEAust CPENG (Civil / Structural)

Signature *[Signature]* N P E R - 3
Registered on the NPER-3 in the category of
Civil / Structural

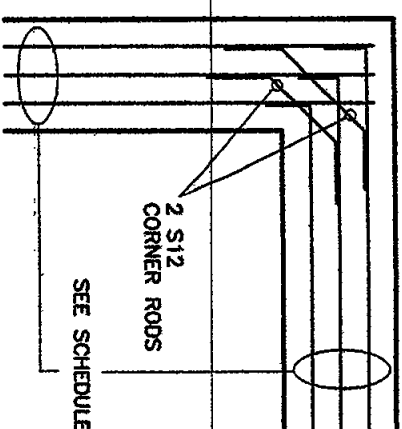
National Professional Engineers Register Section Three



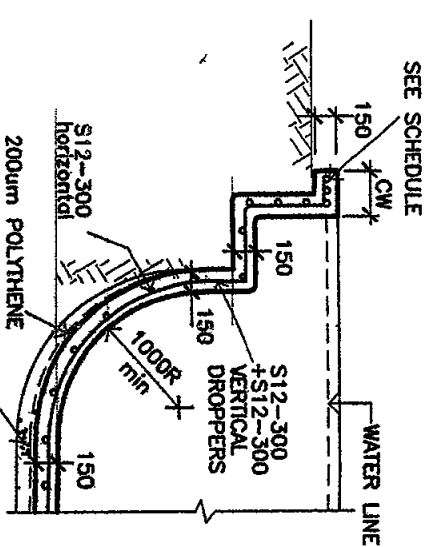
SKIMMER DETAIL (NTS)



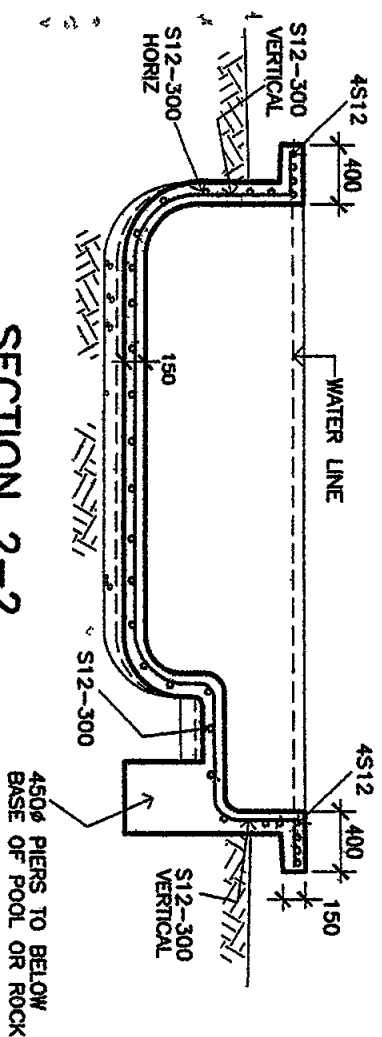
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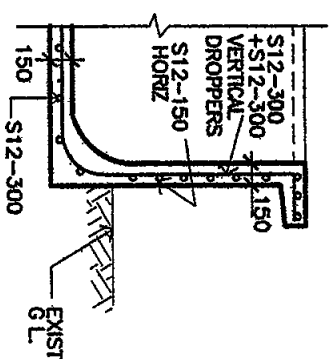
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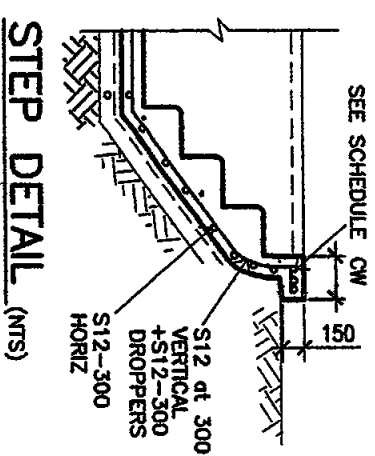
SWIM OUT DETAIL (NTS)



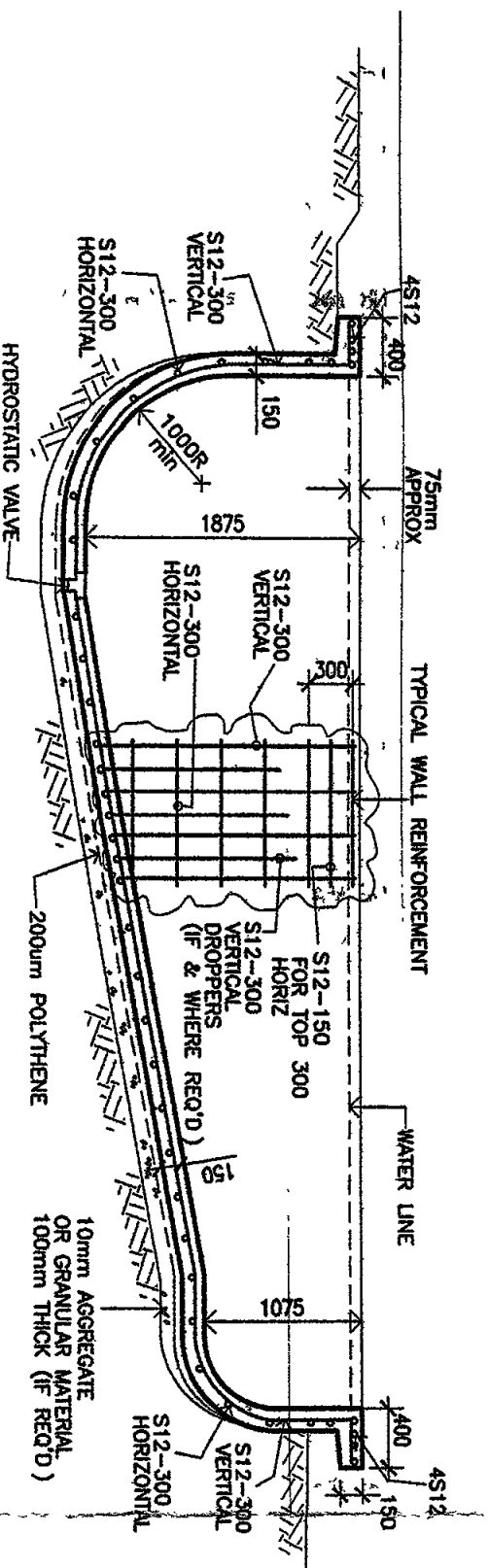
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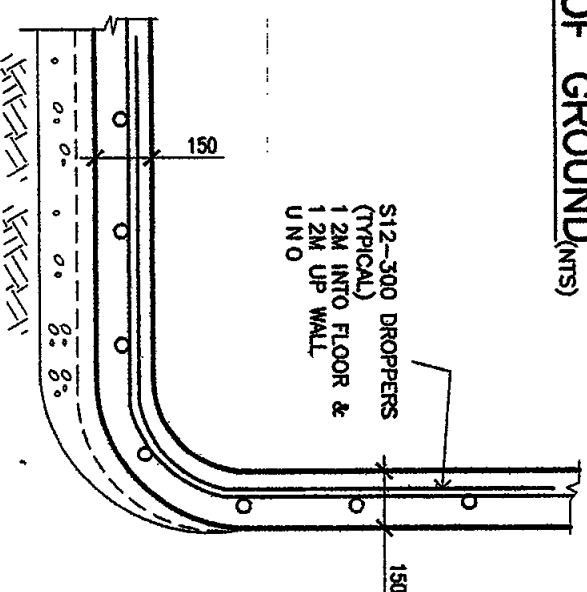
DETAIL FOR OUT OF GROUND (NTS)



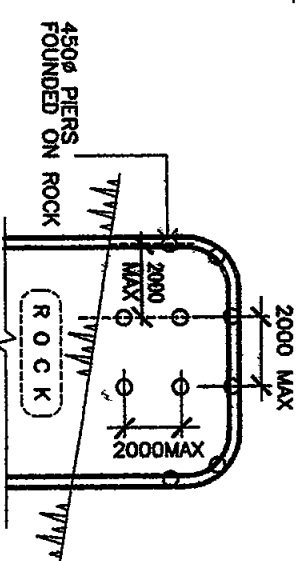
STEP DETAIL (NTS)



SECTION 1-1 (1:50)



DROPPERS DETAIL (NTS)



PARTIAL ROCK DETAIL (NTS)

1 where pool is partially founded on rock
2 where pool is on filled ground