

Bernie Cohen & Associates Pty Ltd Trading as

ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84100386650



essentialCERTIFIERS

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☎ Facsimile: (02) 9612-5050

CERT. NO:

FINAL OCCUPATION CERTIFICATE

CDC2010-01546

*issued under the Environmental Planning and Assessment Act 1979
Sections 109C(1)(c) and 109H*

COUNCIL

PITTWATER

APPLICANT

Name Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Address P O Box 4006, MILPERRA BC 1891

OWNER

Name Woods, Mr Brad & Mrs Cherryann
Address 12 Arnott Crescent, WARRIEWOOD
Contact no (telephone/fax) 99446980

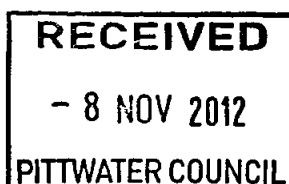
SUBJECT LAND

Address 12 Arnott Crescent, WARRIEWOOD 2102
Lot No 59
DP - 30836

APPROVAL DETAILS

D.A No. N/A
D.A Approval Date
CDC No CDC2010-01546
Date of CDC Approval 2/11/2010
Issued by Essential Certifiers

Essential Certifiers Liverpool Certificate No. CDC2010-01546



336 Rec: 331890 8/11/12

WORKS APPROVED

Description	Proposed construction of a Two Storey Dwelling
Classification	1a

DETERMINATION

Type of Certificate	Final
Decision	Approved
Date of Decision	31/10/2012

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

ACCREDITATION BODY

BUILDING PROFESSIONALS BOARD
Level 3, 3 Marist Place, Parramatta NSW 2150

CERTIFICATE

This is to certify that :

I have been appointed as the Principal Certifying Authority under S109E.

I have taken into consideration the health and safety of the occupants of the building.

A Development Consent/Complying Development Certificate is in force with respect to the building.

A Construction Certificate/Complying Development Certificate has been issued with respect to the plans and specifications for the building.

The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia.

Where required, a final Fire Safety Certificate has been issued for the building.

Where required, a report from the Commissioner of Fire Brigades has been considered.

Essential Certifiers Liverpool Certificate No. CDC2010-01546

FINAL REPORT

The Accredited Certifier certifies that the subject stages of construction were inspected and found to be satisfactory and the development is completed in accordance with the approved plans and specifications and Council's Development Consent conditions if applicable.

Date	Inspection	Inspected by
27/04/11	Storm Water	Stephen Murray
12/09/11	Water Proofing	Rick Moy
08/10/12	Final Inspection	Paul Cohen
31/10/12	Final OC Completion	Chris Manzi

CERTIFICATES RELIED UPON

- \$36.00 Cheque for OC lodgement fee
- Staircase and Balustrade certificate by General Staircase dated 5/9/11
- Survey Report by C.A.D. Consulting dated 19/4/11
- Glazing Certificate for windows and doors by DOWELL dated 2/6/11
- Part A & B Pest Certificates by Termguard (Sydney) dated 19/4/11, 20/4/11 & 16/6/11
- Survey Report by C.A.D. Consulting dated 31/3/11
- Plumbing and Drain work permit application dated 18/4/11
- Sewerage service sheet
- Stormwater layout plan
- Waterproofing certificate by Di Lorenzo P/L dated 20/2/12
- Basix Compliance certificate by Masterton Homes P/L dated 20/2/12
- Electrical Compliance certificate by Ross Tatian dated 8/10/11
- Final Survey Report by C.A.D. Consulting dated 2/2/12
- Glazing certificate for Shower screens and Mirrors by Sydney Shower Screens & Wardrobes dated 18/10/11
- Insulation certificate by Bradford for: -
 - Ceiling/Roof dated 22/9/11
 - Walls dated 23/8/11
 - Floor dated 23/8/11

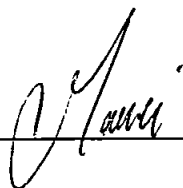
Essential Certifiers Certificate No. CDC2010-01546

-
- Structural Piers certificate by Rafeletos Zanuttini P/L dated 15/4/11
 - Structural Slab certificate by Rafeletos Zanuttini P/L dated 19/4/11
 - Rainwater Harvesting System certificate by Tankworks dated 31/10/11
 - Smoke detector certificate by Statewide dated 11/8/11
 - Colour Selection
 - Record of Inspection by Greenfield Certifiers for: -
 - Stormwater dated 27/4/11
 - Framework dated 15/8/11
 - Framework dated 23/8/11
 - Record of Inspection by Essential Certifiers for: -
 - Waterproofing dated 12/9/11
 - Final dated 1/11/11
 - Final dated 8/10/12
 - Final OC Completion dated 10/10/12
-

CERTIFYING AUTHORITY

Name of Accredited Certifier Chris Manzi
Accreditation No BPB0248

SIGNED:



DATED:

31/10/2012

Essential Certifiers Certificate No. CDC2010-01546



essentialCERTIFIERS

Bernie Cohen and Associates Pty Ltd T/As Essential Certifiers
ABN: 84047117254

PO Box 208 Casula Mall NSW 2170
Level 1, 405 Hume Highway
Liverpool NSW 2170

T: 02 9612 5000
F: 02 9612 5050
E: info@essentialcertifiers.com.au
www.essentialcertifiers.com.au

OCCUPATION CERTIFICATE APPLICATION FORM

Occupation Certificate: In accordance with Clause 149, Division 3 of the Environmental Planning and Assessment Regulations 2000

PART A – Identification of the Land

Lot No: 59 Street No: 12 DP No: 30836

Street: Arnott Crescent Suburb: Warriewood Postcode: 2102

PART B – Applicant Details (Person having Benefit of Development Consent) within the meaning and under the EP&A ACT 1979

☒ Mr ☒ Mrs ☐ Miss ☐ Other

Surname/s: WOODS

First Name/s: Brad & Cherryann

Company/Organisation: C/- Masterton Homes

Full Address of Applicant: PO Box 323 LIVERPOOL BC 1871

Phone: 9601 4066
Fax:

Mobile:
Email:

Signature of the Applicant/s: SEE ATTACHED Date: 09/10/12

PART C – Billing Details

Billing Name: MASTERTON HOMES

ABN:

Billing Address: PO Box 323 LIVERPOOL BC 1871

PART D – Description of Development

Describe the completed building works:

OWELLING

Number of Stories: 2

Number of Structures: 1

Building Classification: 1a

Has development consent been granted for the development?

No



Yes



Consent Number:

N/A

Date of Determination:

Council Area:

PITT WATER

Has a Construction Certificate/Complying Development Certificate been granted for the development?

No



Yes



Construction Certificate/Complying Development Certificate Number:

CDC 10/1546

Date certificate issued:

2/11/10

PART E – Application Type

If you want to occupy or use a new building that is only partially completed, or change the use of part of an existing building, you require and Interim Occupation Certificate. If you want to occupy or use a new building that has been completed, or change the whole use of an existing building, you require a Final Occupation Certificate.

Interim Occupation Certificate ☐

Final Occupation Certificate ☒

PART F – Information to be Attached to the Application

Please cross the appropriate boxes where relevant:

A copy of the Development Consent or Complying Development Certificate



A copy of the Construction certificate



A copy of the Final Fire Safety Certificate



A copy of the Interim Fire Safety Certificate



Any other certificate or document relied upon



essentialCERTIFIERS



LETTER OF CONSENT

I/we the owner/s of the property described below:

Mr. Brad Woods + Mrs. Cherryann Woods
LOT 59, NO. 12 ARNOTT CRESCENT WARRIEWOOD

(Print Full Address of Affected Property)

hereby give consent to Masterton Homes Pty Ltd or their nominated agent being

--

to act on my/our behalf to:

- lodge all relevant applications for Development Consent, Construction Certificates, Complying Development Certificates & Occupation Certificates;
- have discussions with all relevant authorities;
- do all things required to be done or provide all information and documents necessary to obtain such approvals; and
- where applicable, withdraw or cancel the Development Application and obtain a refund, if applicable, of any fees paid.

And I/we also hereby request that all correspondence in relation to this property be directed to:

P.O. Box 4006, Milperra Business Post Centre 1891

I/We expressly acknowledge and agree that Masterton Homes will at all times retain copyright in the plans submitted to Council. The plans can only be used by Masterton Homes and we acknowledge and agree that there is no implied licence for the use of the plans by ourselves, any other person or corporation.

Signed:	<u>BS Woods</u>	
Name (Please Print):	<u>Mr. Brad Woods</u>	Date: <u>21.7.09</u>
Signed:	<u>Cherryann Woods</u>	
Name (Please Print):	<u>Mrs. Cherryann Woods</u>	Date: <u>21.7.09</u>
Signed:	_____	
Name (Please Print):	_____	Date: _____
Signed:	_____	
Name (Please Print):	_____	Date: _____

LETTER OF CONSENT

OWNERS CONSENT

I/we the owners of the subject property hereby give consent for the lodgement all relevant applications (i.e. for Construction Certificate/s, Complying Development Certificate/s, Occupation Certificate/s, Compliance Certificate/s) and associated documentation to Local Certification Services Unit Trust for consideration.

I/we also declare that all documentation presented as part of an application for a Construction Certificate has remained unaltered from that issued with any Development Consent or that any changes have been documented and Local Certification Services Unit Trust have been advised accordingly.

In the event that the nominated Principal Certifying Authority resigns from his employment position with Local Certification Services Unit Trust my signature provided below will also serve as the authorisation for the transfer of the role and responsibilities of the Principal Certifying Authority from the nominated person to Mr Craig Hardy.

PRINCIPAL CERTIFYING AUTHORITY

With reference to this proposed development I/we the owners of the subject property hereby advise of our decision to appoint ☐ Andrew Dean ☐ Callan Blackwell ☐ Craig Hardy ☐ Daniel Powell ☐ Michael Shanahan ☐ Paul Gearin ☐ Sam Pratt ☐ Paul Morgan ☐ John Parkinson ☐ _____ to fulfil the role of Principal Certifying Authority (PCA) as outlined in the Environmental Planning and Assessment Act, 1979 (as amended).

I/we understand that this engagement shall be subject to the Terms and Conditions outlined in this application and the associated Schedule and I/we further understand that he will carry out all mandatory inspections required by the Act during the course of construction along with any others that he deems to be necessary and referred to the abovementioned Agreement.

I/we also advise that I/we are aware of the conditions attached to any Development Consent (i.e. Local Development Consent or Complying Development Consent) and are aware of our responsibilities in relation to those conditions.

SIGNATURES

THE APPLICANT/OWNERS

Owner 1 / Applicant

Signed: Brad Woods
Name (Please Print): Mr. Brad Woods Date: 21.7.09

Owner 2

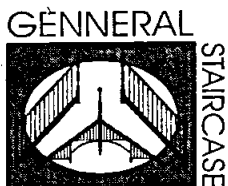
Signed: Cherryann Woods
Name (Please Print): Mrs. Cherryann Woods Date: 21.7.09

Owner 3

Signed: _____
Name (Please Print): _____ Date: _____

Owner 4

Signed: _____
Name (Please Print): _____ Date: _____



GENNER HOLDINGS Pty Limited A.B.N. 97 003 708 343
Established 1971 B/Lic No.113084C



GENNERAL STAIRCASE
PO Box 7089 WETHERILL PARK NSW 2164
Ph: 9609 7777 Fax: 9609 7888
stairs@genstairs.com.au
www.genstairs.com.au
VISIT OUR SHOWROOMS
C12/1 Burbank Place Baulkham Hills 2153
12B Davis Road Wetherill Park 2164

10/1546
MF

CERTIFICATE OF COMPLIANCE AND GUARANTEE

23/02/12

BUILDER: Masterton Homes
PO Box 125
Liverpool 1871

INVOICE NUMBER: 26016

ADDRESS: Lot 59, 12 Arnott Cres Warriewood

DATE OF INSTALL: 5/09/11

This certificate hereby guarantees the supply and installation of the Staircase and Balustrade on the above project for a period of 7 years.

All work carried out by Genneral Staircase for the above project has been designed, manufactured and installed as per the current BCA regulations (Class 1 and 10 Buildings Housing Provisions - Volume 2) including all relevant Australian Standards as applicable, and in accordance with the plans and specifications provided by you.

Standards for reference;

Staircase - B.C.A Stair Construction, Part 3.9.1, AS 1657.

Balustrade - B.C.A Balustrades, Part 3.9.2, AS/NZS 1170.0, 1170.1 & 1170.2 where applicable.

The warranty provided, however does not cover misuse, damage from factors such as water, fire or other external factors beyond our control.

If there are any further queries in regards to our work, please do not hesitate to call the undersigned on 9609 7777.

Sincerely Yours,

...
Genneral Staircase

Visit our virtual showroom at,

www.genstairs.com.au



MEMBER OF THE INSTITUTION
OF SURVEYORS AUSTRALIA

41 Lemongrove Road
Penrith NSW 2750

10/1546

BC

C.A.D. Consulting

Proprietor: C.A.D. Surveying Services Pty Ltd
ABN 22 092 136 117

Land and Engineering Surveyors

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.)
- Daniel Galluzzi (Dip. Struct. Eng.)

PO Box 259
Penrith NSW 2751

Telephone: (02) 4732 2040
Fax: (02) 4732 1846
Email: admin@cadconsulting.com.au

Our Ref: 37835

19th April, 2011

Masterton Homes Pty Ltd
PO Box 323
LIVERPOOL BC NSW 1871

Re: Woods - 36880

Dear Sir,

Upon your instructions we have made a survey at Lot 59 as shown on Deposited Plan 30836 having a frontage of 15.24 metres to the northern side of Arnott Crescent at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and I have to make the following report.

Our survey is limited to locating the formboards found on site.

It is my opinion that at the time of survey the formboards on the site comply with the offsets shown on Building Plan No. 36880 (Construction Plan) dated 28th February, 2011.

Levels have been taken as shown on the sketch.

Covenant(s) created by H506119, H654627 and H701071 affect subject land.

Encroachments have not been investigated for the purpose of this survey.

A one and two storey cement rendered dwelling No. 14 adjoins to the east. A cement rendered cottage No. 10 adjoins to the west.

Yours faithfully

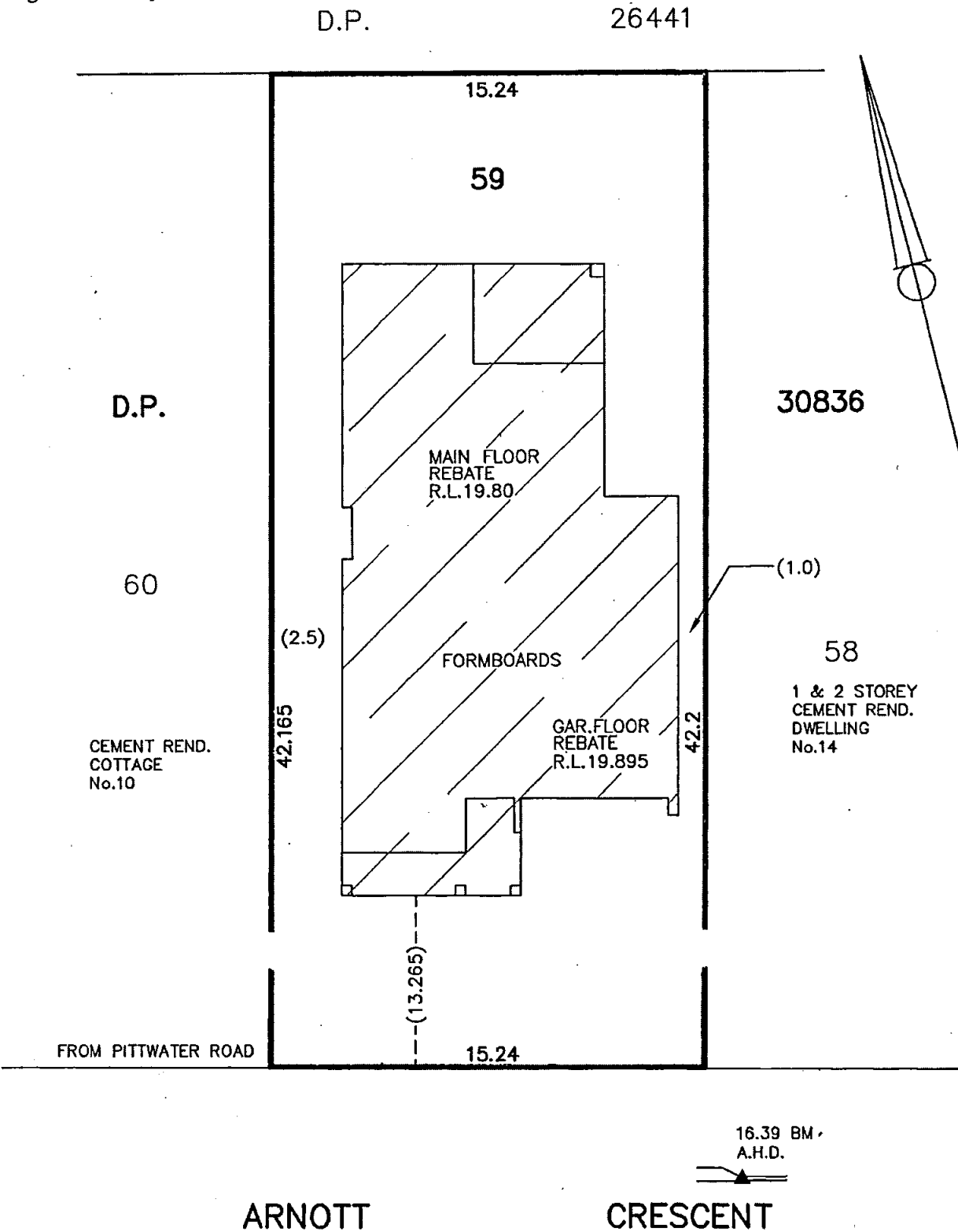
Registered Surveyor

Our Ref: 37835

Masterton Homes Pty Ltd
PO Box 323
LIVERPOOL BC NSW 1871

This diagram is to accompany my report dated 19th April, 2011

[Signature]
Registered Surveyor





BORAL WINDOW SYSTEMS LTD ABN 78 004 069 523
312 Woodpark Road
Smithfield NSW 2164
Telephone (02) 9757 0555
Facsimile (02) 9604 9440

GLAZING CERTIFICATE

2/06/2011

MASTERTON HOMES (NSW) P/L
CNR HUME & SAPPORO RD
WARWICK FARM
NSW

Dear Customer,

RE: ARNOTT CRES LOT 59 (12)
WARRIEWOOD

Sales Order No: 85624 Rep No: 110
Customer Order No 9936880/049

We Confirm that the Dowell Aluminium Windows and doors supplied to the above project were manufactured to conform with the requirements of an **N2** rating and glazed and assembled in accordance with the requirements of the following Australian Standards:

AS2047-1999 Windows in Buildings

AS1288-2006 Glass in buildings

AS4055-2006 Wind Loads for Housing.

Note: based on the 2006 revision to AS1288 and AS4055 'ultimate limit state design pressure', the following applies;

N1 - 700paUWP N2 - 1000pa UWP N3 - 1500paUWP N4 - 2200paUWP

N5 - 3300paUWP N6 - 4400paUWP

Note: Windows have been supplied to meet the requirements of AS3959-2009. In cases where Dowell Windows have not supplied screens, it is the builder's responsibility to ensure that the screens have been supplied and certified to comply with the requirements of AS3959-2009.

The responsibility for installing windows in the correct manner and position within the structure lies with the purchaser. Further, if the windows have been supplied to comply with a window schedule and not from a take off from a plan, Dowell A Boral Company will not accept responsibility for the accuracy of the 'Human Impact' requirements encompassed in AS1288.

Yours Faithfully

Chris Sutherland
Branch Manager NSW

Aparna Dalal
Credit Officer

TERMguard (Sydney) Pty Ltd

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141
Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER: MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

Slab Penetrations

Ref. 45987000

LEGEND

Treated area



Plumbing line



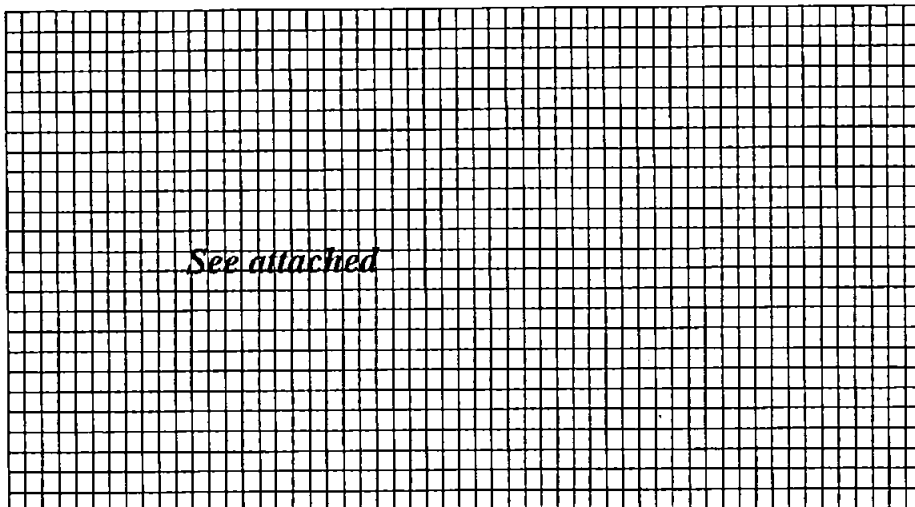
Pier



Steps



Rough sketch only -
refer builder's plans for
true dimensions.



DATE OF TREATMENT: 19/04/2011

SPECIAL CONDITIONS: JOB # 9936880/041

Number of Penetrations: 14

Materials Applied: TERMISHIELDS

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by: M Maynard

Signature:

R. Sapsford

Warranty is 12 months unless indicated otherwise.

38795
targets termites - safeguards you
termguard
reticulation system

(SYDNEY) PTY LTD
Unit 11, 12-18 Victoria East St Lidcombe NSW 2141
INSTALLATION SHEET

Builder: Masston Date: 19.4.11

Site Address: 12 amott cr

Warriewood Job Sheet No.: 083893

Installer: Mult Lic No.: 45987000

SIGNED: M B Ref No.: 45987001

Environmental Information

JOB PLAN

External

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐

Truck mounted spray ☐

Other

Cavity

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐

Truck mounted spray ☐

Other

Wind Speed Wind Direction

Time Start Time Finish

Construction Type

☐ In-fill slab

☐ Slab on ground

☐ B/J Timber floor

☐ Suspended Floor

Area Protected

Under Slab M2 Perimeter L/m

Subfloor M2 Penetrations Qty 14

Cure M2 224 C/Joing L/m

Other

Method of Protection

☐ Physical Barrier

☐ Chemical Barrier

Type

Legend

Reticulation Legend

Path trap ☒

Drilled pipe ———

Undrilled pipe - - - -

End cap ———

Physical Barrier Legend

Penetration ☒

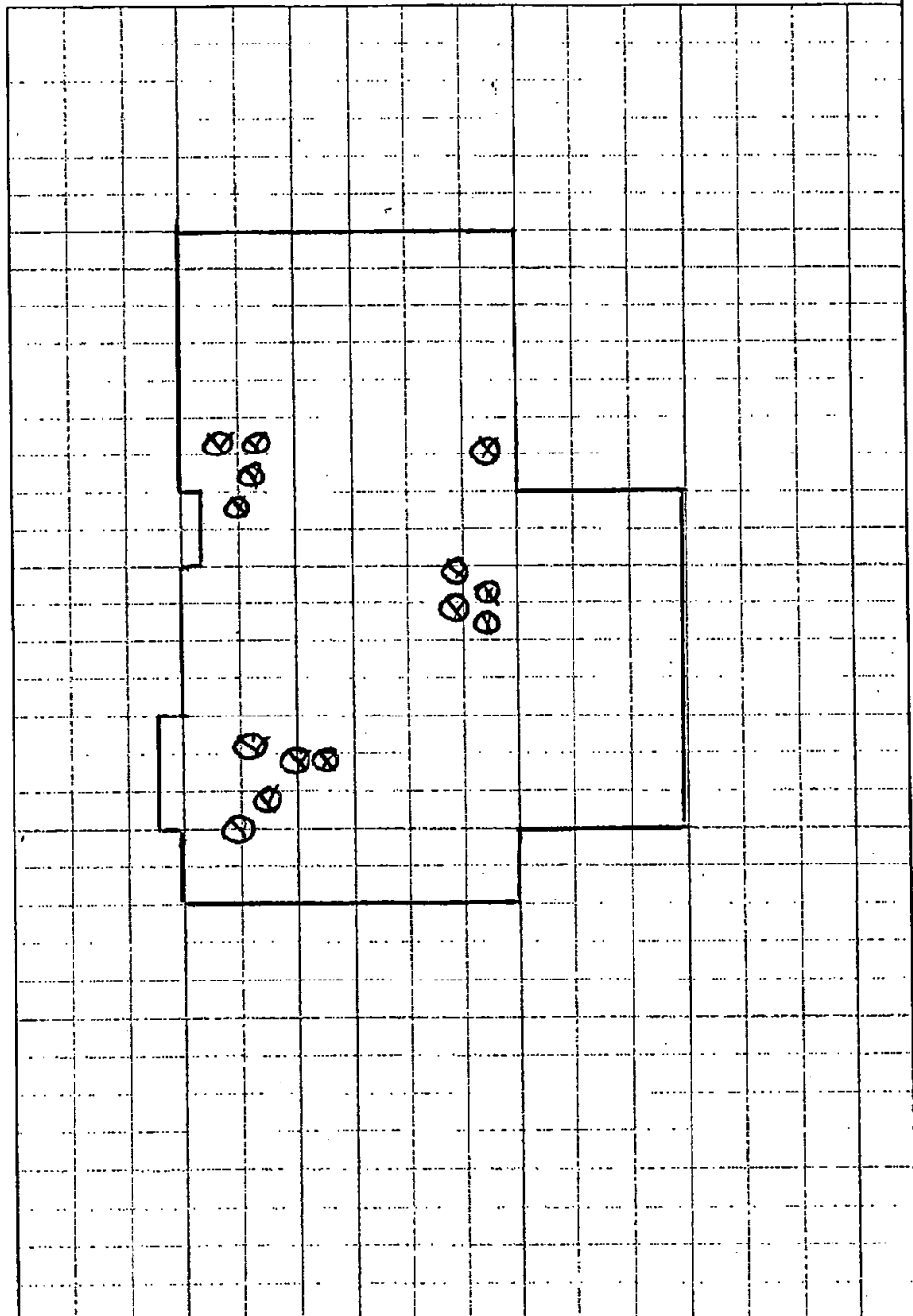
Start / Finish X

Granitgard //

TriThor / Homeguard #

Chemical Barrier

Area Protected /



TERMguard (Sydney) Pty Ltd

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141
Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER: MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

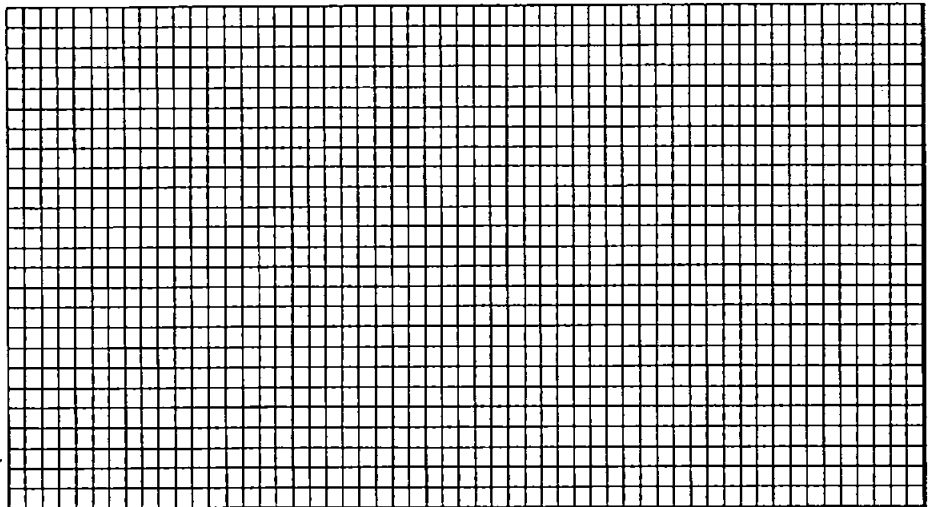
Curing

Ref. 45987001

LEGEND

Treated area 
Plumbing line 
Pier 
Steps 

Rough sketch only -
refer builder's plans for
true dimensions.



DATE OF TREATMENT: 20/04/2011

SPECIAL CONDITIONS: JOB # 9936880/041

Area Protected: 224.34 square metres

Materials Applied: RENDERCURE

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by: M Maynard

Signature:



R. Sapsford

Warranty is 12 months unless indicated otherwise.

TERMguard (Sydney) Pty Ltd

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141
Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

CERTIFICATE OF TREATMENT

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SITE ADDRESS: WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]

BUILDER OR OWNER: MASTERTON HOMES PTY LTD

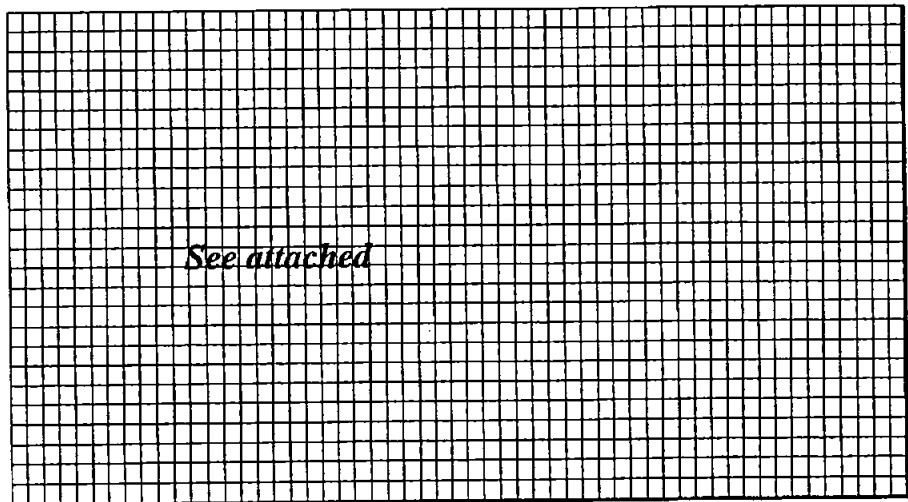
ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

Ref. 45987003

LEGEND

Treated area 
Plumbing line 
Pier 
Steps 

Rough sketch only -
refer builder's plans for
true dimensions.



DATE OF TREATMENT: 16/06/2011

SPECIAL CONDITIONS: JOB # 9963880/041

Materials Applied: BLOCKAID TO PIERS

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by: C Cruze

Signature:



R. Sapsford

Warranty is 12 months unless indicated otherwise.

TERMguard (Sydney) Pty Ltd

P.C. Licence No: 611 Unit 11/12 Victoria Street, LIDCOMBE NSW 2141 A.C.N. 003 295 663
Phone: 9643 8300 Fax: 9643 8388

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, 12 ARNOTT CRESCENT [lot 59]
BUILDER OR OWNER: MASTERTON HOMES PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

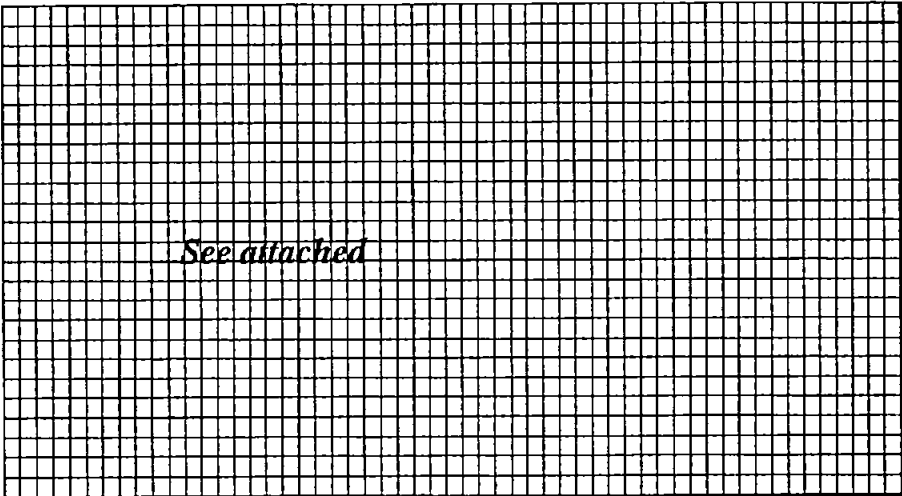
Cavity Treatment with Granitgard

Ref. 45987002

LEGEND

- Treated area 
- Plumbing line 
- Pier 
- Steps 

Rough sketch only -
refer builder's plans for
true dimensions.



DATE OF TREATMENT: 16/06/2011
SPECIAL CONDITIONS: JOB # 9936880/041
Linear Metres: 60 metres
Materials Applied: GRANITGARD

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above.

Applied by: C Cruze

Signature: 
R. Sapsford

Warranty is 12 months unless indicated otherwise.

38795

targets termites - safeguards you

termguard (SYDNEY) PTY LTD

reticulation system

Unit 11, 12-18 Victoria East St Lidcombe NSW 2141

INSTALLATION SHEET

Builder: MASTERTON HOMES

Date: 16/6/11

Site Address: LOT 59 12 ARLOTT CRES

HARRIEWOOD

Job Sheet No.: 086135

Installer: CHRIS CASE

Lic No.: 212

SIGNED: [Signature]

Ref No.: 4598 7002 / 3

Environmental Information

External

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐

Truck mounted spray ☐

Other

Cavity

Chemical Name

Vol of Concentration

Vol of Emulsion

Equipment:

Hand held spray ☐

Truck mounted spray ☐

Other

Wind Speed Wind Direction

Time Start Time Finish

Construction Type

☐ In-fill slab ☐ Slab on ground

☐ B/J Timber floor ☐ Suspended Floor

Area Protected

Under Slab M2 Perimeter L/m 60

Subfloor M2 Penetrations Qty

Cure M2 C/Joing L/m

Other

Method of Protection

☒ Physical Barrier ☐ Chemical Barrier

Type: GRANITARD/BLOCKAD

Legend

Reticulation Legend

Path trap ☒ Drilled pipe ———

Undrilled pipe - - - - - End cap ———

Physical Barrier Legend

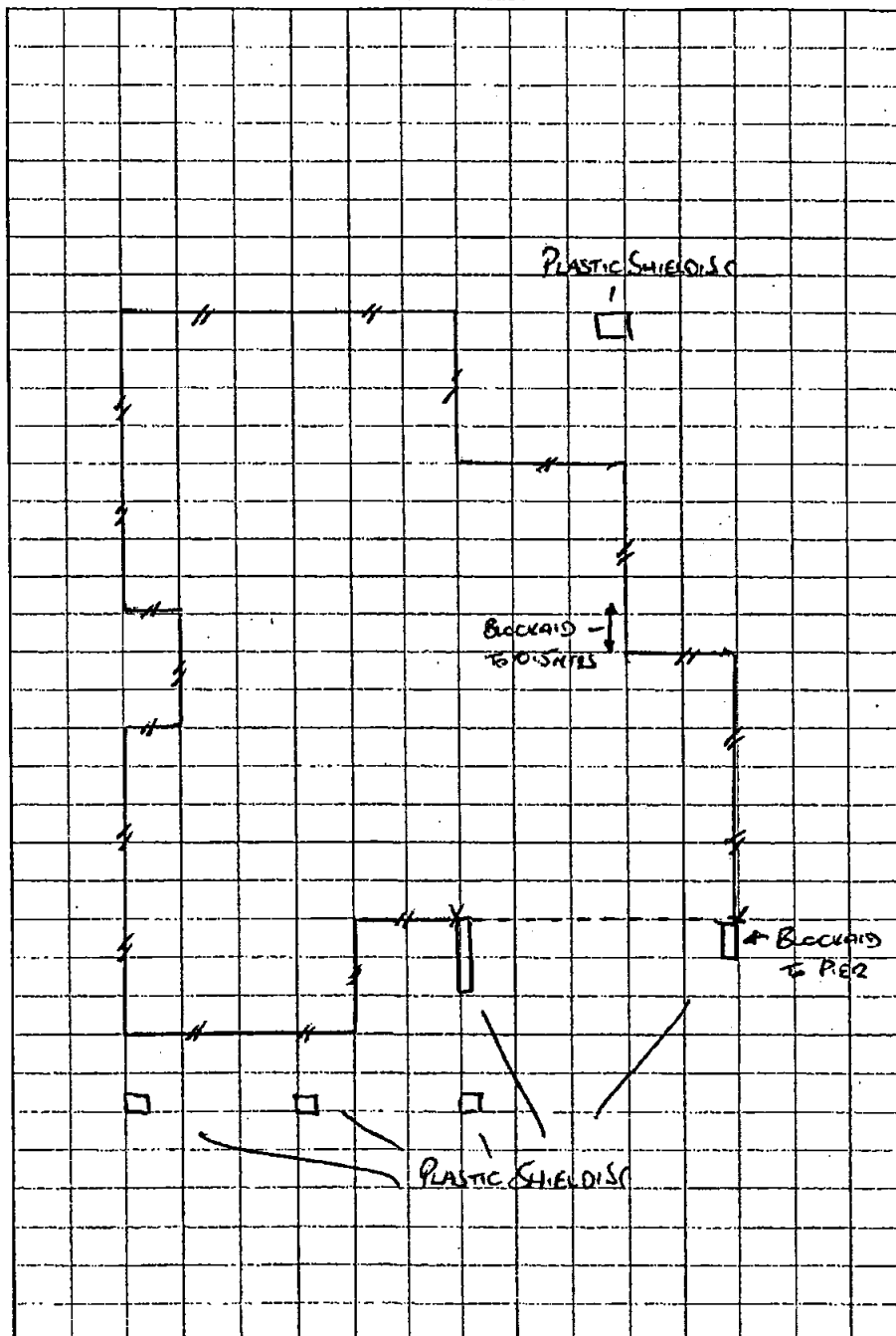
Penetration ⊗ Start / Finish ×

Granitard // Trithor / Homeguard #

Chemical Barrier

Area Protected /

JOB PLAN





41 Lemongrove Road
Penrith NSW 2750

C.A.D. Consulting
Proprietor: C.A.D. Surveying Services Pty Ltd
ABN 22 092 136 117

Land and Engineering Surveyors

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.)
- Daniel Galluzzi (Dip. Struct. Eng.)

PO Box 259
Penrith NSW 2751

Telephone: (02) 4732 2040
Fax: (02) 4732 1846
Email: admin@cadconsulting.com.au

Our Ref: 37835

31st March, 2011

Masterton Homes Pty Ltd
PO Box 323
LIVERPOOL BC NSW 1871

Re: Woods - 36880

Dear Sir

Upon your instructions we have made a survey at Lot 59 as shown on Deposited Plan 30836 having a frontage of 15.24 metres to the northern side of Arnott Crescent at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and I have to make the following report.

Marks have been placed as shown on the sketch.

Levels have been taken as shown on the sketch.

Covenant(s) H506119, H654627 and H701071 affect subject land.

Encroachments have not been investigated for the purpose of this survey.

A one and two storey cement rendered dwelling No. 14 adjoins to the east. A cement rendered cottage No. 10 adjoins to the west.

This survey has been carried out and report prepared to assist in the construction of works as shown in Building Plan No. 36880 (Construction Plan) dated 28th February, 2011 and should not be used for any other purpose. The builder should investigate critical distances which should include but not be limited to wall, eave and gutter boundary clearances, BCA requirements and so on prior to commencing construction to ensure compliance with all statutory or other forms of compliance. The builder should verify critical dimensions shown in this report with the latest approved drawings and check distances/offsets to pegs prior to and during construction. Any discrepancies should be clarified in writing to CAD Consulting prior to commencement of construction for confirmation as to the accuracy of this survey. CAD Consulting cannot be held responsible for disturbance to any marks subsequent to leaving the site.

Any boundary definition required for preparation of or shown on this plan is not registered at Land and Property Information. Subsequent registered or other surveys in this area may affect boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of CAD Consulting who can accept no responsibility for such differences.

Yours faithfully

Registered Surveyor

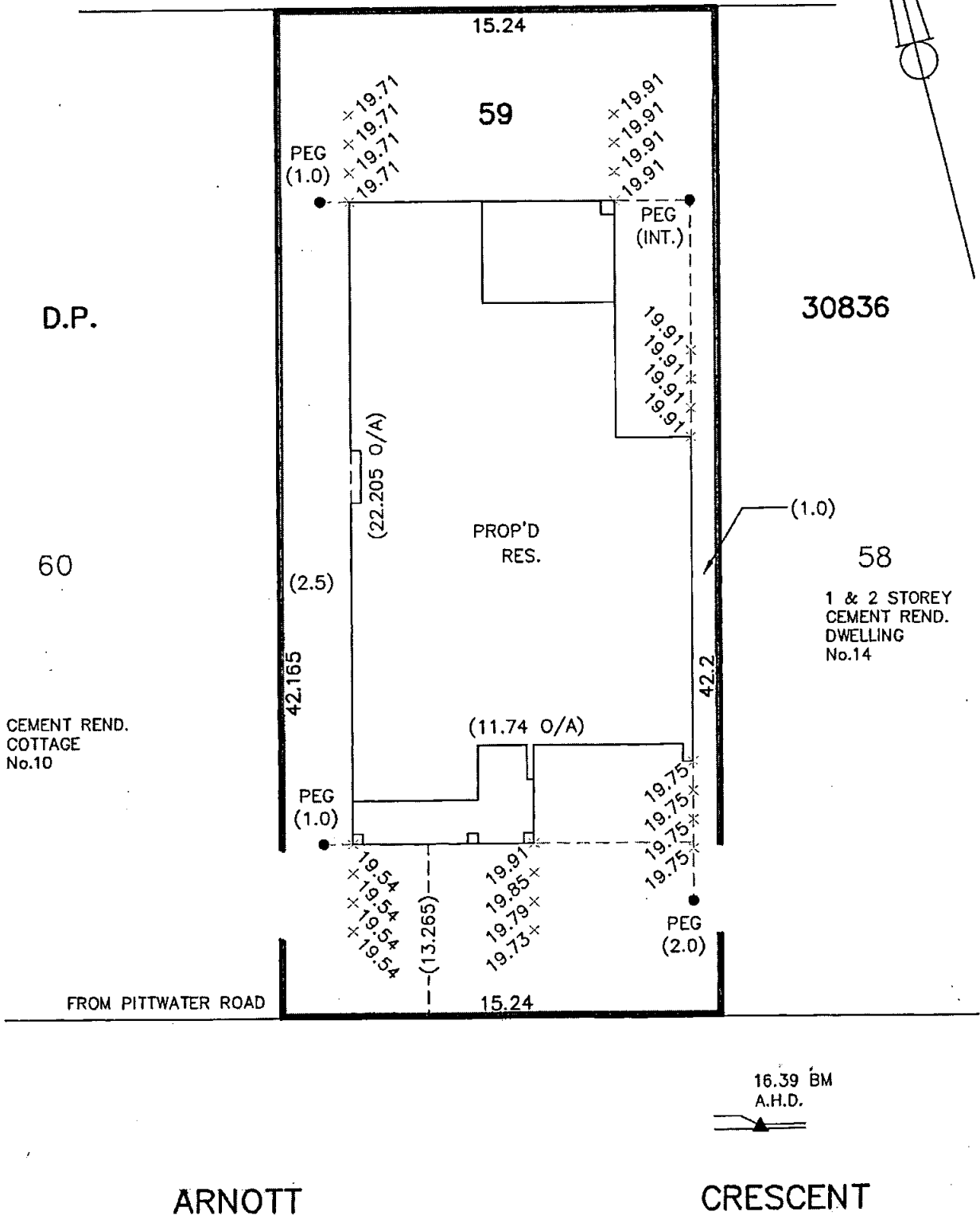
Our Ref: 37835

Masterton Homes Pty Ltd
PO Box 323
LIVERPOOL BC NSW 1871

This diagram is to accompany my report dated 31st March, 2011

Andrew He
Registered Surveyor

D.P. 26441



NEW SOUTH WALES

DRAINAGE ID 1095361

Water Superintendent's Copy

Account/Property/Rate No.

PERMIT APPLICATION

- for Plumbing and Drainage Work

Serial No E

544902

Please supply requested information fully and neatly to ensure the prompt issue of the permit

PROPERTY & OWNER DETAILS

House No	Lot No	Street	Suburb
12	59	ARNOTT CRESCENT	WARRIEWOOD
Municipality/Shire	Postcode	Nearest Cross Street	
PITTWATER			
Owner's Name	Full Address		
MR & MR WOODS	AS ABOVE		

LICENSEE'S DETAILS

Full Name	Address for Notices	Phone No.
PAUL CLEARY	410 HUDSON AVE CASTLE HILL	98948188
Qualified Supervisor No.	Expiry Date	Contractor/Company/Partnership Licence No.
		143111C
		Expiry Date
		28/11/13

WORK OF WATER SUPPLY/METER DETAILS

Size of Drilling/No.	Size of pipework Main to Meter	Main Size-Size of Tee to be cut into Main	Size of Valve
	20mm	or	
Reference No.	Size of Meter	Meter No.	Drilling Date/Time
	20mm		
			Office Issued from

Full Description of Work/Affixed meter or returned Meter and List the Number of Fittings to be Connected:

- Carry out work of Water Supply ☒
- Install Irrigation system ☐
- On-site water services where a reticulated water supply is installed ☐
- Install/Commission/Maintenance of Thermostatic Mixing Valve ☐
- Draw water from Water Utilities supply, standpipe or sell water so drawn ☐
- Install, alter, disconnect or remove a meter connected to service pipe ☐
- Install, alter, disconnect or remove a backflow prevention device ☐

☐ CONTAINMENT ☐ ZONE ☐ INDIVIDUAL

Fittings to be Connected	Number Existing	Number proposed	Connected to Drinking Water	Connected to Non-Drinking Water
W.C	1			
Basin	1			
Bath	1			
Shower	1			
Kitchen	1			
Laundry	1			
Other (Specify)				
Irrigation System				

WORK OF SANITARY PLUMBING/DRAINAGE AND STORMWATER

Give full description of work and list the number of fittings to be connected

- Carry out work of sanitary plumbing/drainage ☒
- Carry out work of Stormwater drainage ☒
- Connection to Sewer ☒
- Sewer Disconnection ☐
- Connection to stormwater system ☒
- Carry out Trade Waste work ☐

Trade Waste Permit Number

Fittings to be Connected	Number Existing	Number proposed
W.C		
Basin		
Bath		
Shower		
Kitchen		
Laundry		
Other (Specify)		

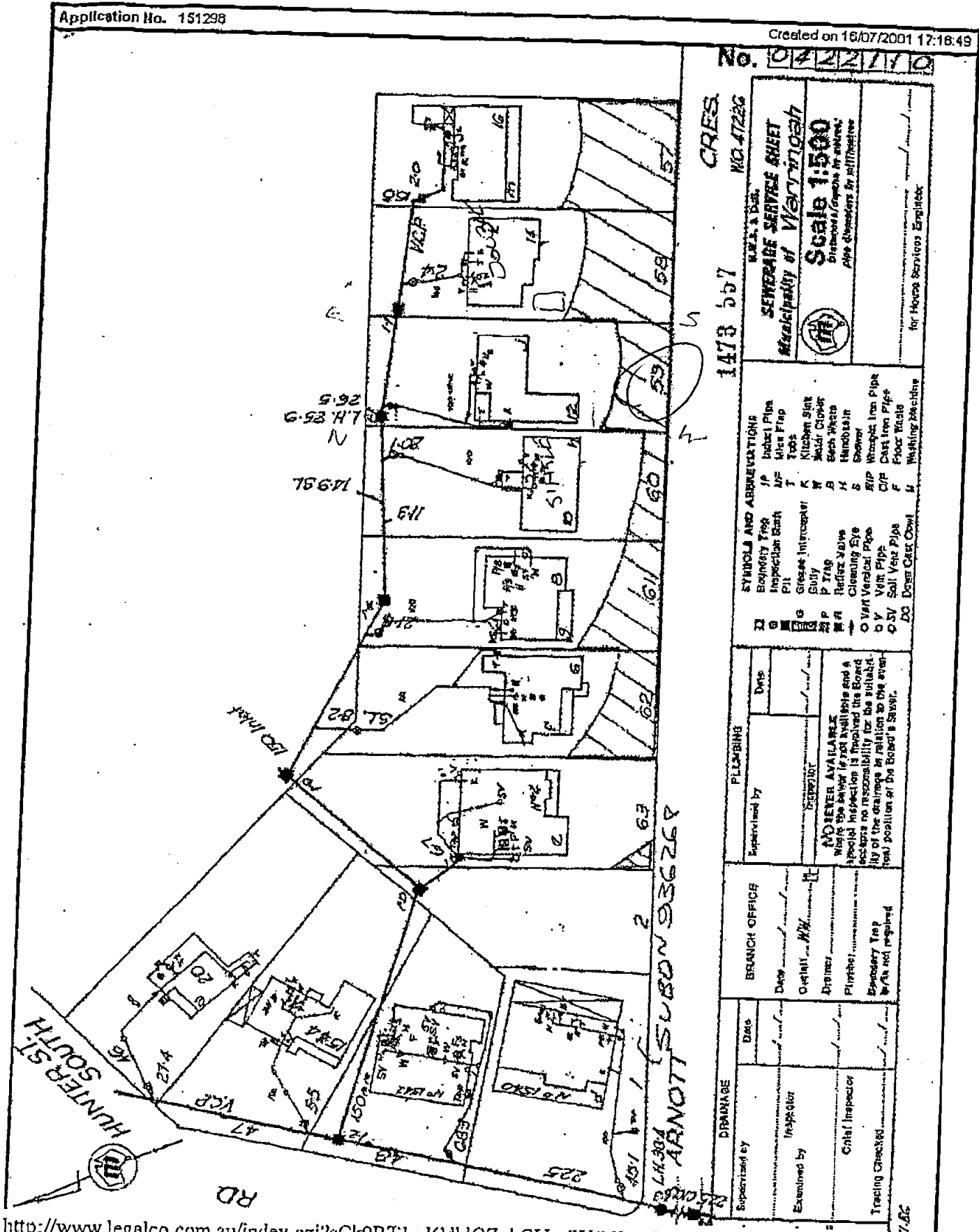
SEWERAGE/WATER SERVICE INSPECTION FEE

Date Fee Paid	Amount	Receipt No.	Building Fee	Receipt No.
	\$			
Authorising Officer	Office/Agency	Drainage No/Date		
Date of Commencement of Work	Estimated Date of Completion	Signature of Contractor		
18/11/11	18/11/11			

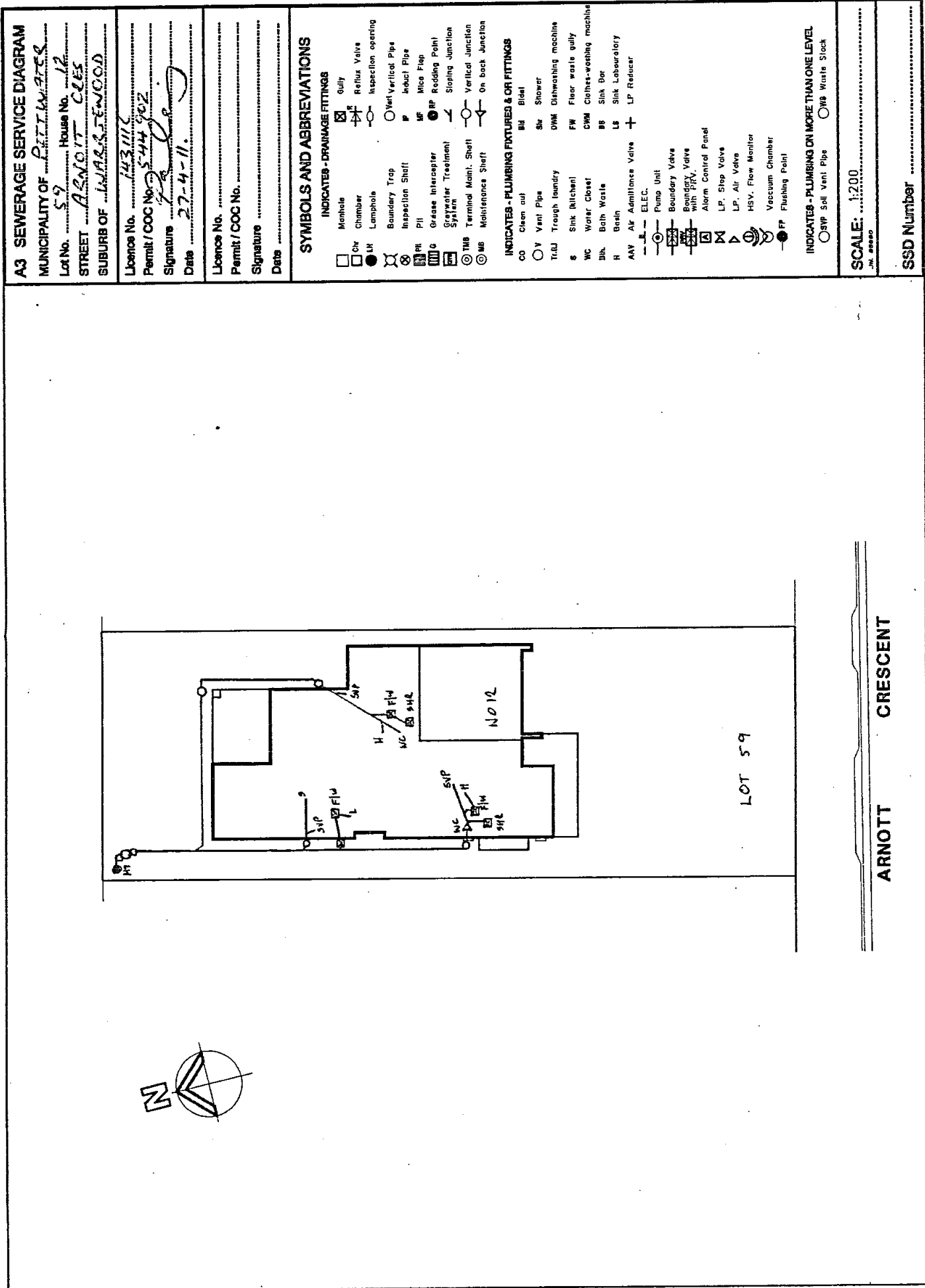
Serial No E-544902

LICENSEE'S PERMIT - Please hand this section to the Licensee

- This is your PERMIT to carry out the work described on 'Permit application', in accordance with provisions of the Local Utilities Act, regulations, and Codes of Practice.
- This PERMIT is only valid when it bears the official stamp of the local utility. It must be produced on the request of any person duly authorised by the Local Utility. Some Local Utilities may require the PERMIT to be produced to obtain a water meter.
- The correspondingly numbered CERTIFICATE OF COMPLIANCE must be submitted by you to the Local Utility within two (2) working days of completion of the above work.



36880



SCALE: 1:200

SSD Number

ARNOTT CRESCENT



WATERPROOFING CERTIFICATE

JOB ADDRESS: LOT 59 NO: 12 ARNOTT CRESCENT
WARRIEWOOD

JOB NO: 36880

DATE: Masterton Homes
February 20, 2012

This is to certify that the wet areas of the above address were waterproofed by our waterproofing company. Waterproofing was carried out in accordance with the manufacturer's specifications, and AS NO: 3740:2004.

GOLD LICENCE NUMBER: 171862C

EXPIRY DATE: February-14

Yours faithfully
DI LORENZO PTY LTD

R Fresta

Rafael Fresta
General Manager

DI LORENZO Pty Ltd Tile Merchants ABN > 38 002 487 873
PO Box 7264 Baulkham Hills NSW 2153 > www.dilorenzo.net.au >
phone 02 8602 1400 fax 02 8602 1490 | Bella Vista | Redfern | Newcastle



Masterton Homes Pty Limited
ABN: 52 002 873 047 ACN: 002 873 047 B/Lic: 35558C
Cnr Hume Highway & Sappho Road Warwick Farm
PO Box 323, Liverpool 1871
Tel 02 9601 4066 Fax 02 9601 1426
www.masterton.com.au

Compliance Certificate

Council Area:	Pittwater
Applicant:	Masterton Homes/ 36880 Woods
Address	Cnr Hume Highway & Sappho Road Warwick Farm
Contact No (telephone/fax)	9601 4066
DA / CDC Number:	2010/1546
CC Number:	-
Lot	59
Building Address	12 Arnott Cr
	Warriewood

We certify that all items listed in BASIX Certificate Number: 312949s for the above address, have been installed in a proper and workmanlike manner.

Note: owner-supplied items do not form part of this certificate – eg fluorescent lighting, outdoor clothesline
Note: air conditioning is not permitted.

Signed by:

On Behalf of Masterton Homes

Date

20th February 2012

CERTIFICATE OF ELECTRICAL WORK

CERTIFICATE NO: 1044107

CUSTOMER DETAILS

36880

Name
Site Address

WOODS
Lot 59 (NO. 12) ARNOTH CRES
WARRIEWOOD.

Postcode

Telephone Contact

Meter No:

NMI (if applicable)

11525186

Cross Street

INSTALLATION WORK DETAILS Indicate the type of installation and types of work performed under this Notice

Type of Installation	☒ Residential	☐ Commercial	☐ Industrial	☐ Rural	☐ Other
Special Conditions	☐ over 100 amps	☐ High Voltage	☐ Hazardous Area	☐ Generator	☐ Unmetered Supply

CERTIFICATE MUST BE ISSUED TO THE CUSTOMER FOR ALL ELECTRICAL WORK

Work of the following type must ALSO be notified to the ELECTRICITY DISTRIBUTOR (DNSP)

- ☒ New Installation
☐ Additions or alterations to a switchboard or associated equipment

- ☐ Network connection or metering
☐ Defect Rectification No:

DETAILS OF EQUIPMENT

Describe the equipment and estimate load increase of the work affected by this Notice.
If insufficient space attach separate sheets.

EQUIPMENT	RATING	No.	PARTICULARS OF WORK
☒ Switchboards			
☒ Circuits			
☒ Lighting		65	
☒ Socket-outlets		53	
☒ Appliances		1	
Estimated increase in load A/ph			WALL OWN WIRE ONLY.
☐ Work is connected to supply			☐ Increased load is within capacity of installation/service mains ☐ Work is not connected to supply pending inspection by DNSP

The work has been carried out or supervised by:

ROSS TATIAN

Licence No:

101405C

TEST REPORT

Indicate the relevant tests and checks that have been performed on the work.
If test records are provided attach as separate sheets.

☒ Earthing system integrity Ω	☒ Residual current device operation
☒ Insulation resistance M Ω	☒ Visual check that installation is suitable for connection to supply
☐ Polarity	☐ Stand-alone power system complies with AS 4509
☒ Correct circuit connections	☐ Fault loop impedance (if necessary)

I confirm that I have carried out the above tests and visually checked that the installation work described in this Certificate complies with AS/NZS 3000 and is suitable for its intended use.

Name:

ROSS TATIAN

Signature:

R. Tatian

Licence No:

101405C

Date of Testing:

8-10-2011

CERTIFICATION

I, the Electrical Contractor give notice to the Customer and (Name of DNSP or OFT), that the work described in this Certificate has been completed in accordance with the Electricity (Consumer Safety) Regulation 2008

Name:

ROSS TATIAN

Signature:

R. Tatian

Address:

21 PALMER ST EUILDEWOD

Licence No:

101405C

Date of Notice:

8-10-2011

Telephone No. or Other Contact

041 20 70 697

ELECTRICITY DISTRIBUTOR (DNSP) REMARKS

Inspected by:

Date

Comments:

NECA



MEMBER OF THE INSTITUTION
OF SURVEYORS AUSTRALIA

41 Lemongrove Road
Penrith NSW 2750

C.A.D. Consulting

Proprietor: C.A.D. Surveying Services Pty Ltd
ABN 22 092 136 117

Land and Engineering Surveyors

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.)
- Daniel Galluzzi (Dip. Struct. Eng.)

PO Box 259
Penrith NSW 2751

Telephone: (02) 4732 2040
Fax: (02) 4732 1846
Email: admin@cadconsulting.com.au

Our Ref: 37835

2nd February, 2012

Masterton Homes Pty Ltd
PO Box 323
LIVERPOOL BC NSW 1871

Re: Woods - 36880

Dear Sir

Upon your instructions we have made a survey at Lot 59 as shown on Deposited Plan 30836 having a frontage of 15.24 metres to the northern side of Arnott Crescent at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and found erected thereon and wholly within the prescribed boundaries a one and two storey brick dwelling roofed with tile and I have to make the following report.

It is my opinion that the dwelling complies with the setbacks as shown on Building Plan No. 36880 (Construction Plan) dated 28th February, 2011.

Levels have been taken as shown on the sketch.

Covenant(s) created by H506119, H654627 and H701071 affect subject land.

Encroachments have not been investigated for the purpose of this survey.

A one and two storey cement rendered dwelling No. 14 adjoins to the east. A cement rendered cottage No. 10 adjoins to the west.

This report is of an identification survey on the dwelling only and as such is not registered at Land and Property Information. Subsequent registered or other surveys in this area may affect boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of CAD Consulting who can accept no responsibility for such differences. This report cannot be used for any purpose other than for identification.

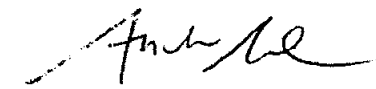
Yours faithfully

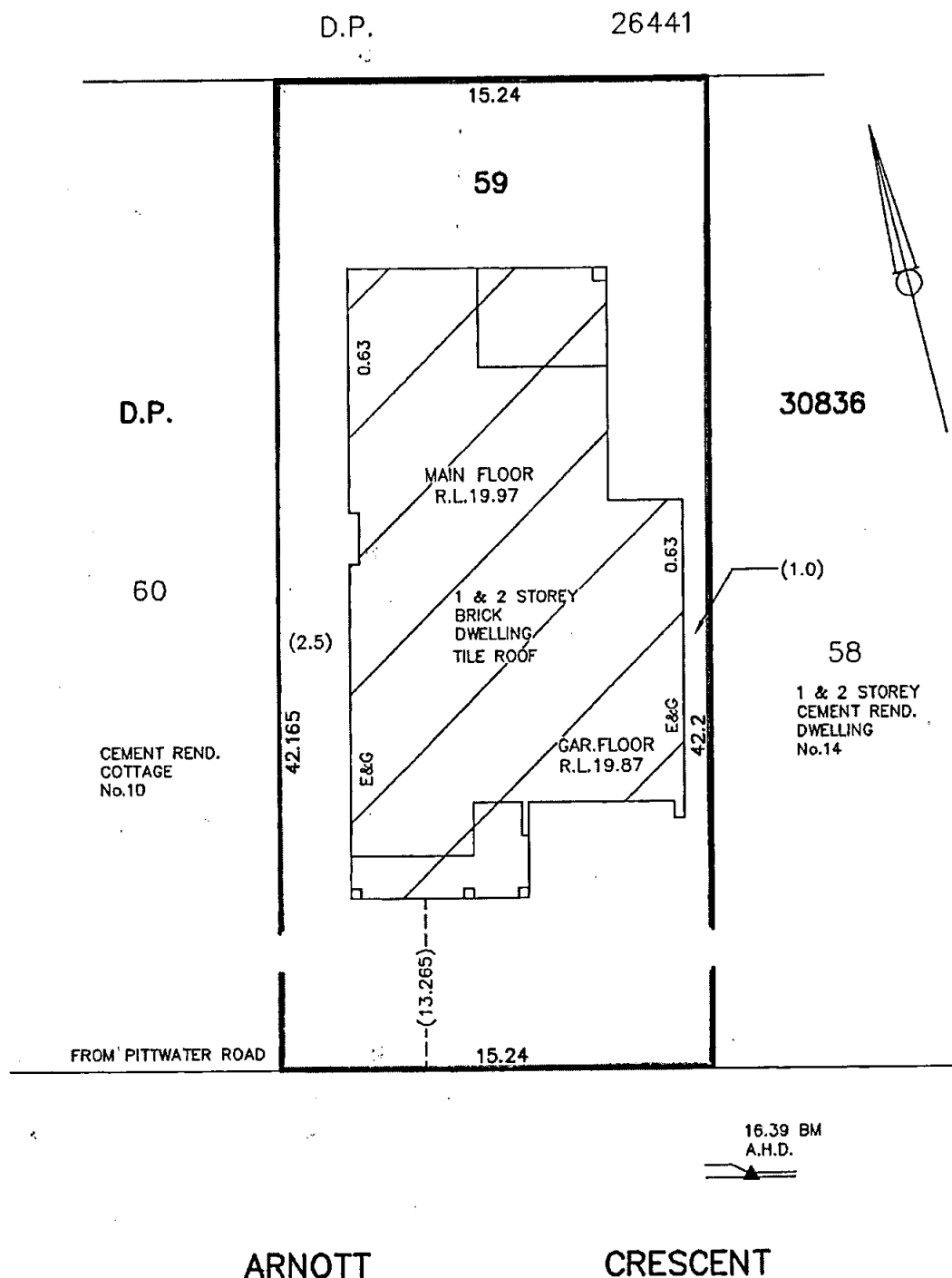
Registered Surveyor

Our Ref: 37835

Masterton Homes Pty Ltd
PO Box 323
LIVERPOOL BC NSW 1871

This diagram is to accompany my report dated 2nd February, 2012


Registered Surveyor





Dated : 18/10/11

MASTERTON HOMES PTY LTD
PO BOX 323
LIVERPOOL NSW 2170

Fax : 96008649

KOLDER PTY LTD Trading as
Sydney Shower Screens & Wardrobes
ABN 43 059 605 882

56-58 Elizabeth St
Wetherill Park NSW 2164
PO Box 6247
Wetherill Park NSW 2164

Showroom : as above and :
56-58 Elizabeth St
Wetherill Park NSW 2164

Phone : 02 9612 1000
Fax : 02 9612 1001
www.sydneyshowers.com.au

GLAZING CERTIFICATE

Your Job No : 36880
Our Reference CRN : SSS-40783
Our Reference Schedule : 11092936
Site Address : (LOT 59) #12 ARNOTT CRES WARRIEWOOD
Date of Installation : 13/10/11

This letter is to certify that the Shower Screens and Mirrors installed at the above address were glazed with safety glass, which is warranted by their supplier to be manufactured to meet or exceed AS2208 as 'A' Grade Safety Glass. This Glazing in shower screens also meets or exceeds the requirements of AS1288 Section 5.8 as well as BCA 2010 Volumes 1 & 2.

Yours sincerely,

Evelyn Firth

Kolder Pty Ltd
Trading as Sydney Shower Screens & Wardrobes

PRODUCT & INSTALLATION WARRANTY -
NEWLY CONSTRUCTED HOMES

This is to certify that Bradford™ Insulation product has been installed at:

Address Lot 59, 12 ARNOTT CR, WARRIEWOOD NSW 2102 ("the Premises")

Date of Installation: Ceiling / Roof : 22 Sep 2011 Walls: 23 Aug 2011 Floor: 23 Aug 2011

Product installed:	Material R-Value		
	Ceiling/Roof	Wall	Floor
Bradford Gold Insulation	R3.5	R1.5	
Bradford Gold HP Insulation			
Bradford SoundScreen™		R1.6	R3.0
Bradford Optimo™ Subfloor Insulation			
Bradford EnviroSeal™ Wall Wrap[Yes/No]		No	

LIFETIME* BRADFORD PRODUCTS WARRANTY

CSR Building Products Limited ACN 008631356 ("Bradford") warrants that Bradford Gold, Bradford Gold HP, Bradford SoundScreen and Bradford Optimo Sub-Floor Insulation ("Bradford Products") installed at the Premises will meet the following standards for the life of the home* provided they are not disturbed after installation.

1. Achieve optimum fire resistance performance of four zeros when tested in accordance with Australian Standard 1530 part 3 of 1999.
 2. Be electrically non-conductive, allergy free, will not pack down, will not rot or support mould or deteriorate.
 3. Achieve the stated thermal resistances (R-values) in accordance with AS/NZS4859.1.
- Bradford EnviroSeal Wall Wrap is warranted by Bradford for 10 years from the date of installation.
This warranty provides for the replacement or re-installation of insulation, or refund up to the original invoice value of the relevant Bradford Products.

7 YEAR CEILING INSTALLATION WARRANTY

The Installer has provided the installation service in respect of Bradford Gold, Bradford Gold HP, Bradford SoundScreen, Bradford Optimo Sub-Floor Insulation and Bradford EnviroSeal Wall Wrap ("the Installed Bradford Products") at the Premises and Bradford warrants that the installation service has been provided with due care and skill and has been performed in accordance with Bradford's recommendations and all relevant standards.

Subject to the conditions below, Bradford warrants for a period of 7 years from the Installation Date that the installation of the Installed Bradford Products, as referred to in this warranty, will not materially increase the risk of fire within the Premises.

In circumstances where the Installed Bradford Products are independently assessed as having materially contributed to any fire within the Premises, this warranty covers resulting property damage up to a total value of \$2 million.

This 7 Year Installation Warranty will cease to apply if and when:

- * The Installed Bradford Products (Gold, Gold HP, SoundScreen, Optimo, Bradford EnviroSeal Wall Wrap) are moved, tampered with or otherwise disturbed post installation; or
- * In the case of ceiling insulation, where additional downlights, ducted air conditioning or any other ceiling penetrations are installed (including re-installation of existing downlights in a new position) in the Premises post installation; or
- * In the case of wall insulation where any additional cables, electrical wiring, electrical fittings & outlets are installed in the Premises post installation.

Other than as set out above, the Lifetime Bradford Products Warranty and the 7 Year Installation Warranty are in substitution for and to the exclusion of all other rights and remedies (if any) including liability personal injury, property damage, loss of profits, savings or opportunity or special or consequential loss, however caused or arising.

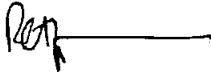
Certain legislation, including the Trade Practices Act 1974 (Cth), may imply warranties or conditions or impose obligations upon Bradford that cannot be excluded, restricted or modified or cannot be excluded, restricted or modified except to a limited extent. This warranty must be read subject to those statutory provisions. If these statutory provisions apply, to the extent to which Bradford is able to do so, its liability under those provisions will be limited, at its option, to:

- (a) the replacement of the goods, resupply of the services, or supply of equivalent goods or services;
- (b) the payment of the cost of replacing the goods or supplying the services again, or acquiring equivalent good or services;
- (c) the repair of the goods; or
- (d) the payment of the cost of having the goods repaired.

HEALTH and SAFETY INFORMATION

Information on health risks and safe handling of our products is displayed on the packaging and/ or the documentation accompanying them. Additional information is listed in product Material Safety Data Sheets available from your regional Bradford Insulation office or on our website www.bradfordinsulation.com.au.

*The life of the home is taken by Bradford to be 70 years from the date of product installation, for the purpose of this warranty.



Ray Thompson
Group Marketing Manager
Bradford Insulation Group
CSR Building Products Limited
ABN 55 008 631 356



RAFELETOS



ZANUTTINI
Pty Ltd

ABN 35 079 047 466

Level 2, 103 Vanessa St.
Kingsgrove NSW 2208

Telephone : (02) 9554 9311
Facsimile : (02) 9554 9764

DATE Friday, 15 April 2011
OUR REFERENCE 33933M
YOUR REFERENCE WOODS
JOB LOCATION LOT 59, 12 ARNOTT CRES WARRIEWOOD

COMPLIANCE CERTIFICATE

Pursuant to the provisions of Part 4A Section 109C of the Environmental Planning and Assessment Act 1979 and Part 8 Section 138 of the Regulations 2000.

This is to certify that an inspection of the pier holes was undertaken at the above mentioned site prior to the placement of any concrete.

The piers have generally been placed based on the current engineers details and to our approval.

Yours Faithfully

John Rafeletos
B.E. M.I.E. Aust C.P.Eng
NPER3 Structural and Civil
Acceditied Certifier BPB 0338

RAFELETOS



ZANUTTINI

Pty Ltd

ABN 35 079 047 466

Level 2, 103 Vanessa St.
Kingsgrove NSW 2208

Telephone : (02) 9554 9311
Facsimile : (02) 9554 9764

DATE Tuesday, 19 April 2011
OUR REFERENCE 33933M
YOUR REFERENCE WOODS
JOB LOCATION LOT 59, 12 ARNOTT CRES WARRIEWOOD

COMPLIANCE CERTIFICATE

Pursuant to the provisions of Part 4A Section 109C of the Environmental Planning and Assessment Act 1979 and Part 8 Section 138 of the Regulations 2000.

This is to certify that an inspection of the slab reinforcement was undertaken at the above mentioned site prior to the placement of any concrete.

The slab has been constructed and the reinforcement placed based on the current engineers details and to our approval.

Yours Faithfully

John Rafeletos
B.E. M.I.E. Aust C.P.Eng
NPER3 Structural and Civil
Accredited Certifier BPB 0338



Tankworks

Made to measure. Made to last.

31 October 2011

Masterton Homes Pty Ltd
2 Sappho Road
WARWICK FARM NSW 2170

RAINWATER HARVESTING COMPLIANCE LETTER

RE: 9936880/045
Woods
Lot 59 No 12 Arnott Crescent
WARRIEWOOD NSW 2102

This letter certifies that Tankworks Australia Pty Ltd has delivered components of a rainwater harvesting system to the above mentioned address. It also certifies that the tank complies with our manufacturing standards and AS2180. Tank details are as follows:

Item	Description	Colour	Capacity (Ltr)
SL-0700-2900-1860	Slimline Water Tank	Dune	3,580.00

An automatic pump diversion system, first flush and "rainwater - not for drinking" label have been delivered to a plumber nominated by your business for installation of the system.

Matthew Tranby
Operations Director

Tankworks Australia P/L

8 Bessemer Street BLACKTOWN NSW 2148

P 1300 736 562 F 1300 736 582 E orders@tankworks.com.au

www.tankworks.com.au ABN 62108491881



CERTIFICATE OF COMPLIANCE

This certificate is to certify that 240Volt hard wired smoke detectors with back up battery have been installed in accordance with Australian Standard no. 3786-1993 "fire alarms" and Australian Wiring Rules 3000:2007 at the following address:

Builder: MASTERTON HOMES (NSW) PTY. LTD.

Client: WOODS 36880

Address: LOT 59 ARNOTT CRES.
WARRIEWOOD

Date: 11TH. AUGUST, 2011

Type Used: HPM Professional Smoke Alarm
Hard wired into light circuit and interconnected
when multiple smoke detectors required.

STEVE SMITH

A handwritten signature in black ink, appearing to read "S Smith", written over a horizontal line.

Colour Selection

Complete colour, fittings and tile selection document

Job Number:	9936880	Contact:	Brad Woods	(M):	0418 659 278
Client Name:	Mr Brad & Mrs Cherry-Ann Woods	Phone (H):	9944 6980	Consultant:	Deborah Wakeham
Job Address:	Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102	Status:	Signed		14/01/2011 12:00:00AM.
House Package:	Villina 36				

Document:	4	Prepared:	14/01/2011
Raised By:	Deborah Wakeham		

Your Selected Package			
Options:			
	Inclusion	Promotion package	Other
Selected	Designer	Masterston New Mansion Package	Including- LG Home Theatre System

External Finishes & Fixtures			
External Selections			
Main Bricks	Inclusion Level Opal	Manufacturer PGH	Range Foundations Colour Cement
Mortar Joint		Joint type Flush	Colour Off-White
Roof Tiles	Type Concrete Tile	Profile Traditional	Colour Barramundi Sarking Colour
Whirlybird			Colour Woodland Grey
Flashing			Colour Black
Windows		Range Standard	Colour Pearl White Gloss Glazing Clear
Special Glazing			Location Other Cherryann Woods

Colour Selection

Masterton Homes

Job Number: 9936880
Client Name: Mr Brad & Mrs Cherry-Ann Woods
Job Address: Lot 59, 12 Arnott Crescent WARRIEWOOD NSW 2102
House Package: Villinga 36

Document: 4
Contact: Brad Woods
Phone (H): 9944 6980
Consultant: Deborah Wakeham
Status: Signed
(M): 0418 659 278
14/01/2011 12:00:00AM

Comfortone Grey W17, W18, W20, W21, W6

					Colour	Monument
Gutter					Colour	Surfmist
Fascia	Type	Profile	Range	Colour	Surfmist	
Garage Door	Panel-glide Door	Tuscan - Woodgrain	Standard	Position	Single Door	
Garage Door Opener						
External Blinds		Type	Material	Colour	Dune	
Rainwater Tank		Above Ground	Colourbond Steel	Controllers	One - Kitchen	
Hot Water Service	Type	Range	Capacity			
	Gas Instantaneous	Rheem Integrity	27 Litre			
	Additional Gas Instantaneous to 1st Floor	Rheem Integrity	24 litre set at 50 degrees			
External Panel		Finish	Range	Colour	Other	
PVC Downpipes		Paint	Taubmans		Taubmans Manhattan T122-6W	
		To Cladding			Taubmans 1/2 strength Manhattan T122-6W	
Entry Door & Jamb		Finish	Range	Colour	White	
		Paint	Taubmans		Colour	
Laundry Door & Jamb		Finish	Range	Colour	White	
		Paint	Taubmans		Colour	
External Handrail		Type		Colour	Glass/Stainless Steel	
		Glass		Colour		
Softie / Eave Lining		Finish	Range	Colour	Other	
		Paint	Taubmans		White	

Client 1 Signature / *CherryAnn Woods* Date 14/1/11 Client 2 Signature / Date

Colour Selection

Masterton Homes

Job Number: 9936880

Document: 4

Client Name: Mr Brad & Mrs Cherry-Ann Woods

Job Address: Lot 59, 12 Amott Crescent WARREWOOD NSW 2102

House Package: Yillina 36

Contact: Brad Woods

Phone (H):

9944 6980

(M): 0418 659 278

Consultant:

Deborah Wakeham

Status:

Signed

14/01/2011 12:00:00AM

Balcony Patio Beam	Finish	Range	Taubmans	Colour	Other
	Paint			Manhattan T122-6W	
Alfresco Ceiling	Finish	Range	Taubmans	Colour	Other
	Paint			White	
Alfresco Beam	Finish	Range	Match Colourbond	Colour	Surfmist
	Paint				
Timber Cladding	Finish	Range	Taubmans	Colour	Other
	Paint			1/2 Strength Manhattan T122-6W	
Timber Post	Finish	Range	Taubmans	Colour	White
	Paint				
Post Shoe / Column Capital	Finish	Range	Taubmans	Colour	White
	Paint				
Post Shoe / Column Capital	Finish	Range	Match Colourbond	Colour	Dune
	Paint				
Door Box	Finish	Range	Match Colourbond	Colour	Dune
	Paint				
Doors & Hardware					
Entry Door	Size	Range	Style	Glazing	
	2040mm high x 1200mm wide	Nevington	XN5	Waterfall Slump	
Entry Door	Manufacturer	Range	Model	Colour	
	Gainsborough	Trilock Contemporary Series	8901 Angular Leverset	Satin Chrome	
Entry Door Lock	Range	Style	Glazing		
	Glass Opening	XF3	Clear		
Laundry Door	Manufacturer	Range	Model	Colour	
	Gainsborough	Stronghold Series	840 Governor	Stainless Steel	
Laundry Door Lock					

Client 1 Signature /

Date

Client 2 Signature /

Date

Masterton Homes

Colour Selection

Masterton Homes

Job Number: 9936880

Client Name: Mr Brad & Mrs Cherry-Ann Woods

Job Address: Lot 59, 12 Arnott Crescent WARRIEWOOD NSW 2102

House Package: Villa 36

Document: 4

Contact: Brad Woods

Phone (H): 9944 6980

Consultant: Deborah Wakeham

Status: Signed

(M): 0418 659 278

14/01/2011 12:00:00AM

Laundry Door Deadbolt	Manufacturer Gainsborough	Range Contractor Series Deadbolt	Model 550 Deadbolt	Colour Stainless Steel
Internal Access Door	Manufacturer Gainsborough	Range Innovator Series Deadbolt	Model 846 Deadbolt (Single Cy)	Colour Satin Chrome
Internal Access Door Furniture	Gainsborough	Contractor 100 Lever Series	Carla	Satin Chrome
Internal Doors		Height 2040mm	Range Accent	Style HAG9
Ground Floor Doors		Height 2040mm	Range Accent	Style HAG9
First Floor Doors		Height 2040mm	Accent	Style HAG9
Door Furniture	Manufacturer Gainsborough	Range Contractor 100 Series	Model Carla Lever	Colour/Backplate Satin Chrome
Wardrobe Doors (Type 1)	Type Smartrobe Doors	Range Flush	Model Pinecoat (H1)	Track Colour White
Wardrobe Doors (Type 2)	Type Smartrobe Doors	Range Mirror	Model Full Mirror	Track Colour White
Internal Fixings	Finish Paint	Profile Pencil Round	Architraves 67mm x 13mm	Skirtings 67mm x 13mm
Fixings	Paint	Profile Pencil Round	Manufacturer Boral	Profile 90mm Cove
Cornice			Boral	90mm Cove
Kitchen				
Appliance	Gas/Elect	Manufacturer AEG	Model B3191-S-M	Colour Stainless Steel
Oven	Electric	Manufacturer AEG	Model B3191-S-M	Colour Stainless Steel
Cooktop	Gas/Elect	Manufacturer AEG	Model A604VTGB-M	Colour Stainless Steel

Colour Selection

Masterston Homes

Job Number: 9936880
Client Name: Mr Brad & Mrs Cherry-Ann Woods
Job Address: Lot 59, 12 Arnott Crescent WARRIEWOOD NSW 2102
House Package: Villa 36

Document: 4
Contact: Brad Woods
Phone (H): 9944 6980
Consultant: Deborah Wakeham
Status: Signed

(M): 0418 659 278

14/01/2011 12:00:00AM

Rangehood	Manufacturer AEG	Type Slideout - 900mm	Model RRE934	Colour Stainless Steel
Dishwasher	Manufacturer AEG	Type Inbuilt	Model F8802SVIM	Colour Stainless Steel
Kitchen Cupboards			Style Mansion Pack Height 950	Overall Kitchen Height 2400mm Benchtop height to be 950mm from finished floor level
Kitchen Style				
Benchtop	Type Quantum Quartz	Range Standard	Colour Luna White	Edge 20mm Aris
Kitchen Doors	Type Createc	Range Solid Gloss (Standard)	Style Square Edge	Colour Ultra White
Utility Draw Handles	Range Level 2	Type Handle	Model/Finish S135/128/192	Door Position Horizontal
Pot Draw Handles	Range Level 2	Type Handle	Model/Finish S135/128/192	Door Position Horizontal
Door Handles	Range Level 2	Type Handle	Model/Finish S135/128/192	Door Position Vertical
Kickboards			Kickboard Height (approx) 200mm	Colour Brushed Aluminium
Splashback		Type Mirror		Colour Silver
Kitchen Sink	Manufacturer Oliveri	Style Undercounter	Model C30U	Drainer Position Integrated Flued Left Hand
Kitchen Mixer		Manufacturer Galley	Range Goya Mixer	Colour Chrome
Bathrooms				
Main Bathroom				

Client 1 Signature: *[Signature]* Date: 14/1/11 Client 2 Signature: *[Signature]* Date:

Colour Selection

Masterton Homes

Job Number: 9936880
Client Name: Mr Brad & Mrs Cherry-Ann Woods
Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102
House Package: Villina 36

Document: 4
Contact: Brad Woods
Phone (H): 9944 6980
Consultant: Deborah Wakeham
Status: Signed
(M): 0418 659 278
14/01/2011 12:00:00AM

	Type	Range	Colour	Edge
Vanity Top	1500 Moulded Height 950	Monaco	White	3 Doors Left VH3L
Vanity Basin	Moulded			
Vanity Basin Tap Holes	Basin Model Moulded	Number of Tap Holes 3	Pop up Waste Pop up Waste	Colour Chrome
Vanity Doors	Type Createc	Range Solid Gloss (Standard)	Style Square Edge	Colour Mountain Pepper
Vanity Handles	Range Level 1	Type Handle	Model/Finish HO10163	Door Position Horizontal
Vanity Drawers	Range	Type		
Accessories		Manufacturer Heilmann	Range Toledo	Colour Chrome
Vanity Mirror			Mirror Size Width of Vanity / Height 1000mm	Type Polished Edge
Shower Screen	Door Type Pivot Door	Range Integrity Fully Framed	Frame/Hinge Colour Polished Silver	Glazing Clear
Bath	Bath Installation Type	Manufacturer Stylus	Model Maxon 1700	Colour White
Toilet Suite		Manufacturer Imperial Ware	Model Valero Closed Coupled	Colour White
Bath Tapware		Manufacturer Gallery	Range Gull	Colour Chrome
Vanity Tapware		Manufacturer Gallery	Range Gull	Colour Chrome
Shower Tapware		Manufacturer Gallery	Range Gull	Colour Chrome

Colour Selection

Masterton Homes

Job Number: 9936680 Document: 5
Client Name: Mr Brad & Mrs Cherry-Ann Woods
Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102
House Package: Villa 36

Contact: Brad Woods
Phone (H): 9944 6980 (M): 0418 659 278
Consultant: Deborah Wakeham
Status: Signed 14/01/2011 12:00:00AM

	Tapware Manufacture	Tapware Range	Type	Model
Shower Rose			Handshower	Novelli Asta Hand Shower
Ensuite	Type	Range	Colour	Edge
Vanity Top	1200 Moulded Height 950	Monaco	White	2 Door Left & 2 Drawer VH2L2D
Vanity Basin	Type			
	Moulded			
Vanity Basin Tap Holes	Basin Model	Number of Tap Holes	Pop up Waste	Colour
	Moulded	3	Pop up Waste	Chrome
Vanity Doors	Type	Range	Style	Colour
	Cretec	Solid Gloss (Standard)	Square Edge	Mountain Pepper
Vanity Handles	Range	Type	Model/Finish	Door Position
	Level 1	Handle	HO10163	Horizontal
Vanity Drawers	Range	Type	Model/Finish	Door Position
	Level 1	Handle	HO10163	Horizontal
Accessories		Manufacturer	Range	Colour
		Heirloom	Toledo	Chrome
		Delete Double Towel Rail		
Vanity Mirror			Mirror Size	Type
			Width of Vanity / Height 1000mm	Polished Edge
Shower Screen	Door Type	Range	Frame/Hinge Colour	Glazing
	Pivot Door	Contour Perimeter Framed	Polished Silver	Clear
Bath	Bath Installation Type			
Toilet Suite		Manufacturer	Model	Colour
		Imperial Ware	Valero Closed Coupled	White
Vanity Tapware		Manufacturer	Range	Colour
		Gallery	Gull	Chrome

Colour Selection

Masterton Homes

Job Number: 9936980
Client Name: Mr Brad & Mrs Cherry-Ann Woods
Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102
House Package: Villina 36

Document: 5
Contact: Brad Woods
Phone (H): 9944 6980
Consultant: Deborah Wakeham
Status: Signed
(M): 0418 659 278
14/01/2011 12:00:00AM

Shower Tapware	Tapware Manufacture	Manufacturer: Gallery	Range: Gull	Colour: Chrome
Shower Rose	Tapware Range	Tapware Range	Type: Handshower	Model: Novelli Astra Hand Shower
Powder Room	Type	Range: Monaco	Colour: White	Edge: 2 Door VHN2
Vanity Top	Bed 3 900 Moulded Height 950			
Vanity Basin	Moulded			
Vanity Basin Tap Holes	Basin Model: Moulded	Number of Tap Holes: 3	Pop up Waste Pop up Waste	Colour: Chrome
Vanity Doors	Type: Createc	Range: Solid Gloss (Standard)	Style: Square Edge	Colour: Mountain Pepper
Vanity Handles	Range: Level 1	Type: Handle	Model/Finish: HQ10163	Door Position: Horizontal
Vanity Drawers	Range	Type		
Accessories		Manufacturer: Heirloom	Range: Toledo	Colour: Chrome
		Delete Single Towel Rail		
Vanity Mirror			Mirror Size Width of Vanity / Height 1000mm	Type: Polished Edge
Shower Screen	Door Type: Pivot Door	Range: Integrity Fully Framed	Frame/Hinge Colour: Polished Silver	Glazing: Clear
Toilet Suite		Manufacturer: Imperial Ware	Model: Valero Closed Coupled	Colour: White
Vanity Tapware		Manufacturer: Gallery	Range: Gull	Colour: Chrome

Client 1 Signature / *Cherryann Woods* Date: 14/1/11 Client 2 Signature / _____ Date: _____

Colour Selection

Masterton Homes

Job Number: 9936880

Document: 5

Contact: Brad Woods

Phone (H):

9944 6980

(M): 0418 659 278

Client Name: Mr Brad & Mrs Cherry-Ann Woods

Consultant: Deborah Wakeham

Job Address: Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102

House Package: Villina 36

Status:

Signed

14/01/2011 12:00:00AM

Shower Tapware	Tapware Manufacturer	Manufacturer	Gallery	Range	Gull	Colour	Chrome
Shower Rose			Tapware Range		Type	Handstower	Model
Laundry Tub	Manufacturer	Clark	Freestanding	Model	Eureka 45 Lite (8011)		
Tub Tapware			Manufacturer	Range	Dove	Colour	Chrome
Washing Machine Tapware			Manufacturer	Range	Dove	Colour	Chrome
			Gallery		Dove		Chrome

Internal Painting

Bedroom 1	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat
Bedroom 2	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat
Bedroom 3	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat
Bedroom 4	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat
Study	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat
Lounge / Living Room	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat
Kitchen / Family / Meals	Manufacturer	Taubmans	Specification	Easycoat 2 Coat System	Walls	Ocean Pebble (NH17)	Ceiling	White - Flat

Masterton Homes

Client 1 Signature / Date: 14/1/11 Client 2 Signature / Date:

Colour Selection

Masterston Homes

Job Number:	9936880	Document:	5	Contact:	Brad Woods	(M):	0418 659 278
Client Name:	Mr Brad & Mrs Cherry-Ann Woods	Phone (H):	9944 6980	Consultant:	Deborah Wakeham		
Job Address:	Lot 59, 12 Amott Crescent WARREWOOD NSW 2102	Status:	Signed			14/01/2011	12:00:00AM
House Package:	Villina 36						

Rumpus / Games	Manufacturer Taubmans	Specification Easycoat 2 Coat System	Walls Ocean Pebble (NH17)	Ceiling White - Flat
Sitting Room / Gallery	Manufacturer Taubmans	Specification Easycoat 2 Coat System	Walls Ocean Pebble (NH17)	Ceiling White - Flat
Main Bathroom	Manufacturer Taubmans	Specification Easycoat 2 Coat System	Walls Ocean Pebble (NH17)	Ceiling White - Flat
Ensuite	Manufacturer Taubmans	Specification Easycoat 2 Coat System	Walls Ocean Pebble (NH17)	Ceiling White - Flat
Powder Room	Manufacturer Taubmans	Specification Easycoat 2 Coat System	Walls Ocean Pebble (NH17)	Ceiling White - Flat
Laundry	Manufacturer Taubmans	Specification Easycoat 2 Coat System	Walls Ocean Pebble (NH17)	Ceiling White - Flat
Internal Woodwork	Manufacturer	Paint / Stain	Colour Other	Finish Full Gloss
Skirting / Architraves	Manufacturer Taubmans	Paint	Colour White	Finish Full Gloss
Internal Doors	Manufacturer Taubmans	Paint / Stain	Colour Other	Finish Full Gloss
Stair - Newel Post	Manufacturer Taubmans	Paint	Colour White	Finish Full Gloss
Stair - Handrail	Manufacturer Taubmans	Paint / Stain	Colour Masterston Light Stain	Finish Full Gloss
Stair - Stringer	Manufacturer Taubmans	Paint / Stain	Colour Other	Finish Full Gloss

Lifestyle Selections

Customer Selections

Client 1 Signature / *Deborah Wakeham* Date *14/01/11* Client 2 Signature / _____ Date _____

Colour Selection

Masterton Homes

Job Number:	9936880	Document:	5	Contact:	Brad Woods	(M):	0418 659 278
Client Name:	Mr Brad & Mrs Cherry-Ann Woods	Phone (H):	9944 6980	Consultant:	Deborah Wakeham		
Job Address:	Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102	Status:	Signed			14/01/2011 12:00:00AM	
House Package:	Villina 36						

Alarm System				Quote # Refer Quote No.	3819
Intercom System				Quote # Refer Quote No.	3819
Vacuum System				Quote # Refer Quote No.	3819
Staircase Quote / Upgrades				Refer Quote No.	YM37317 & YM42295
Wall Floor Tile Upgrades				Refer Quote No.	DI Lorenzo MAS 2563
Carpet Quote				Quote # Refer Quote No.	63285
Timber Flooring				Refer Quote No.	63286
Gas Availability				Gas Information	Gas Ref No. & Bayonet Positions RFS 772593 - Gas availability confirmed, standard connection to meter location. - 1 x Great Room, 1 x Upstairs Lounge, 1 x Ext BBQ
Add on - Wet Area					
Additional Wet Area					
Vanity Top	Bed 4 900 Moulded Height 950	Range Monaco	Colour White	Edge	2 Door VHN2

Client 1 Signature / Date, 14/1/11 Client 2 Signature / Date

Cherryann Woods

Masterton Homes

Contact:	Brad Woods	(M):	0418 659 278
Phone (H):	9944 6980		
Consultant:	Deborah Wakeham		
Status:	Signed		
		14/01/2011	12:00:00AM

Add on - Laundry Cabinets

Page: 12 of 13

Colour Selection

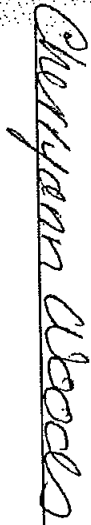
Masterton Homes

Job Number:	9936880	Document:	5	Contact:	Brad Woods	(M):	0418 659 278
Client Name:	Mr Brad & Mrs Cherry-Ann Woods	Phone (H):	9944 6980	Consultant:	Deborah Wakeham		
Job Address:	Lot 59, 12 Amott Crescent WARRIEWOOD NSW 2102	Status:	Signed			14/01/2011	12:00:00AM
House Package:	Villina 36						

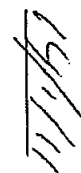
Please sign and date to indicate that the information is correct and that you have read and understood this document.

I/We Mr Brad & Mrs Cherry-Ann Woods agree to the Colour Selection stated on this document and fully understand and acknowledge that Masterton Homes Pty Ltd takes no responsibility for possible variations due to manufacture, colour, size and natural / environmental product variance of materials and goods. Including, any selection of dark paint colours to external doors which has the potential to warp and distort. Alterations made after completing and signing of this Colour Selection sheet, will incur a penalty administration fee of \$1,000.00 (one thousand dollars) which will be added to your contract.

Signed
Signed



Date
Date





Masterton Homes Pty Limited
ABN: 52 002 873 047 ACN: 002 873 047 B/Lic: 35558C
Cnr Hume Highway & Sappho Road Warwick Farm
PO Box 323, Liverpool 1871
Tel 02 9601 4066 Fax 02 9601 1426
www.masterton.com.au

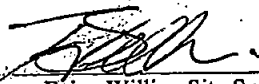
**Frame
Compliance Certificate**

Council Area:	<u>Pittwater</u>
Applicant:	<u>Masterton Homes/ 36880 Woods</u>
Address	<u>Cnr Hume Highway & Sappho Road Warwick Farm</u>
Contact No (telephone/fax)	<u>9601 4066</u>
DA / CDC Number:	<u>2010/1546</u>
CC Number:	<u>-</u>
Lot	<u>59</u>
Building Address	<u>12 Arnott Cr</u>
Suburb	<u>Warriewood</u>

FRAME DEFECTS

I certify that all frame defect issues identified for the above address, have been rectified in a proper and workmanlike manner and in accordance with BIA & AS1684-2.

Signed-


Brian Willis - Site Supervisor

Date

5th September 2012

Bernie Cohen & Associates Pty Ltd Trading as

ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☎ Facsimile: (02) 9612-5050



essentialCERTIFIERS

RECORD OF INSPECTION

CDCNo: CDC2010-01546
COUNCIL: PITTWATER

Type of Inspection	Storm Water
Date of Inspection	27/04/2011
Applicant Name	Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name	Woods, Mr Brad & Mrs Cherryann
Builder Name	Masterton Homes Pty Ltd

SUBJECT LAND

Address 12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S D/A CONSENT

Development Consent No N/A
D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision Approved
Date of Decision 2/11/2010

RESULT OF INSPECTION

Result Satisfactory
Re Inspection Required No

CERTIFYING AUTHORITY

Name of Certifying Authority Greenfield Certifiers
Name of Accredited Certifier Stephen Murray
Accreditation No BPB0282

Essential Certifiers Liverpool Certificate No. CDC2010-01546

Bernie Cohen & Associates Pty Ltd Trading as
ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254

PO Box 208 Casula Mall NSW 2170 ☐ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☐ Facsimile: (02) 9612-5050



essentialCERTIFIERS

RECORD OF INSPECTION

CDCNo: CDC2010-01546
COUNCIL: PITTWATER

Type of Inspection Framework
Date of Inspection 15/08/2011
Applicant Name Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name Woods, Mr Brad & Mrs Cherryann
Builder Name Masterton Homes Pty Ltd

SUBJECT LAND
Address 12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S D/A CONSENT
Development Consent No N/A
D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION
Decision Approved
Date of Decision 2/11/2010

RESULT OF INSPECTION
Result Defective
Re Inspection Required Yes

CERTIFYING AUTHORITY
Name of Certifying Authority Greenfield Certifiers
Name of Accredited Certifier Rick Moy
Accreditation No BPB0281

Essential Certifiers Liverpool Certificate No. CDC2010-01546

Bernie Cohen & Associates Pty Ltd Trading as

ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254



essentialCERTIFIERS

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☎ Facsimile: (02) 9612-5050

RECORD OF INSPECTION

CDCNo: CDC2010-01546
COUNCIL: PITTWATER

Type of Inspection	Framework
Date of Inspection	23/08/2011
Applicant Name	Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name	Woods, Mr Brad & Mrs Cherryann
Builder Name	Masterton Homes Pty Ltd

SUBJECT LAND

Address 12 Arnott Crescent, WARRIEWOOD 2102

COUNCIL'S D/A CONSENT

Development Consent No N/A
D.A Approval Date

CONSTRUCTION CERTIFICATE DETERMINATION

Decision Approved
Date of Decision 2/11/2010

RESULT OF INSPECTION

Result Defective

Re Inspection Required Yes

CERTIFYING AUTHORITY

Name of Certifying Authority Greenfield Certifiers
Name of Accredited Certifier Rick Moy
Accreditation No BPB0281

Essential Certifiers Liverpool Certificate No. CDC2010-01546

Bernie Cohen & Associates Pty Ltd Trading as
ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254



essentialCERTIFIERS

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☎ Facsimile: (02) 9612-5050

RECORD OF INSPECTION

CDCNo:	CDC2010-01546
COUNCIL:	PITTWATER

Type of Inspection	Water Proofing
Date of Inspection	12/09/2011
Applicant Name	Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name	Woods, Mr Brad & Mrs Cherryann
Builder Name	Masterton Homes Pty Ltd

SUBJECT LAND

Address	12 Arnott Crescent, WARRIEWOOD 2102
---------	-------------------------------------

COUNCIL'S D/A CONSENT

Development Consent No	N/A
D.A Approval Date	

CONSTRUCTION CERTIFICATE DETERMINATION

Decision	Approved
Date of Decision	2/11/2010

RESULT OF INSPECTION

Result	Satisfactory
Re Inspection Required	No

CERTIFYING AUTHORITY

Name of Certifying Authority	Essential Certifiers
Name of Accredited Certifier	Rick Moy
Accreditation No	BPB0281

Essential Certifiers Certificate No. CDC2010-01546

Bernie Cohen & Associates Pty Ltd Trading as

ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254



essentialCERTIFIERS

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☎ Facsimile: (02) 9612-5050

RECORD OF INSPECTION

CDCNo: CDC2010-01546
COUNCIL: PITTWATER

Type of Inspection Final Inspection
Date of Inspection 1/11/2011
Applicant Name Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name Woods, Mr Brad & Mrs Cherryann
Builder Name Masterton Homes Pty Ltd

SUBJECT LAND

Address 12 Arnott Crescent, WARRIEWOOD 2102

CONSTRUCTION CERTIFICATE DETERMINATION

Decision Approved
Date of Decision 2/11/2010

RESULT OF INSPECTION

Result Defective
Re Inspection Required Yes

1. Complete balustrade to first floor balcony and submit photo to PCA.

CERTIFYING AUTHORITY

Name of Certifying Authority Essential Certifiers Liverpool
Name of Accredited Certifier Stephen Murray
Accreditation No BPB0282

Essential Certifiers Certificate No. CDC2010-01546

Bernie Cohen & Associates Pty Ltd Trading as
ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254

PO Box 208 Casula Mall NSW 2170 ☐ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☐ Facsimile: (02) 9612-5050



essentialCERTIFIERS

RECORD OF INSPECTION

CDCNo:	CDC2010-01546
COUNCIL:	PITTWATER

Type of Inspection	Final Inspection
Date of Inspection	8/10/2012
Applicant Name	Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name	Woods, Mr Brad & Mrs Cherryann
Builder Name	Masterton Homes Pty Ltd

SUBJECT LAND

Address	12 Arnott Crescent, WARRIEWOOD 2102
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COUNCIL'S D/A CONSENT

Development Consent No	N/A
D.A Approval Date	

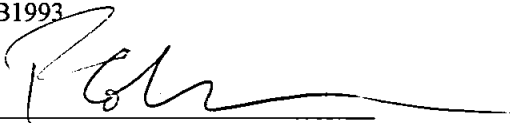
CONSTRUCTION CERTIFICATE DETERMINATION

Decision	Approved
Date of Decision	2/11/2010

RESULT OF INSPECTION

Result	Satisfactory
Re Inspection Required	No

CERTIFYING AUTHORITY

Name of Certifying Authority	Essential Certifiers Liverpool
Name of Accredited Certifier	Paul Cohen
Accreditation No	BPB1993
Signature	

Essential Certifiers Liverpool Certificate No. CDC2010-01546

Bernie Cohen & Associates Pty Ltd Trading as
ESSENTIAL CERTIFIERS

ACN : 100386650
ABN : 84047117254

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone: (02) 9612-5000 ☎ Facsimile: (02) 9612-5050



RECORD OF INSPECTION

CDCNo:	CDC2010-01546
COUNCIL:	PITTWATER

Type of Inspection	Final OC Completion
Date of Inspection	7/11/2012
Applicant Name	Woods, Mr Brad & Mrs Cherryann c/- Masterton Homes
Owner Name	Woods, Mr Brad & Mrs Cherryann
Builder Name	Masterton Homes Pty Ltd

SUBJECT LAND

Address	12 Arnott Crescent, WARRIEWOOD 2102
---------	-------------------------------------

COUNCIL'S D/A CONSENT

Development Consent No	N/A
D.A Approval Date	

CONSTRUCTION CERTIFICATE DETERMINATION

Decision	Approved
Date of Decision	2/11/2010

RESULT OF INSPECTION

Result	Satisfactory
Re Inspection Required	No

CERTIFYING AUTHORITY

Name of Certifying Authority	Essential Certifiers
Name of Accredited Certifier	Chris Manzi
Accreditation No	BPB0248
Signature	