

### Bernie Cohen & Associates Pty Ltd Trading as

### **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84100386650 essential CERTIFIERS

Telephone: (02) 9612-5000

or Facsimile: (02) 9612-5050

**CERT. NO:** 

**FINAL OCCUPATION CERTIFICATE** 

CDC2010-01546

issued under the Environmental Planning and Assessment Act 1979

Sections 109C(1)(c) and 109H

COUNCIL

**PITTWATER** 

**APPLICANT** 

Name Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Address P O Box 4006, MILPERRA BC 1891

**OWNER** 

Name Woods, Mr Brad & Mrs Cherryann

Address 12 Arnott Crescent, WARRIEWOOD

Contact no (telephone/fax) 99446980

SUBJECT LAND

Address 12 Arnott Crescent, WARRIEWOOD 2102

Lot No 59 DP - 30836

APPROVAL DETAILS

D.A No. N/A

D.A Approval Date

CDC No CDC2010-01546

Date of CDC Approval 2/11/2010

Issued by Essential Certifiers

RECEIVED

- 8 NOV 2012

PITTWATER COUNCIL

336

Pac: 331890

Essential Certifiers Liverpool Certificate No. CDC2010-01546

8/11/12

Page 1 of 4

### **WORKS APPROVED**

Description

Proposed construction of a Two Storey Dwelling

Classification

1a

### **DETERMINATION**

Type of Certificate

Final

Decision

Approved

Date of Decision

31/10/2012

### **RIGHT OF APPEAL**

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

### ACCREDITATION BODY

**BUILDING PROFESSIONALS BOARD** 

Level 3, 3 Marist Place, Parramatta NSW 2150

### **CERTIFICATE**

This is to certify that:

I have been appointed as the Principal Certifying Authority under S109E.

I have taken into consideration the health and safety of the occupants of the building.

A Development Consent/Complying Development Certificate is in force with respect to the building.

A Construction Certificate/Complying Development Certificate has been issued with respect to the plans and specifications for the building.

The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia.

Where required, a final Fire Safety Certificate has been issued for the building.

Where required, a report from the Commissioner of Fire Brigades has been considered.

Essential Certifiers Liverpool Certificate No. CDC2010-01546

### **FINAL REPORT**

The Accredited Certifier certifies that the subject stages of construction were inspected and found to be satisfactory and the development is completed in accordance with the approved plans and specifications and Council's Development Consent conditions if applicable.

Date	Inspection	Inspected by
27/04/11	Storm Water	Stephen Murray
12/09/11	Water Proofing	Rick Moy
08/10/12	Final Inspection	Paul Cohen
31/10/12	Final OC Completion	Chris Manzi

### **CERTIFICATES RELIED UPON**

- \$36.00 Cheque for OC lodgement fee
- Staircase and Balustrade certificate by General Staircase dated 5/9/11
- Survey Report by C.A.D. Consulting dated 19/4/11
- Glazing Certificate for windows and doors by DOWELL dated 2/6/11
- Part A & B Pest Certificates by Termguard (Sydney) dated 19/4/11, 20/4/11 & 16/6/11
- Survey Report by C.A.D. Consulting dated 31/3/11
- Plumbing and Drain work permit application dated 18/4/11
- Sewerage service sheet
- Stormwater layout plan
- Waterproofing certificate by Di Lorenzo P/L dated 20/2/12
- Basix Compliance certificate by Masterton Homes P/L dated 20/2/12
- Electrical Compliance certificate by Ross Tatian dated 8/10/11
- Final Survey Report by C.A.D. Consulting dated 2/2/12
- Glazing certificate for Shower screens and Mirrors by Sydney Shower Screens & Wardrobes dated 18/10/11
- Insulation certificate by Bradford for: -

Ceiling/Roof dated 22/9/11

Walls dated 23/8/11

Floor dated 23/8/11

Essential Certifiers Certificate No. CDC2010-01546

- Structural Piers certificate by Rafeletos Zanuttini P/L dated 15/4/11
- Structural Slab certificate by Rafeletos Zanuttini P/L dated 19/4/11
- Rainwater Harvesting System certificate by Tankworks dated 31/10/11
- Smoke detector certificate by Statewide dated 11/8/11
- Colour Selection
- Record of Inspection by Greenfield Certifiers for: -

Stormwater dated 27/4/11

Framework dated 15/8/11

Framework dated 23/8/11

- Record of Inspection by Essential Certifiers for: -

Waterproofing dated 12/9/11

Final dated 1/11/11

Final dated 8/10/12

Final OC Completion dated 10/10/12

### **CERTIFYING AUTHORITY**

Name of Accredited Certifier

Chris Manzi

Accreditation No

BPB0248

SIGNED:

DATED:

31/10/2012

Essential Certifiers Certificate No. CDC2010-01546



Bernie Cohen and Associates Pty Ltd T/As Essential Certifiers ABN: 84047117254

PO Box 208 Casula Mall NSW 2170 Level 1, 405 Hume Highway Liverpool NSW 2170

T: 02 9612 5000 F: 02 9612 5050 E: info@essentialcertifiers.com.au www.essentialcertifiers.com.au

### **OCCUPATION CERTIFICATE** APPLICATION FORM

Occupation Certificate: In accordance with Clause 149, Division 3 of the Environmental Planning and Assessment Regulations 2000

PART A – Identification of the Land
Lot No: 59 Street No: 12 DP No: 30836
Street: Arnott Crescent Suburb: Warriewood Postcode: 2102
PART B – Applicant Details (Person having Benefit of Development Consent) within the meaning and under the EP&A ACT 1979
w∕Mr d∕Mrs □ Miss □ Other
Surname/s: WOOS
First Name/s: Brad & Cherryann
Company/Organisation! Masterton Homes
Full Address of Applicant: Po Box 323 LIVERPOOL BC [87]
Phone: 9601 4066 Mobile: Fax: Email:
Signature of the Applicant/s: SEE ATTACHED Date: 09/10/12
PART C - Billing Details  Billing Name:  MASTERTON HOMES  ABN:
Billing Address: PO Box 323 LIVERPOOL BC 1871

### OWELLIN G 2 Number of Structures: 1 Number of Stories: **Building Classification:** 19 Has development consent been granted for the development? NA No Date of Determination: Consent Number: Yes Council Area: PITTWATER Has a Construction Certificate/Complying Development Certificate been granted for the development? Construction Certificate/Complying Development Certificate Number: CDC 10/1546 No Yes Date certificate issued: 2/11/10 PART E – Application Type If you want to occupy or use a new building that is only partially completed, or change the use of part of an existing building, you require and Interim Occupation Certificate. If you want to occupy or use a new building that has been completed, or change the whole use of an existing building, you require a Final Occupation Certificate. Interim Occupation Certificate Final Occupation Certificate PART F - Information to be Attached to the Application Please cross the appropriate boxes where relevant: A copy of the Development Consent or Complying Development Certificate п A copy of the Construction certificate A copy of the Final Fire Safety Certificate A copy of the Interim Fire Safety Certificate Any other certificate or document relied upon

PART D - Description of Development

Describe the completed building works:





### LETTER OF CONSENT

I/we the owner/s of the property described below:

Mr. Brad Woods + Mrs. Cherryann woods
LOT 59, NO. 12 ARNOTT CRESCENT WARRIEWOOD
(Print Full Address of Affected Property)
hereby give consent to Masterton Homes Pty Ltd or their nominated agent being

to act on my/our behalf to:

lodge all relevant applications for Development Consent, Construction Certificates, Complying Development Certificates & Occupation Certificates; have discussions with all relevant authorities; do all things required to be done or provide all information and documents necessary to obtain such approvals; and where applicable, withdraw or cancel the Development Application and obtain a refund, if applicable, of any fees paid.

### And I/we also hereby request that all correspondence in relation to this property be directed to:

### P.O. Box 4006, Milperra Business Post Centre 1891

I/We expressly acknowledge and agree that Masterton Homes will at all times retain copyright in the plans submitted to Council. The plans can only be used by Masterton Homes and we acknowledge and agree that there is no implied licence for the use of the plans by ourselves, any other person or corporation.

Signed:	135 Weads		
Name (Please Print)!	Mr. Brood Woods	Date:	21.7.09
Signedi	Mr. Cheryann	od).	
Name (Please Print):	Mr. Cheryann	WoodSpates	21.7.09
Signed:			
Name (Please Print):		Date:	
Signed:			· ·
Name (Plaase Print):		Date:	

Version: 120308

### LETTER OF CONSENT

### OWNERS CONSENT

PRINCIPAL CERTIFYING AUTHORITY

I/we the owners of the subject property hereby give consent for the lodgement all relevant applications (i.e. for Construction Certificate/s, Complying Development Certificate/s, Occupation Certificate/s, Compliance Certificate/s) and associated documentation to Local Certification Services Unit Trust for consideration.

I/we also declare that all documentation presented as part of an application for a Construction Certificate has remained unaltered from that issued with any Development Consent or that any changes have been documented and Local Certification Services Unit Trust have been advised accordingly.

In the event that the nominated Principal Certifying Authority resigns form his employment position with Local Certification Services Unit Trust my signature provided below will also serve as the authorisation for the transfer of the role and responsibilities of the Principal Certifying Authority from the nominated person to Mr Craig Hardy.

With reference to this proposed development I/we the owners of the subject property decision to appoint □ Andrew Dean □ Cellan Blackwell □ Craig Hardy □ Danis Shanahan □ Paul Gearin □ Sam Pratt □ Paul Morgan □ John Parkinson □ □ Principal Certifying Authority (PCA) as outlined in the Environmental Planning and Assessmended).	Il Powell D Michae to fulfil the role o
I/we understand that this engagement shall be subject to the Terms and Conditions outling and the associated Schedule and I/we further understand that he will carry out all management by the Act during the course of construction along with any others that he deems referred to the abovementioned Agreement.	nandatory inspection:
I/we also advise that I/we are aware of the conditions attached to any Developmen Development Consent or Complying Development Consent) and are aware of our respon those conditions.	t Consent (i.e. Loca sibilities in relation to

SIGNATURES			·
THE APPLICANT/O	WNERS		
Owner 1 / Applicant		<u> </u>	<del></del>
Signed:	Mr. Brad Woods	• ·	
Name (Please Print):	Mr. Brad Woods	Date:	21.7.09
Owner 2			
Signed:	Cherryann Woods		
Name (Please Print)!	Mrs. Cherryann Woods	Date:	21.7.09
Owner 2	<u> </u>		
Signed:			
Name (Please Print):		Date:	
Owner 4			
Signed:			
Name (Please Print):		Date:	



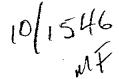
GENNER HOLDINGS Pty Limited A.B.N. 97 003 708 343 Established 1971 B/Lic No.1130840



GENNERAL STAIRCASE PO Box 7089 WETHERILL PARK NSW 2164 Ph: 9609 7777 Fax: 9609 7888

stairs@genstairs.com.au www.genstairs.com.au VISIT OUR SHOWROOMS

VISIT OUR SHOWHOOMS C12/1 Burbank Place Baulkham Hills 2153 12B Davis Road Wetherill Park 2164





### CERTIFICATE OF COMPLIANCE AND GUARANTEE

23/02/12

**BUILDER:** 

**Masterton Homes** 

PO Box 125

Liverpool

1871

**INVOICE NUMBER:** 

26016

ADDRESS:

Lot 59, 12 Arnott Cres Warriewood

**DATE OF INSTALL:** 

5/09/11

This certificate hereby guarantees the supply and installation of the Staircase and Balustrade on the above project for a period of 7 years.

All work carried out by Genneral Staircase for the above project has been designed, manufactured and installed as per the current BCA regulations (Class 1 and 10 Buildings Housing Provisions - Volume 2) including all relevant Australian Standards as applicable, and in accordance with the plans and specifications provided by you.

### Standards for reference;

Staircase - B.C.A Stair Construction, Part 3.9.1, AS 1657.

Balustrade - B.C.A Balustrades, Part 3.9.2, AS/NZS 1170.0, 1170.1 & 1170.2 where applicable.

The warranty provided, however does not cover misuse, damage from factors such as water, fire or other external factors beyond our control.

If there are any further queries in regards to our work, please do not hesitate to call the undersigned on 9609 7777.

Sincerely Yours,

Genneral Staircase

Visit our virtual showroom at,

www.genstairs.com.au



41 Lemongrove Road

Penrith NSW 2750

10/1546 BC

### C.A.D. Consulting

Proprietor: C.A.D. Surveying Services Pty Ltd ABN 22 092 136 117

### Land and Engineering Surveyors

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.)

- Daniel Galluzzi (Dip. Struct. Eng.)

PO Box 259 Penrith NSW 2751 Telephone: (02) 4732 2040

Fax: (02) 4732 1846

Email: admin@cadconsulting.com.au

Our Ref: 37835

19th April, 2011

Masterton Homes Pty Ltd PO Box 323 LIVERPOOL BC NSW 1871

Re: Woods - 36880

Dear Sir,

Upon your instructions we have made a survey at Lot 59 as shown on Deposited Plan 30836 having a frontage of 15.24 metres to the northern side of Arnott Crescent at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and I have to make the following report.

Our survey is limited to locating the formboards found on site.

It is my opinion that at the time of survey the formboards on the site comply with the offsets shown on Building Plan No. 36880 (Construction Plan) dated 28th February, 2011.

Levels have been taken as shown on the sketch.

Covenant(s) created by H506119, H654627 and H701071 affect subject land.

Encroachments have not been investigated for the purpose of this survey.

A one and two storey cement rendered dwelling No. 14 adjoins to the east. A cement rendered cottage No. 10 adjoins to the west.

Yours faithfully

Registered Surveyor

Our Ref: 37835

Masterton Homes Pty Ltd

PO Box 323

LIVERPOOL BC NSW 1871

FROM PITTWATER ROAD

This diagram is to accompany my report dated 19th April, 2011

Registered Surveyor

D.P. 26441 15.24 59 30836 D.P. MAIN FLOOR REBATE R.L.19.80 (1.0)60 (2.5)58 FORMBOARDS 1 & 2 STOREY CEMENT REND. DWELLING 42.165 GAR.FLOOR REBATE R.L.19.895 CEMENT REND. COTTAGE No.10 No.14

ARNOTT CRESCENT

15.24



BORAL WINDOW SYSTEMS LTD ABN 78 004 069 523 312 Woodpark Road
Smithfield NSW 2164
Telephone (02) 9757 0555
Facsimile (02) 9604 9440

### **GLAZING CERTIFICATE**

2/06/2011

MASTERTON HOMES (NSW) P/L CNR HUME & SAPPHRO RD WARWICK FARM NSW

Dear Customer,

RE:

ARNOTT CRES LOT 59 (12)

**WARRIEWOOD** 

Sales Order No:

85624

Rep No: 110

Customer Order No 9936880/049

We Confirm that the Dowell Aluminium Windows and doors supplied to the above project were manufactured to conform with the requirements of an N2 rating and glazed and assembled in accordance with the requirements of the following Australian Standards:

AS2047-1999 Windows in Buildings

AS1288-2006 Glass in buildings

AS4055-2006 Wind Loads for Housing.

Note: based on the 2006 revision to AS1288 and AS4055 'ultimate limit state design pressure', the following applies;

N1 - 700paUWP N2 - 1000pa UWP N3 - 1500paUWP N4 - 2200paUWP

N5 - 3300paUWP N6 - 4400paUWP

Note: Windows have been supplied to meet the requirements of AS3959-2009. In cases where Dowell Windows have not supplied screens, it is the builder's responsibility to ensure that the screens have been supplied and certified to comply with the requirements of AS3959-2009. The responsibility for installing windows in the correct manner and position within the structure lies with the purchaser. Further, if the windows have been supplied to comply with a window schedule and not from a take off from a plan, Dowell A Boral Company will not accept responsibility for the accuracy of the 'Human Impact' requirements encompassed in AS1288.

Yours Faithfully

Chris Sutherland

**Branch Manager NSW** 

Aparna Dalal Credit Officer

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141 Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

### CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS:

WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER:

MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended.

Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

### Slab Penetrations

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DATE OF TREATMENT: 19/04/2011

SPECIAL CONDITIONS: JOB # 9936880/041

Number of Penetrations: 14

Materials Applied: TERMISHIELDS

### Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by: M Maynard

Signature:

R. Sapsford

# gets termites - safeguards you fmguard (SYDNEY) PTY LTD Unit 11, 12-18 Victoria East St Lidcombe NSW 2141 INSTALLATION SHEET

Builder:	masaston	************				·····			Dat	e;		19.	4.11		<b>-•</b>	
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P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141 Phone: 9643 8300 Fax: 9643 8388 A.C.N. 003 295 663

### CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS:

WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER:

MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

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DATE OF TREATMENT: 20/04/2011

SPECIAL CONDITIONS: JOB # 9936880/041

Area Protected: 224.34 square metres Materials Applied: RENDERCURE

### Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by: M Maynard

Signature:

R. Sapsford

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141 Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

### CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS:

WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER:

MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended.

Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMiguard barrier ineffective.

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DATE OF TREATMENT: 16/06/2011

SPECIAL CONDITIONS: JOB # 9963880/041 Materials Applied: BLOCKAID TO PIERS

### Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Signature

Applied by: C Cruze

R. Sapsford

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141 Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

### CERTIFICATE OF TREATMENT

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SITE ADDRESS:

WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER:

MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

### **Cavity Treatment with Granitgard**

Ref. 45987002		$\mathbb{H}$
LEGEND		
Treated area		
Plumbing line		
Pier	See attached	
Steps		
Rough sketch only - refer builder's plans for true dimensions.		

DATE OF TREATMENT: 16/06/2011

SPECIAL CONDITIONS: JOB # 9936880/041

Linear Metres: 60 metres

Materials Applied: GRANITGARD

### **Perimeter Treatment Certificate of Completion**

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above

Applied by: C Cruze

Signature:

R. Sapsford

## termguard (SYDNEY) PTY LTD Unit 11, 12-18 Victoria East St Lidcombe NSW 2141 INSTALLATION SHEET

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## MEMBER OF THE INSTITUTION OF SURVEYORS AUSTRALIA

41 Lemongrove Road Penrith NSW 2750

### C.A.D. Consulting

Proprietor: C.A.D. Surveying Services Pty Ltd ABN 22 092 136 117

### Land and Engineering Surveyors

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.)

- Daniel Galluzzi (Dip. Struct. Eng.)

PO Box 259 Penrith NSW 2751 Telephone: (02) 4732 2040 Fax: (02) 4732 1846

Email: admin@cadconsulting.com.au

Our Ref: 37835

31st March, 2011

Masterton Homes Pty Ltd PO Box 323 LIVERPOOL BC NSW 1871

Re: Woods - 36880

Dear Sir

Upon your instructions we have made a survey at Lot 59 as shown on Deposited Plan 30836 having a frontage of 15.24 metres to the northern side of Arnott Crescent at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and I have to make the following report.

Marks have been placed as shown on the sketch.

Levels have been taken as shown on the sketch.

Covenant(s) H506119, H654627 and H701071 affect subject land.

Encroachments have not been investigated for the purpose of this survey.

A one and two storey cement rendered dwelling No. 14 adjoins to the east. A cement rendered cottage No. 10 adjoins to the west.

This survey has been carried out and report prepared to assist in the construction of works as shown in Building Plan No. 36880 (Construction Plan) dated 28th February, 2011 and should not be used for any other purpose. The builder should investigate critical distances which should include but not be limited to wall, eave and gutter boundary clearances, BCA requirements and so on prior to commencing construction to ensure compliance with all statutory or other forms of compliance. The builder should verify critical dimensions shown in this report with the latest approved drawings and check distances/offsets to pegs prior to and during construction. Any discrepancies should be clarified in writing to CAD Consulting prior to commencement of construction for confirmation as to the accuracy of this survey. CAD Consulting cannot be held responsible for disturbance to any marks subsequent to leaving the site.

Any boundary definition required for preparation of or shown on this plan is not registered at Land and Property Information. Subsequent registered or other surveys in this area may affect boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of CAD Consulting who can accept no responsibility for such differences.

Yours faithfully

Registered Surveyor

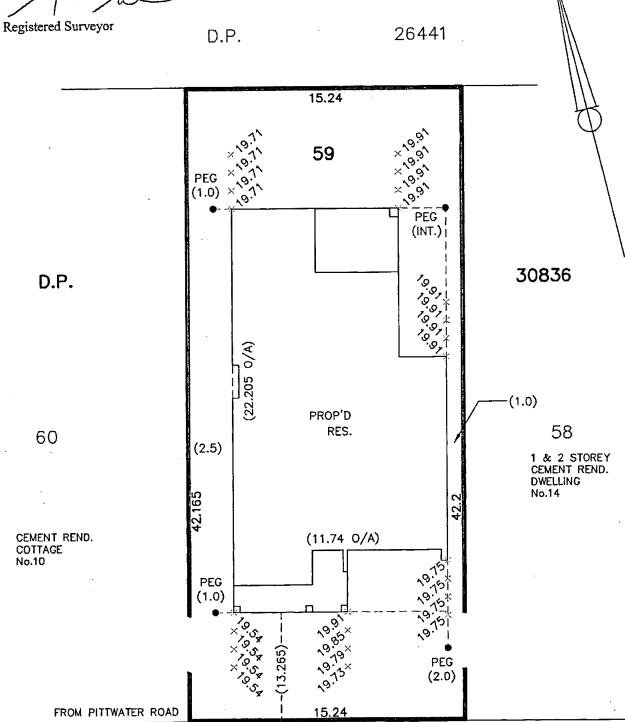
Our Ref: 37835

Masterton Homes Pty Ltd

PO Box 323

LIVERPOOL BC NSW 1871

This diagram is to accompany my report dated 31st March, 2011



16.39 BM A.H.D.

**ARNOTT** 

CRESCENT

Account/property/Rale No. PERMIT APPLICA	ATION	Avaic	a Superintendent a Copy	*
- for Plumbing and Dra Please supply requested information fully and neat				2
PROPERTY & OW				***
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Owner's Name Full Address				
MR & MR WOODS AS	AROVE .			
LICENSEES	DETAILS			
Full Name Address for Notices PAU CENRY 4-10 HUS	OM AVE	CASTIE IIIC	Phone No. 98748188	
	<del></del>	artnership Licence No.	Expiry Date	-
	1431	IIC	]	• •
WORK OF WATER SUPP	LY//METER!	DETAILS # 1		
Size of Drilling/No. Size of pipework Main to Meter		of Tee to be cut into Ma	aln Size of Valve	
	or L	rilling Date/Time	Office Issued from	
Reference No. Size of Meter Meter No.		ming Date/Time	Office Issued from	<del></del>
Full Description of Work/Affixed meter or returned Meter and List the Number of Fitting	e to be			
Connected:	_/	o ba	- 5 0 C C C	
Carry out work of Water Supply		Fittings to be Connected Number Existing	Number proposed Connected to Drinking Water to Non-Drinking Manager To Non-Drinking Manager To Non-Drinking Manager To Non-Drinking Manager To Non-Drinking Manager To Non-Drinking Manager To Non-Drinking Manager To Non-	/aie
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On-site water services where a reticulated water supply is installed		w.c		-
install/Commission/Maintenance of Thermostatic Mixing Valve	· —	Basin 4		_
Draw water from Water Utilities supply, standpipe or sell water so drawn      Install, alter, disconnect or remove a meter connected to service pipe		Shower 4		7
		Kitchen Laundry		-
Install, alter, disconnect or remove a backflow prevention device		Other (Specify)		7
CONTAINMENT ZONE	INDIVIDUAL	Irrigation		7
WORK OF SANITARY PLUMBING/D	RAINAGE AI	System   ND STORMWATE	-   -	
Since full description of work and list the number of fittings to be connected		Fittings to be	Number Number	
Carry out work of sanitary plumbing/drainage		Connected	Existing proposed	<u> </u>
Carry out work of Stormwater drainage		W.C Basin		
Connection to Sewer		Bath Shower		=
Sewer Disconnection		Kitchen		
Connection to stormwater system		Laundry Other		
Carry out Trade Wasie work.	П	(Specify)		اب
Sally Made Waste Permit Number				
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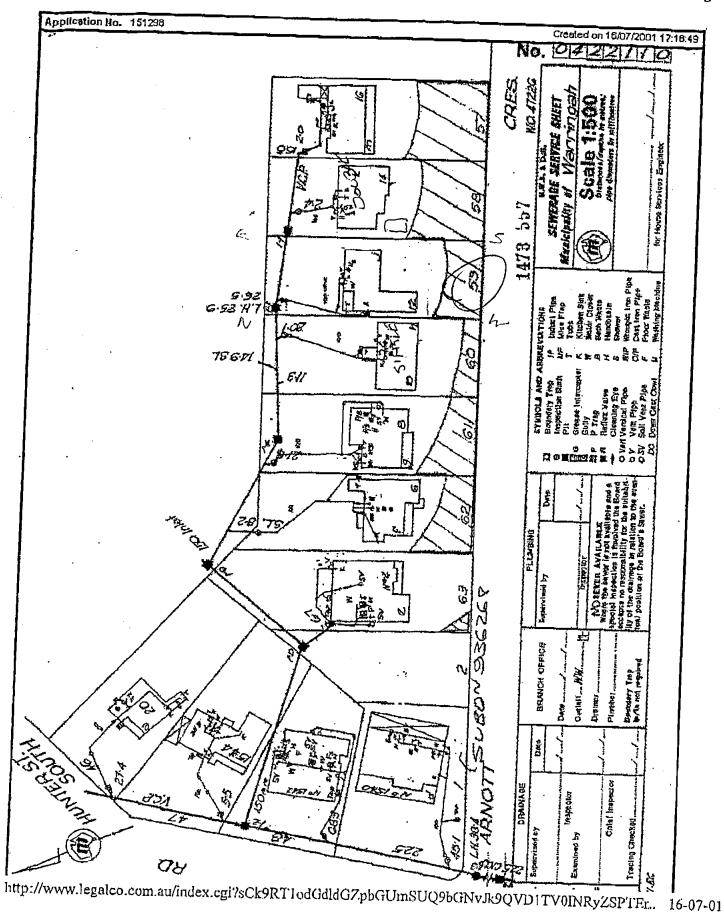
DRAINIGE ID 1055361

Serial No E-544902

- 1. This is your PERMIT to carry out the work described on 'Permit application', in accordance with provisions of the Local Utilities Act, regulations, and Codes of Practice.

  2. This PERMIT is only valid when it bears the official stamp of the local utility. It must be produced on the request of any person duly authorised by the Local Utility. Some Local Utilities may require the PERMIT to be produced to obtain a water meter.

  3. The correspondingly numbered CERTIFICATE OF COMPLIANCE must be submitted by you to the Local Utility within two (2) working days of completion of the above work.



36880

	•
•	A3 SEWERAGE SERVICE DIAGRAM
-	MUNICIPALITY OF TAXABLE NO 12
	STREET ARNOTT CRES
	SUBURB OF LINEACOD
•	7///3
	Permit / COC No.
	Signature 2.4-11.
•	Possos No
	Permit / COC No.
	Signature
	Date
	SYMBOLS AND ABBREVIATIONS
	INDICATES - DRAINAGE FITTINGS
-	Manhole Sully
	Boundary Tean
	Inspection Shaft
	Ha Ha
	Gréase Intercepter RP
	System Headings
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	INDICATES - PLUMBING FOXTURES & OR FITTINGS
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	y DWM Dishwashing
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	Basin marie 50
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	- L ELEC.
	Pump Unit
	Boundary Valve
	<u></u>
	HSV. Flow Monitor
	Vaccuum Chamber  — FF Flushing Poin!
	INDICATES - PLUMBING ON MORE THAN ONE LEVEL  SAY SAI Vent Pipe ONS Worte Stock
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NO 12

CRESCENT

ARNOTT

LOT 59







### WATERPROOFING CERTIFICATE

**JOB ADDRESS:** 

**LOT 59 NO: 12 ARNOTT CRESCENT** 

**WARRIEWOOD** 

JOB NO:

36880

Masterton Homes

DATE:

February 20, 2012

This is to certify that the wet areas of the above address were waterproofed by our waterproofing company. Waterproofing was carried out in accordance with the manufacturer's specifications, and AS NO: 3740:2004.

**GOLD LICENCE NUMBER:** 

171862C

EXPIRY DATE:

February-14

Yours faithfully
DI LORENZO PTY LTD

K frester.

Rafael Fresta General Manager

DI LORENZO Pty Ltd Tile Merchants ABN > 38 002 487 873
PO Box 7264 Baulkham Hills NSW 2153 > www.dilorenzo.net.au > phone 02 8602 1400 fax 02 8602 1490 | Bella Vista | Redfern | Newcastle



Masterton Homes Pty Limited

ABN: 52 002 873 047 ACN: 002 873 047 B/Lic: 35558C

Cnr Hume Highway & Sappho Road Warwick Farm
PO Box 323, Liverpool 1871

Tel 02 9601 4066 Fax 02 9601 1426 www.masterton.com.au

•	
	Compliance Certificate
Council Area:	Pittwater
Applicant:	Masterton Homes/ 36880 Woods
Address	Cnr Hume Highway & Sappho Road Warwick Farm
Contact No (telephone/fax)	9601 4066
DA / CDC Number:	2010/1546
CC Number:	-
Lot	59
Building Address	12 Arnott Cr
	Warriewood
address, have been inst	in BASIX Certificate Number: 312949s for the above talled in a proper and workmanlike manner.  part of this certificate – eg fluorescent lighting, outdoor clothesline
Note: air conditioning is not permitted.	
Signed by:	On Behalf of Masterton Homes
Date	20 <sup>th</sup> February 2012

CERTIFICATI	_ UI _ UV				CEF	RTIFICATE NO:	T044TA4
ELECTRICAL	_ WORK	21	aut			-	
	R DETAILS	56	880		Ťel	ephone Contact	
Name WOO	<9 (NO-YZ) (	ARNOT	F a	265		Meter No:	
	ARRIEWOOD.					MI (if applicable)	11525186
Cross Street		Post	code			ork performed un	der this Notice
Cross Street	RK DETAILS Indicate	the type o	of Insta	illation and typ	Des OI W	OTK POLICE	□ Other
	Residential	Comme	rcial	I IIIddoini			Unmetered
Special	over 100 amps	] High Vo	Itage	☐ Hazardo		Generator	Supply
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CERTIFICATE IV	IUST BE ISSUED g type must ALSO be	notified to	the El	LECTRICITY	DISTRI	BUTOR (DNSP)	storing
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Circuits		65					
Ughting Socket-outlets	-	\$3_			10 1100	only	
P Appliances			4				nstellation/service mains
Estimated increas	e in load A/ph	<u></u>	\\	I Increased K	COBDEC	ted to supply pen	ding inspection by DNSP
Work is conne	cted to supply			1 WOFK IS HOL	1		
The work has been		55 TA	JAN.		1	L.E.	en performed on the work. attach as separate sheets.
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JESI REPORT					3011001	tion	
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Insulation res	istance MΩ			ual check that	er syste	em complies with	AS 4509
To A Landan		{;					
Correct circui	t connections		. 4	- Journally Che	acked ti	hat the installation	on work described in this
I confirm that I ! Certificate com	nave carried out the plies with AS/NZS 3	above tes	suita	ble for its into	ended ب ا	ise. Icence No: 12	on work described in this
[ //	155 TATION					124	10-2011
Signature:	file-					. —	·.
CERTIFICATIO  I, the Electrical  (Name of DNSI  Electricity (Col	N Contractor give no Por OFT), that the wasumer Safety) Reg	tice to the rork descr ulation 20	Custo ibed i 06	omer and n this Certific	ate has	been complete	d in accordance with the
Name:	YSS TATTAN	. — -				10	14000
Signature:	fatos				_	le of Notice: 8	10-601
Address: 7	17 PALMER	51 9	21/4	060(D)	or O	ther Contact	41 (0 (0 01)
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Comments:	<del>.</del> <del></del>						11660



41 Lemongrove Road Penrith NSW 2750

ABN 22 092 136 117

### Land and Engineering Surveyors

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.) - Daniel Galluzzi (Dip. Struct. Eng.)

PO Box 259 Penrith NSW 2751 Telephone: (02) 4732 2040 Fax: (02) 4732 1846

Email: admin@cadconsulting.com.au

Our Ref: 37835

2<sup>nd</sup> February, 2012

Masterton Homes Pty Ltd PO Box 323 LIVERPOOL BC NSW 1871

Re: Woods - 36880

Dear Sir

Upon your instructions we have made a survey at Lot 59 as shown on Deposited Plan 30836 having a frontage of 15.24 metres to the northern side of Arnott Crescent at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and found erected thereon and wholly within the prescribed boundaries a one and two storey brick dwelling roofed with tile and I have to make the following report.

It is my opinion that the dwelling complies with the setbacks as shown on Building Plan No. 36880 (Construction Plan) dated 28th February, 2011.

Levels have been taken as shown on the sketch.

Covenant(s) created by H506119, H654627 and H701071 affect subject land.

Encroachments have not been investigated for the purpose of this survey.

A one and two storey cement rendered dwelling No. 14 adjoins to the east. A cement rendered cottage No. 10 adjoins to the west.

This report is of an identification survey on the dwelling only and as such is not registered at Land and Property Information. Subsequent registered or other surveys in this area may affect boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of CAD Consulting who can accept no responsibility for such differences. This report cannot be used for any purpose other than for identification.

Yours faithfully

Registered Surveyor

Our Ref: 37835

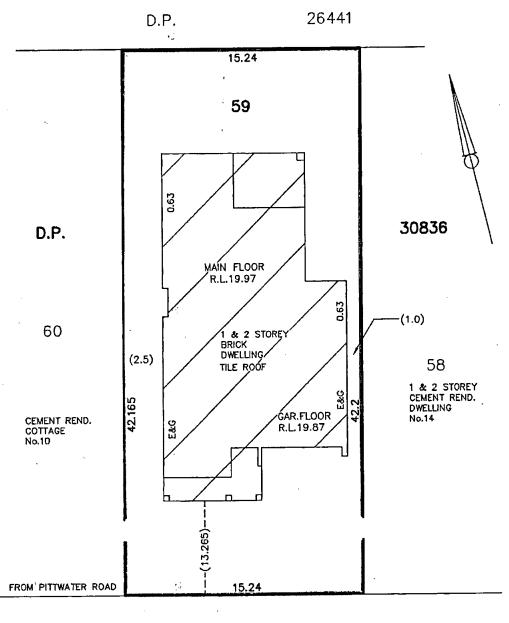
Masterton Homes Pty Ltd

PO Box 323

LIVERPOOL BC NSW 1871

This diagram is to accompany my report dated 2<sup>nd</sup> February, 2012

Registered Surveyor



16.39 BM A.H.D.

**ARNOTT** 

CRESCENT



Dated: 18/10/11

MASTERTON HOMES PTY LTD PO BOX 323 LIVERPOOL NSW 2170

Fax: 96008649

KOLDER PTY LTD Trading as Sydney Shower Screens & Wardrobes ABN 43 059 605 882

56-58 Elizabeth St Wetherill Park NSW 2164 PO Box 6247 Wetherill Park NSW 2164

Wetherill Park NSW 2164

Phone: 02 9612 1000 Fax: 02 9612 1001

www.sydneyshowers.com.au

### GLAZING CERTIFICATE

Your Job No:

36880

Our Reference CRN;

SSS-40783

Our Reference Schedule :

11092936

Site Address :

(LOT 59) #12 ARNOTT CRES WARRIEWOOD

Date of Installation:

This letter is to certify that the Shower Screens and Mirrors installed at the above address were glazed with safety glass, which is warranted by their supplier to be manufactured to meet or exceed AS2208 as 'A' Grade Safety Glass. This Glazing in shower screens also meets or exceeds the requirements of AS1288 Section 5.8 as well as BCA 2010 Volumes 1 & 2.

Yours sincerely,

Evelyn Firth

Kolder Ry Ltd

Trading as Sydney Shower Screens & Wardrobes



Bradford Home Insulation Serial No., 34615513

### **PRODUCT & INSTALLATION WARRANTY NEWLY CONSTRUCTED HOM**

This is to certify that	Bradiord Insulati	on product has be	en mstalled	aı.		
Address Lot 59, 12	ARNOTT CR, W	ARRIEWOOD NS	W 2102			("the Premises")
Date of Installation:	Ceiling / Roof :	22 Sep 2011	Walls:	23 Aug 2011	Floor:	23 Aug 2011

		Material R-Value	
Product installed:	Ceiling/Roof	Wall	Floor
Bradford Gold Insulation	R3.5	<u>R1.5</u>	
Bradford Gold HP Insulation		· ·	<u> </u>
Bradford SoundScreen™		R1.6	R3.0
Bradford Optimo™ Subfloor Insulation	Sept and the second second second second		
Bradford EnviroSeal™ Wall Wrap[Yes/No]		No	

### LIFETIME\* BRADFORD PRODUCTS WARRANTY

CSR Building Products Limited ACN 008631356 ("Bradford") warrants that Bradford Gold, Bradford Gold HP, Bradford SoundScreen and Bradford Optimo Sub-Floor Insulation ("Bradford Products") installed at the Premises will meet the following standards for the life of the home\* provided they are not disturbed after installation.

- Achieve optimum fire resistance performance of four zeros when tested in accordance with Australian Standard 1530 part 3 of
- Be electrically non-conductive, allergy free, will not pack down, will not rot or support mould or deteriorate.
- Achieve the stated thermal resistances (R-values) in accordance with AS/NZS4859.1.

Bradford EnviroSeal Wall Wrap is warranted by Bradford for 10 years from

the date of installation. This warranty provides for the replacement or re-installation of insulation or refund up to the original invoice value of the relevant Bradford Products.

### **7 YEAR CEILING INSTALLATION WARRANTY**

The Installer has provided the installation service in respect of Bradford Gold, Bradford Gold HP, Bradford SoundScreen, Bradford Optimo Sub-Floor Insulation and Bradford EnviroSeal Wall Wrap ("the Installed") Bradford Products") at the Premises and Bradford warrants that the installation service has been provided with due care and skill and has been performed in accordance with Bradford's recommendations and all relevant standards.

Subject to the conditions below, Bradford warrants for a period of 7 years from the Installation Date that the installation of the Installed Bradford Products, as referred to in this warranty, will not materially increase the risk of fire within the Premises.

In circumstances where the Installed Bradford Products are independently assessed as having materially contributed to any fire within the Premises, this warranty covers resulting property damage up to a total value of \$2 million.

This 7 Year Installation Warranty will cease to apply if and when:

\* The Installed Bradford Products (Gold, Gold HP, SoundScreen,
Optimo,Bradford EnviroSeal Wall Wrap) are moved, tampered with or otherwise disturbed post installation; or
\* In the case of ceiling insulation, where additional downlights,

ducted air conditioning or any other ceiling penetrations are installed (including re-installation of existing downlights in a new position) in the Premises post installation; or In the case of wall insulation where any additional cables,

electrical wiring, electrical fittings & outlets are installed in the Premises post installation.

Other than as set out above, the Lifetime Bradford Products Warranty and the 7 Year Installation Warranty are in substitution for and to the exclusion of all other rights and remedies (if any) including liability personal injury, property damage, loss of profits, savings or opportunity or special or consequential loss, however caused or arising.

Certain legislation, including the Trade Practices Act 1974 (Cth), may imply warranties or conditions or impose obligations upon Bradford that cannot be excluded, restricted or modified or cannot be excluded, restricted or modified except to a limited extent. This warranty must be read subject to those statutory provisions. If these statutory provisions apply, to the extent to which Bradford is able to do so, its liability under those provisions will be

limited, at its option, to:
(a) the replacement of the goods, resupply of the services, or

supply of equivalent goods or services;

(b) the payment of the cost of replacing the goods or supplying the services again, or acquiring equivalent good or services;

(c) the repair of the goods; or (d) the payment of the cost of having the goods repaired.

### **HEALTH and SAFETY INFORMATION**

Information on health risks and safe handling of our products is displayed on the packaging and/ or the documentation accompanying them.

Additional information is listed in product Material Safety Data Sheets available from your regional Bradford Insulation office or on our website www.bradfordinsulation.com.au.

\*The life of the home is taken by Bradford to be 70 years from the date of product installation, for the purpose of this warranty.

Ray Thompson

Group Marketing Manager Bradford Insulation Group **CSR Building Products Limited** ABN 55 008 631 356



### RAFELETOS



ABN 35 079 047 466

Level 2, 103 Vanessa St. Kingsgrove NSW 2208

Telephone : (02) 9554 9311

Facsimile: (02) 9554 9764

**DATE** 

Friday, 15 April 2011

**OUR REFERENCE** 

33933M

YOUR REFERENCE

WOODS

**JOB LOCATION** 

LOT 59, 12 ARNOTT CRES WARRIEWOOD

### **COMPLIANCE CERTIFICATE**

Pursuant to the provisions of Part 4A Section 109C of the Environmental Planning and Assessment Act 1979 and Part 8 Section 138 of the Regulations 2000.

This is to certify that an inspection of the pier holes was undertaken at the above mentioned site prior to the placement of any concrete.

The piers have generally been placed based on the current engineers details and to our approval.

Yours Faithfully

John Rafeletos

B.E. M.I.E. Aust C.P.Eng NPER3 Structural and Civil Accedited Certifier BPB 0338

### RAFELETOS



### ZANUTTINI

ABN 35 079 047 466

Level 2, 103 Vanessa St. Kingsgrove NSW 2208 Telephone: (02) 9554 9311

Facsimile: (02) 9554 9764

DATE

Tuesday, 19 April 2011

**OUR REFERENCE** 

33933M

YOUR REFERENCE

WOODS

**JOB LOCATION** 

LOT 59, 12 ARNOTT CRES WARRIEWOOD

### **COMPLIANCE CERTIFICATE**

Pursuant to the provisions of Part 4A Section 109C of the Environmental Planning and Assessment Act 1979 and Part 8 Section 138 of the Regulations 2000.

This is to certify that an inspection of the slab reinforcement was undertaken at the above mentioned site prior to the placement of any concrete.

The slab has been constructed and the reinforcement placed based on the current engineers details and to our approval.

Yours Faithfully

John Rafeletos

B.E. M.I.E. Aust C.P.Eng NPER3 Structural and Civil

Accedited Certifier BPB 0338



31 October 2011

Masterton Homes Pty Ltd 2 Sappho Road WARWICK FARM NSW 2170

### RAINWATER HARVESTING COMPLIANCE LETTER

RE: 9936880/045

Woods

Lot 59 No 12 Arnott Crescent

WARRIEWOOD NSW 2102

This letter certifies that Tankworks Australia Pty Ltd has delivered components of a rainwater harvesting system to the above mentioned address. It also certifies that the tank complies with our manufacturing standards and AS2180. Tank details are as follows:

Item	Description	Colour	Capacity (Ltr)
SL-0700-2900-1860	Slimline Water Tank	Dune	3,580.00

An automatic pump diversion system, first flush and "rainwater - not for drinking" label have been delivered to a plumber nominated by your business for installation of the system.

Matthew Tranby
Operations Director



### **CERTIFICATE OF COMPLIANCE**

This certificate is to certify that 240Volt hard wired smoke detectors with back up battery have been installed in accordance with Australian Standard no. 3786-1993 "fire alarms" and Australian Wiring Rules 3000:2007 at the following address:

Builder:	MASTERTON HOMES (NSW) PTY. LTD.
Client:	woods 36860
Address:	LOT 59 ARNOTT CRES.
	WARRIEWOOD
Date:	11 <sup>тн</sup> . AUGUST, 2011
Type Used:	HPM Professional Smoke Alarm
	Hard wired into light circuit and interconnected when multiple smoke detectors required.
STEVE SMITH	Samo

# **Colour Selection**

Complete colour, fittings and tile selection document

Masterton New Mansion Package Including:  LG Home TI  Range  Foundations  Colour  Flush  Colour  Colour  Barramundi  Colour  C		Inclusion Eave)  Opal  PGH  PGH  Profile  Concrete Tile  Traditional  Standard  Standard	
		SION EAVER	
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Masterton New Mansion Package  LG Home Theatre System  CGIGUT		SION LAVER	
Masterton New Mansion Package  LG Home Theatre System  Colour		SION LAVE	
Masterton New Mansion Package Including:  LG Home Theatre System  Range Colour  Foundations Cement Conduct  Flush Colour Racafellanket  Barramundi Sarking Colour  Colour Colour  Barramundi Sarking Colour  Colour Colour  Black  Colour		SION EAVEN	
Masterton New Mansion Package Including: LG Home Theatre System  Range Cofour  Continue  Colour  Barramundi Roof, Blanket  Colour  Colour  Barramundi Colour  Colour  Colour  Barramundi Sarking  Colour  Colour  Barramundi Sarking  Colour  Colour  Barramundi Black		SION EAVER	
Masterton New Mansion Package Including: LG Home Theatre System  Range Colour Conditions  Foundations Cement Condition  Filish Condition  Barramundi Roof, Blanket Condition  Colour Condition  Colour Condition  Colour Condition  Colour Colour  Colour Colour  Colour Colour  Colour Colour  Colour Colour		SION Level	
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14/01/2011	Prepared: 14/01		Document 4
Signed 14/01/2011 12:00:00AM	Status: Signe		ge:
Deborah Wakeham	Consultant: Debo	RIEWOOD NSW 2102	Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102
9944 6980 (M): 0418 659 278	Phone (H): 9944	ds	
īs	Contact: Brad		Job Number: 9936880

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Masterion Home

Page: 1 of 13

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External Handrail  Soffit / Eave Lining	Entry Door & Jamb	PVC Downpipes	Rainwater Tank Type Type Gas Instantaneous Additional Gas Instantaneous to 1st	Garage Door Panel-glide Door Garage Door Opener	Gutter	Job Number: 9936880 Document: 4 Client Name; Mr Brad & Mrs Cherry-Ann Woods Job Address; Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102 House Package; Villing 36
Glass Finish Paint Client 1 Signar	Finish Paint Paint Paint	Paint  To Cladding	antaneous to 1st	- Woodgrain		Contact: Braden Phone (H): 994 Consultant: Det Status: Sign
Taubmans  Client 1 Signature / Date 1 Page: 2 of 13  Client 2 Signature / Date 2 Of 13  Client 2 Signature / Page: 2 of 13	Range White Taubmans Colour Range Colour Range Colour Range Colour Colour	Range  Collour  Cother  Taubmans  Taubmans Manhattan T122-6W  Manhattan T122-6W	Colourbond Steel Capacity C7 Litre C7 Litre C7 Litre set at 50 degrees C6 Dune C7 Litre C7 Litre C7 Litre C7 Litre	Standard Surfmist Position Single Door Colour	M21, W0  Colour  Colour  Surfmist  Colour	Brad Woods 9944 6980  Deborah Wakeham 14/01/2011 12:00:00AM Signed Comfortone Grey W17, W18, W20,

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993880         Document:         4         Contact:         Fract &	1/2 Strength Manhattan T122-6W		rt Primeline Weatherboards		imber Cladding
9935880         Document: 4         Contact: Plant Woods         Document: Plant Woods         Contact: Plant Woods         Phone (H): 9944 6980         9944 6980         (M): 0418 659 278           Mr. Brad & Mrs Cherry-Ann Woods         Consultant: Deborah Wakeham         Deborah Wakeham         14/01/2011 12:00:00AI           Lof 59, 12 Amott Crescent WARRIEWOOD NSW 2102         Frintsh         Range         Colour           Status: Signed         Range         Colour           Paint         Range         Colour           Manhattan Taubmans         Colour           Paint         Frintsh         Range         Colour           White         White         Colour           Paint         Match Colourbond         Surfmist           Beam         Range         Colour	Other	Taubmans			
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3B-M Stainless Steel	A604VTGB-M	AEG	Natural Gas	
	Model	Wantifacturer	Gas//Elect	
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		THE TAXABLE CONTRACTOR		
			Bed 1 & Bed 2	المادور ومورش أوأيام ما
White	Full Mirror	Mirror	Smartrobe Doors	Washington Doors (Type V)
	Model	Range	Type with the second se	
A COLOR OLD COLOR		riusii	Smartrobe Doors	Wardrobe Doors (Type 1)
n) White	Primernat (H1)	Range		
Track Colour Track Colour	William Section	A CONTRACTOR OF THE PROPERTY O	LEDVILLED LEDVILLED VALUE OF THE WAY OF THE WAY WAY	
Saun Chrome	Carla Lever	Contractor 100 Series	Gainsborough	Door Furniture
	"Model"	Range	Manufacturer	
A PART IN THE REAL PROPERTY STATES THE PROPERTY OF THE PARTY	2040(1811		First Floor Doors	
Market Ma	Accent	CAST CONTRACT OF THE PARTY OF T		
The same of the sa	Range		A THE LEAD OF THE PARTY OF THE	
HAG9	Accent	2040mm	TARA JANA ANTARA SANTANANA MATAMATANA MATAMATANA MATAMATANA MATAMATANA MATAMATANA MATAMATANA MATAMATANA MATAMATANA M	Ground Floor Doors
	Range	Height		
				internal hears.
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	Carla	Contractor 100   ever Series	Gainsporougn	Internal Access Door Furniture
ole CvI) Satin Chr	BAR Deadh	Railye		
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				Informal Actions Door The Late of the Late
	OU DOGODON	Contractor Series Deadboil	Gainsborough	Laundry Door Deadbott
Stainless Steel	Model Feb Doodh	Range	Manufacturer	
14/01/2014 12.00.007 ver	Signed	Status:		ge
	Debotan Asavaran	Consultant	RIEWOOD NSW 2102	Job Address: Lot 59, 12 Arnott Crescent WARRIEWOOD NSW 2102
	Dohomh Makel	Phone (H):	ds	Client Name: Mr Brad & Mrs Cherry-Ann Woods
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	Mr. Brad & Mrs. Cherry-Ann Woods		₹	9944 6980 (M): 0418 659 278	659 278
Job Address:	Lot 59, 12 Arnott Crescent WARRIEWOOD NSW 2102	RIEWOOD NSW 2102	Consultant: De	Deborah Wakeham	
ge:	Villina 36		Status: Si	Signed 14/01/2011	14/01/2011 12:00:00AM
		Manufacturer	Type Slideout - 900mm	Model RRE934	Colour Management of the Colour Management of
	A STATE OF THE PARTY OF THE PAR	ifacturer the manufacturer of the second		Model	Colour
Dishwasher		AEG	Inbuilt	F88025VIM	Stainless Steel
XICHEL CUBBOARD					
					Overall Kitchen Height
Kitchen Style	. STATE OF THE PROPERTY OF THE	ZEROJEKAN HATI PERMANAHAT TERRETAKAN PERMANAHAT PERMANA		ack	2400mm
				Height 900	from finished floor level
	A STATE OF THE STA	Type:	Range	Colour	Eage
Benchtop:	Section with the light section of the section of th	Quantum Quartz	<u>a</u>		20mm Aris
In the second second second second	A STATE OF THE STA	Type	Range	Syle	Colour
Kitchen Doors		Createc	Solid Gloss (Standard)	Square Edge	Ultra White
A CONTRACTOR OF THE PARTY OF TH	a contract the contract of the	Range	Type	Model/Finish	Door Position
Utility Draw Handles	andles	Level 2	Handle	\$135/128/192	Horizontal
		Range	Type		Door Position
Pot Draw Handles	INDIVIDUAL CONTRACTOR OF THE C	DE LA COLOR DE LA CALLACA PARA	Handle	\$135/128/192	Horizontal
		Range	Type	Modeurinish	DoorPosition
Door Handles		Level 2	Handle		Vertical
				ard Height (approx)	Colour Colours
Kickboards	Compared to the Control		TADIR MANTALATA INTERNATIONAL MANTALATAR INTERNATIONAL PROPERTIES OF THE CONTROL		
			Type		Colour
Splashback			Mirror		OHOET
		Manufactuer	Syle		Drainer Poston
Kitchen Sink		Oliveri	Undercounter		Integrated Filted Lett Haird
			Manufacturer		Colour, Colour
Kitchen Mixer			Gallery	Goya Mixer	Chrome
Bathrooms					
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HOUSE Lackage, Annua Co		na sa manananananananananananananananananana		The state of the s	
Vanity Top		Type 1500 Moulded Height 950	Range Monaco		3 Doors Left VH3L
	A Commence of the Commence of	Type			
Vanity Basin	A CHE BOOK STANK A COLORED IN A CASK OF THE CA	Moulded			
		Basin Model	Number of Tap Holes		Colour
Vanity Basin Tap Holes	les	Moulded	3	Vaste	CHI CHI CO
		Type	Range		Colour
Vanity Doors		Createc	Solid Gloss (Standard)	A PART OF THE PROPERTY OF THE PART OF THE	MICHIEL FORDE
		Range	Type	Model/Finish	Horizontal
Vanity Handles		Level 1	Handle		
		Range	Type:		
		er en en en en en en en en en en en en en	Manufacturer		Colour
Accessories	THE THE PARTY OF T	A DATA CARLO CONTRACTOR AND AND AND AND AND AND AND AND AND AND	Heirloom	A THE STATE OF THE	COLOME
				Width of Vanity / Height 1000mm	Polished Edge
Vanity Mirror		West upon the second se	AND AND AND AND AND AND AND AND AND AND		
			Range Integrity Fully Framed	Polished Silver	Clear
Shower Screen	S. S.	THOUSENE THE THE THE THE THE THE THE THE THE TH	The state of the s		Colour
		Battinstallation Type	Manufacturer Stylus	Maxton 1700	White
		a Alberta de La Barrella de Comitación de La Caración Manufacturer	Model	Colour	
Toilet Suite			Imperial Ware	Valero Closed Coupled	White
Const Const		n selle in interession de la production de la complete de la complete de la complete de la complete de la comp	Manufacturer	Ränge	Colour
Bath Tapware	ORAN MARINE SOLVEN CONTROL OF	NATIONAL PROPERTY OF THE PROPE	Gallery		
	Section of the sectio	de los listes en selectados estácios de los consecues de servicios de los estados de los estados de los estados	Manufacturer	Range	Colour
Vanity Tapware		**************************************	Gallery		Chrome
		A CONTRACTOR OF THE STATE OF TH	Manufacturer	Range	Colour
Shower Tapware		A SERVICE AND A SERVICE OF THE SERVI	Gallery	Gutl	Chrome
1	*****			Charlann Cooch	4

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( in the second	Guil	Gallery		Vanity Tapware
Chrome	je			
White	Valero Ciosed Coupled	Imperial Ware	THE STATE OF THE S	Toilet Suite
Colour	Model	Manufacturer The Comment of the Comm	A CONTRACTOR OF THE PROPERTY O	
			(Bath)Installation Type	
Clear	Frame/Hinge Colour Polished Silver		Door Type	Shower Screen
Type Polished Edge	1000mm			Vanity Mirror
Chrome		Manufacturer  Heirloom  Delete Double Towel Rail		Accessories
			Range Level 1	Vanity Drawers
Horizontal			Range Level 1	Vanity Handles
Colour Mountain Pepper		oss (Standard)	Type Createc	Vanity Doors
Colour		of Tap Holes	Basin Model Moulded	Vanity Basin Tap Holes
			Type Moulded	Vanity Basin
2 Door Left & 2 Drawer VH2L2D	White	Range	ed	Top
				Ensuite Control Contro
Novelli Astra Hand Shower	Type Handshower	Tapware Range	Tapware Manufacture	
14/01/2011 12:00:00AM	Signed 14/01/2011	Status: Sign	RIEWOOD NSW 2102	Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102 House Package: Villing 36
8 659 278	9944 6980 (M): 0418 659 278		Document: 5	Job Number: 9936880 Client Name: Mr Brad & Mrs Cherry-Ann Woods
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	Gui	Gallery		Vanity Tapware
Chrome	Range	acturer		
	THE STATE OF THE PROPERTY OF THE PROPERTY OF THE STATE OF	THE CONTRACTOR OF THE PROPERTY		Toilet Suite
White	Closed Coupled			
Colour	Mcdel		AND THE PROPERTY OF THE PROPER	CITCHET COLORS AND AND AND AND AND AND AND AND AND AND
Clear	Polished Silver	Integrity Fully Framed	Pivot Door	Shower Screen
(Glazing)	Frame) Hinge Colour	Range	N. Door Type Ways and The Control of the Control of	
Polished Eage	ht 1000mm	A dischipturate in the second	SOURCE CONTRACTOR CONT	Vanity Mirror
Type			THE CONTRACT OF THE PROPERTY O	
TALESCO LA LA LA LA LA LA LA LA LA LA LA LA LA		ngle Towel Rail		Accessones
	Toledo	Manufacturer Heirloom		
	ALE SERVICE SE	(V) (VIIII) A COLOR OF THE COLO		Vanity Drawers
		Type	Range	
	HO10163	Handle	Level 1	Vanity Handles
COOL TO SECUL		Type	Range	
		SIOSO (Californ)	Createc	Vanity Doors
Mountain Pepper				
		N. W. C. C. C. C. C. C. C. C. C. C. C. C. C.	SECTION OF A CONTRACT OF A CON	Vallity Dabit Tab India
Chrome	Pop up Waste			Vanis Basis Tab Uslas
Colour	Pop up waste	Number of Tap Holes	Basin Woder Commence	
			Moulded	Vanity Basin
			Type	
	THE CONTINUES AND STATE STATE STATE OF THE STATE		Height 950	
2 Door VHN2			o Moulded	Vanity Top
Edge	Colour	Range	LANDER OF THE PROPERTY OF THE	
				Powder Rooms of the last of th
NOVER ASIA DATE OFFICE	Handshower			Shower Rose
MOGELIAN THE TANK THE PROPERTY OF THE PROPERTY	Туре	Tapware Range	Tapware Manufacture	
	THE PROPERTY OF STATE AND PROPERTY OF STATE			Shower Tapware
Chrome		curer		
AND THE PROPERTY OF THE PROPER	140 1720 I	Status: Signed		ē
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Client 2 Signature / Date	Date Ji			
	All Marine 11 to Col			The state of the s
		Easycoal & Coal Cystem	Taubmans	Kitchen / Family / Meals
White - Flat	e (NH17)	Specification	Manufacturer	
Ceiling				Lounge / Living Room
White - Flat	Ocean Pebble (NH17)	Easycoat 2 Coat System	THE REPORT OF THE PROPERTY OF	
Celling	Wais	Specification	Manufactures	
		Easycoat 2 Coat System	Taubmans	STATE OF THE PROPERTY OF THE P
White - Flat	Occan Debble (NH17)	Specificanoli	Manufacturer	
Celling	Wallst		CO C C C C C C C C C C C C C C C C C C	The Control of the Co
A 1 11 C - 1 10 C	Ocean Pebble (NH1/)	Easycoat 2 Coat System	Red 5 Taubmans	Bedroom 4
White - Flat	Ocean repole (NTT)	Easycoat 2 Coat System	Taubmans	
White - Flat		Specification	Manufacturer	The state of the s
Calling	THE RESERVE THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN		Jaupmans	Bedroom 3
White - riat	Ocean Pebble (NH17)	Easycoat 2 Coat System	The state of the s	
	Walls with the second s	Specification	Manufacturer	
		A STANSANT OF THE PROPERTY OF	Taubmans	Bedroom 2
White - Flat	H17)	Fasycoat 2 Coat System		
		Specification	Vianufacturer Transcription (1997)	
	THE PROPERTY OF THE PARTY OF TH	EdayCoat & Coat Cycles	Taubmans	Bedroom 1
White - Flat	Ocean Pebble (NH17)	Control of System		
Celing	Wallst	Specification		
Roat Payling and Advance Comment				Internal Painting
				Washing Machine Tapware
Chrome	Dove	Gallery		
	Range	Manufacturer	A CONTRACTOR OF THE PROPERTY O	
		Gallery		Tub Tapware
Chrome	Dove			
Colour	The state of the s	A STATE OF THE PROPERTY OF THE	A STANDARD CONTRACTOR OF THE PROPERTY OF THE STANDARD CONTRACTOR OF THE STA	
		Freestanding	Clark	
	Experience of the (8014)	Type	Manufacturer	The part of the second of the
				Shower Rose
Novelli Astra Hand Shower	Handshower	MACAGOTTE DESCRIPTION OF A MERCAL SANCE AND ANALYSIS STATEMENT OF THE SANCE AND ANALYSIS OF THE		
	Type	Tapware Range	Tabware Manufacture	ALE CLEANING THE CONTRACT OF THE PROPERTY OF T
		STREET, STREET		Shower Tapware
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Colour		A STATE OF THE PROPERTY OF THE		House Package;: Villing 36
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	Deborah Wakeham		STREET NEW 2102	Client Name: Mr Brad & Mrs Cherry-Mili Woods
659 278	9944 6980 (M): 0418 659 278	<b>.</b>	Docament	Job Number: 9936880
	Brad Woods	Contact: Bra	7	
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•	HEWOOD NSW 2102	Status: Signal S		14/01/2011 12:00:00AM
ge: Villina 36				Celling
	Manufacturer  Taubmans	Easycoat 2 Coat System	Pebble (NH17)	White - Flat
Rumpus / Games		Specification	Walls	Ceiling
		Easycoat 2 Coat System	Ocean Pebble (NH17)	White - Flat
Sitting Room / Gallery		Specification	Wals	Celling
		Easycoat 2 Coat System	Ocean Pebble (NH17)	White - Flat
Main Bathroom		The state of the s	Walls	Caling
		Easycoat 2 Coat System	Ocean Pebble (NH17)	White - Flat
Ensuite		A THE PROPERTY OF THE PROPERTY	Walls The Property of the Prop	Celling
	IFOF	Easycoat 2 Coat System	Ocean Pebble (NH17)	White - Flat
Powder Room			Wals	Celling
		Easycoat 2 Coat System	Ocean Pebble (NH17)	White - Flat
Laundry				
The state of the s		Paint / Stain	Colour	AFINST CONTRACTOR OF THE CONTR
String Architaves	Taubmans	Paint	Other	Tall Globa
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		Paint	Other	Full Gloss
Internal Doors	acomany		White	
	Manufacturer	Paint/Shin	Colour	Full Gloss
Stair - Newel Post	Taubmans	Paint	White	Line of the line o
	Manufacture	Paint/Stain	Colour	
		Stain	Masterton Light Stain	Control of the Contro
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Lifestyle Selections				

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/HN2	S		Height 950	· •	
	White		Bed 4 900 Moulded	Top	Vanity Top
	COIOUR TO THE RESERVE OF THE PROPERTY OF THE P	Range		Wellard III	Additional We
				Add on - Wet Area	Add on
RFS 772593 - Gas availability confirmed, standard connection to meter location 1 x Great Room, 1 x Upstairs Lounge, 1 x Ext BBQ					
Gas Imormation  Gas Ref No. & Bayonet Positions				Gas Availability	Gas Availability
					では、生まれる。
Quote #				Timber Flooring	Timber i
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	ั		Document: 5	9936880	Job Number:

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Vanity Basin Tap Holes	Moulded		Pop up Waste	Chrome
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	AND THE PROPERTY OF THE PROPER	Configuration and the configuration of the configur	WodellFinish	Door Position
		Handle	HO10163	Horizontal
Vanity Hangies		HTVDE		
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	ter the state of the second state of the second second second second second second second second second second	Manufacturer		Colour
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			Mirror Size	Polished Edge
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A CONTRACT OF THE PROPERTY OF	DoorType	Range	Frame/Hinge Colour	Clear Clear
Shower Screen	Sliding Door	Series 9300	Polisned Oliver	
	Bath Installation Type			
Bath Carry Control		Wilderton Control of the Control of		A STATE OF THE PROPERTY OF THE
		Manufacturer	Walero Closed Coupled	White
Toilet Suite				3+
		Manufacturer		
Vanity Tapware		Gallery	GIII	
	A CONTRACTOR OF THE CONTRACTOR	Manufacturer	Range	Colour Management of the Colour Colou
Shower Tapware	R. HELDEN CONTRACTOR TO THE CONTRACTOR OF THE CO	Gallery	Guil	
	Tapware Manufacture	Tapware Range	Type	199
		CO. THE STATE OF T	Handshower	Novelli Astra Hand Snower
Add on - amply Cabiners				
Add on - Faultury Capitles		是一次是一个人 人名英格兰人		

Printed: Friday, January 14 2011 12:51 PM Report: W: Framework Report Specing ritspoc\_lobSel\_4Cel\_Iscape.rpt

Page: 12 of 13

Colour Selection				
	Document: 5	Contact:	Brad Woods	
Job Number: ääööööö	### DOOD ### ### ### ##################	Dhone (H)	9944 6980	(M): 0418 659 278
Client Name:	Client Name: Mr Brad & Mrs Cherry-Ann Woods	Filorie (i.i).	Dehorah Wakeham	•
Job Address:	Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102	Consultant		110100111111111111111111111111111111111
Horisa Package: Villina 36	Vilina 36	Status:	oigneo	1-17 0 17 18 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
4				

Please sign and date to indicate that the information is correct and that you have read and understood this document.

I/We Mr Brad & Mrs Cherry-Ann Woods agree to the Colour Selection stated on this document and fully understand and acknowledge that Masterton Homes Pty Ltd takes no responsibility for possible variations due to manufacture; colour, size and natural / environmental product variance of materials and goods. Including, any selection of dark paint colours to external doors which has the potential to warp and distort.

Alterations made after completing and signing of this Colour Selection sheet, will incur a penalty administration fee of \$1,000.00 (one thousand dollars) which will be added to your contract.

Signed	Signed	
	CHUNIQUE! COCO	
	Date	Date / Y//



Masterton Homes Pty Limited

ABN: 52 002 873 047 ACN: 002 873 047 B/Lic: 35558C

Cnr Hume Highway & Sappho Road Warwick Farm

PO Box 323, Liverpool 1871

Tel 02 9601 4066 Fax 02 9601 1426 www.masterton.com.au

	Frame			
	Compliance Certificate			
Council Area:	Pittwater			
Applicant:	Masterton Homes/ 36880 Woods			
Address	Cnr Hume Highway & Sappho Road Warwick Farm	n		
Contact No (telephone/fax)	9601 4066			
DA / CDC Number:	2010/1546			
CC Number:	-			
<i>;</i> *				
Lot	-59			
Building Address	12 Arnott Cr			
Suburb	Warriewood			
	FRAME DEFECTS			
I certify that all frame defect issues identified for the above address, have been rectified in a proper and workmanlike manner and in accordance with BIA & AS1684-2.				
Signed-	Brian Willis - Site Supervisor			
Date	5 <sup>th</sup> September 2012	· .		

## **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84047117254

Telephone: (02) 9612-5000

PO Box 208 Casula Mall NSW 2170 w Level 1, 405 Hume Hwy, Liverpool 2170

w Facsimile: (02) 9612-5050



## **RECORD OF INSPECTION**

CDCNo: COUNCIL:

CDC2010-01546

PITTWATER

Type of Inspection

Storm Water

**Date of Inspection** 

27/04/2011

**Applicant Name** Owner Name Builder Name

Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Woods, Mr Brad & Mrs Cherryann

Masterton Homes Pty Ltd

SUBJECT LAND

Address

12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S DIA CONSENT

Development Consent No

N/A

D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision

Approved

Date of Decision

2/11/2010

**RESULT OF INSPECTION** 

Result

Satisfactory

Re Inspection Required

No

**CERTIFYING AUTHORITY** 

Name of Certifying Authority

Greenfield Certifiers

Name of Accredited Certifier

Stephen Murray

Accreditation No

BPB0282 .

Essential Certifiers Liverpool Certificate No. CDC2010-01546

## **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84047117254

PO Box 208 Casula Mall NSW 2170  $\varpi$  Level 1, 405 Hume Hwy, Liverpool 2170

Telephone: (02) 9612-5000

□ Facsimile: (02) 9612-5050



## **RECORD OF INSPECTION**

CDCNo: COUNCIL: CDC2010-01546 **PITTWATER** 

Type of Inspection 15/08/2011 **Date of Inspection** 

Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes **Applicant Name** 

Framework

Owner Name Woods, Mr Brad & Mrs Cherryann

**Builder Name** Masterton Homes Pty Ltd

SUBJECT LAND

12 Arnott Crescent, WARRIEWOOD 2102 Address

COUNCIL'S DIA CONSENT

N/A Development Consent No

D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision Approved

2/11/2010 Date of Decision

**RESULT OF INSPECTION** 

Result Defective

Re Inspection Required Yes

**CERTIFYING AUTHORITY** 

Greenfield Certifiers Name of Certifying Authority

Name of Accredited Certifier Rick Moy

Accreditation No BPB0281

Essential Certifiers Liverpool Certificate No. CDC2010-01546

# **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84047117254

PO Box 208 Casula Mall NSW 2170  $\varpi$  Level 1, 405 Hume Hwy, Liverpool 2170

ш Facsimile: (02) 9612-5050 Telephone: (02) 9612-5000



## **RECORD OF INSPECTION**

CDCNo: **COUNCIL:**  CDC2010-01546 **PITTWATER** 

Type of Inspection

Framework

**Date of Inspection** 

23/08/2011

Applicant Name Owner Name **Builder Name** 

Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Woods, Mr Brad & Mrs Cherryann

Masterton Homes Pty Ltd

SUBJECT LAND

Address

12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S DIA CONSENT

Development Consent No

N/A

D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision

Approved

Date of Decision

2/11/2010

**RESULT OF INSPECTION** 

Result

Defective

Re Inspection Required

Yes

**CERTIFYING AUTHORITY** 

Name of Certifying Authority

Greenfield Certifiers

Name of Accredited Certifier

Rick Moy

Accreditation No

BPB0281

### **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84047117254

PO Box 208 Casula Mail NSW 2170 σ Level 1, 405 Hume Hwy, Liverpool 2170



#### **RECORD OF INSPECTION**

CDCNo: COUNCIL: CDC2010-01546

PITTWATER

Type of Inspection

Water Proofing

**Date of Inspection** 

12/09/2011

Applicant Name Owner Name Builder Name Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Woods, Mr Brad & Mrs Cherryann

Masterton Homes Pty Ltd

**SUBJECT LAND** 

Address

12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S D/A CONSENT

Development Consent No

N/A

D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision

Approved

Date of Decision

2/11/2010

RESULT OF INSPECTION

Result

Satisfactory

Re Inspection Required

No

**CERTIFYING AUTHORITY** 

Name of Certifying Authority

Essential Certifiers

Name of Accredited Certifier

Rick Moy

Accreditation No

BPB0281

Essential Certifiers Certificate No. CDC2010-01546

## **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84047117254

PO Box 208 Casula Mall NSW 2170 w Level 1, 405 Hume Hwy, Liverpool 2170

Telephone: (02) 9612-5000

w Facsimile: (02) 9612-5050



## RECORD OF INSPECTION

CDCNo: **COUNCIL:**  CDC2010-01546 **PITTWATER** 

Type of Inspection

**Final Inspection** 

**Date of Inspection** 

1/11/2011

**Applicant Name** Owner Name

Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Woods, Mr Brad & Mrs Cherryann

**Builder Name** 

Masterton Homes Pty Ltd

**SUBJECT LAND** 

Address

12 Arnott Crescent, WARRIEWOOD 2102

#### CONSTRUCTION CERTIFICATE DETERMINATION

Decision

Approved

Date of Decision

2/11/2010

#### **RESULT OF INSPECTION**

Result

Defective

Re Inspection Required

Yes

## 1. Complete balustrade to first floor balcony and submit photo to PCA.

#### **CERTIFYING AUTHORITY**

Name of Certifying Authority

Essential Certifiers Liverpool

Name of Accredited Certifier

Stephen Murray

Accreditation No

BPB0282

## **ESSENTIAL CERTIFIERS**

ACN: 100386650 ABN: 84047117254

Telephone: (02) 9612-5000

т Facsimile: (02) 9612-5050



## RECORD OF INSPECTION

CDCNo: COUNCIL: CDC2010-01546

**PITTWATER** 

Type of Inspection

**Final Inspection** 

**Date of Inspection** 

8/10/2012

**Applicant Name** Owner Name

Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Woods, Mr Brad & Mrs Cherryann

Builder Name

Masterton Homes Pty Ltd

SUBJECT LAND

Address

12 Arnott Crescent, WARRIEWOOD 2102

**COUNCIL'S D/A CONSENT** 

Development Consent No

N/A

D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision

Approved

Date of Decision

2/11/2010

**RESULT OF INSPECTION** 

Result

Satisfactory

Re Inspection Required

No

**CERTIFYING AUTHORITY** 

Name of Certifying Authority

**Essential Certifiers Liverpool** 

Name of Accredited Certifier

Paul Cohen

Accreditation No

BPB1993

Signature

Essential Certifiers Liverpool Certificate No. CDC2010-01546

## ESSENTIAL CERTIFIERS

ACN: 100386650 ABN: 84047117254

Telephone: (02) 9612-5000

PO Box 208 Casula Mall NSW 2170 w Level 1, 405 Hume Hwy, Liverpool 2170

■ Facsimile: (02) 9612-5050



#### RECORD OF INSPECTION

CDCNo: COUNCIL: CDC2010-01546

**PITTWATER** 

Type of Inspection

Final OC Completion

Date of Inspection

7/11/2012

Applicant Name Owner Name **Builder Name** 

Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes

Woods, Mr Brad & Mrs Cherryann

Masterton Homes Pty Ltd

SUBJECT LAND

Address

12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S D/A CONSENT

Development Consent No

N/A

D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision

Approved

Date of Decision

2/11/2010

**RESULT OF INSPECTION** 

Result

Satisfactory

Re Inspection Required

Νo

**CERTIFYING AUTHORITY** 

Name of Certifying Authority

**Essential Certifiers** 

Name of Accredited Certifier

Chris Manzi

Accreditation No

**BPB0248** 

Signature

Essential Certifiers Certificate No. CDC2010-01546