



Construction Certificate Application

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

Receipt of Application

Date:

18/1/05

Delivery by:

☒ Hand

☐ Post

☐ Electronic Transmission

(Must not be by facsimile)

Signed by Urban Approvals:

W. Brown

Application & Site Details

1. DA, Consent Details:

(You may only make this application if you already have development consent)

DA No.:

N0225/04

Consent No.:

Consent Date:

Building Code of Australia

Classification:

(As specified on the Consent)

2. Applicant:

Family/Company Name:

MAINCOM P/L

Given Names/ACN:

Postal Address:

6/114 WOKERN AVE
PENRITH 2750

Phone:

4722 5900

Facsimile:

4722 3200

Contact Person:

JIMMY DABOUL

3. Owner(s) of Property:

Family/Company Name:

STOCKLANDS

Given Names/ACN:

Postal Address:

LIVERPOOL ST. SYDNEY

Phone:

4. Location and Title Description of the Property/Land:

Street No & Street: 3 ORCHARD STREET
Suburb: WARRIEWOOD
Lot(s): 328
Section:
Deposited Plan(s): 1065723
Strata Plan:
Other:

5. Description of Building Work:

Detailed Description: Two storey BRICK
VENEER & GARD HOME.

6. If required, have you provided:

- | | |
|---|--|
| ☒ 4 copies of the detailed building plans | 2 copies of any compliance certificates to be relied upon |
| ☒ 4 copies of the specifications | proposed/existing fire safety measures |
| ☒ 2 copies of certified engineering details | design verification statement (certain residential flat buildings) |
| Other..... | |

7. Estimated Cost of the Development

\$ 356 256.67

8. Builder/Owner Builder

Name: MAINCOM P/L
Contact Phone No.: 4722 5900
Contractor Licence No.:
OR
Owner Builder Permit No.:
(Required for residential building over
exceeding \$5,000)

9. Do you need:

(If YES, please attach proof of payment and/or compliance)

(a) to pay the Building Industry Long Service Levy?

(Required if development involves building work which exceeds \$24,999)

Yes
Not Applicable

(b) Home Building Act Insurance?

(Required if using builder for residential building work which exceeds \$12,000. A certificate of insurance must be provided with this Application)

Yes
Not Applicable

(c) to register with the Australian Taxation Office under the prescribed payments scheme?

Yes
Not Applicable

10. Have you complied with all the conditions of development consent that require specific matters to be completed or satisfied before a construction certificate may be issued?

(eg. Landscape & drainage plans, drainage calculations, section 94 contributions)

Yes
Not Applicable

11. List of documents accompanying this Application:

ARCHITECTURAL
STRUCTURAL
HYDRAULIC
LANDSCAPE

12. Schedule

(The attached schedule is to be completed for the purpose of providing information to the Australian Bureau of Statistics.)

Payment of Fees

13. Fees and Charges:

The Owner/Applicant agrees to pay Urban Approvals the fees and charges set out in the Fee Schedule, as updated and/or amended from time to time.

Execution

14. Owner's Consent:

(Must be signed by the owner of the land. If more than one owner, every owner must sign. If the owner is a company, must be signed by a director of the company)

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections.

Signature of Owner/s: REFER TO LETTER Date:

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence (eg power of attorney, executor, trustee, director).

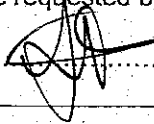
Signature on behalf of Owner/s: Date:

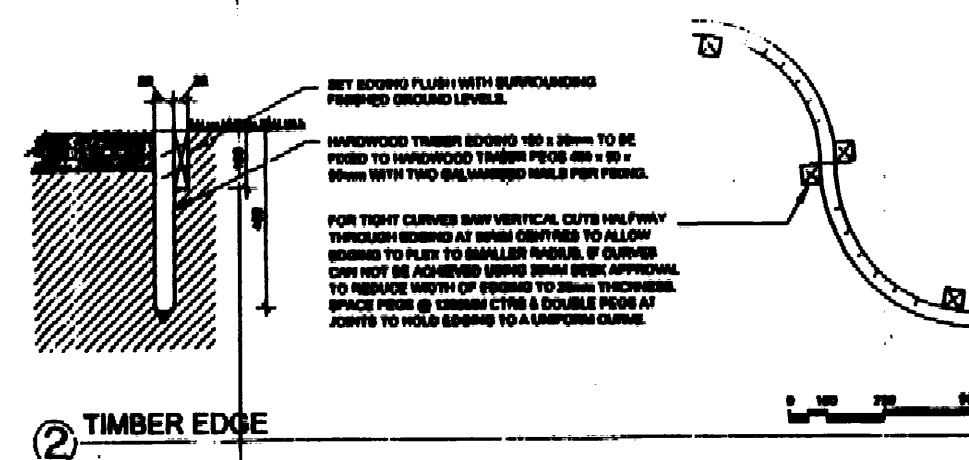
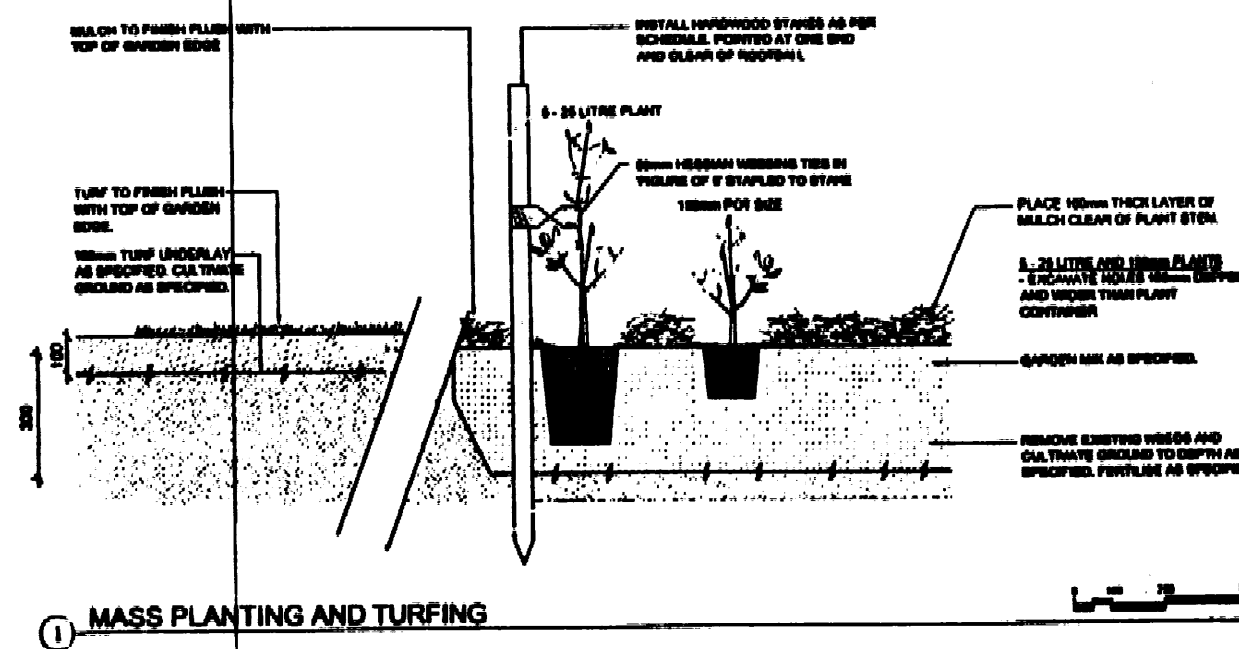
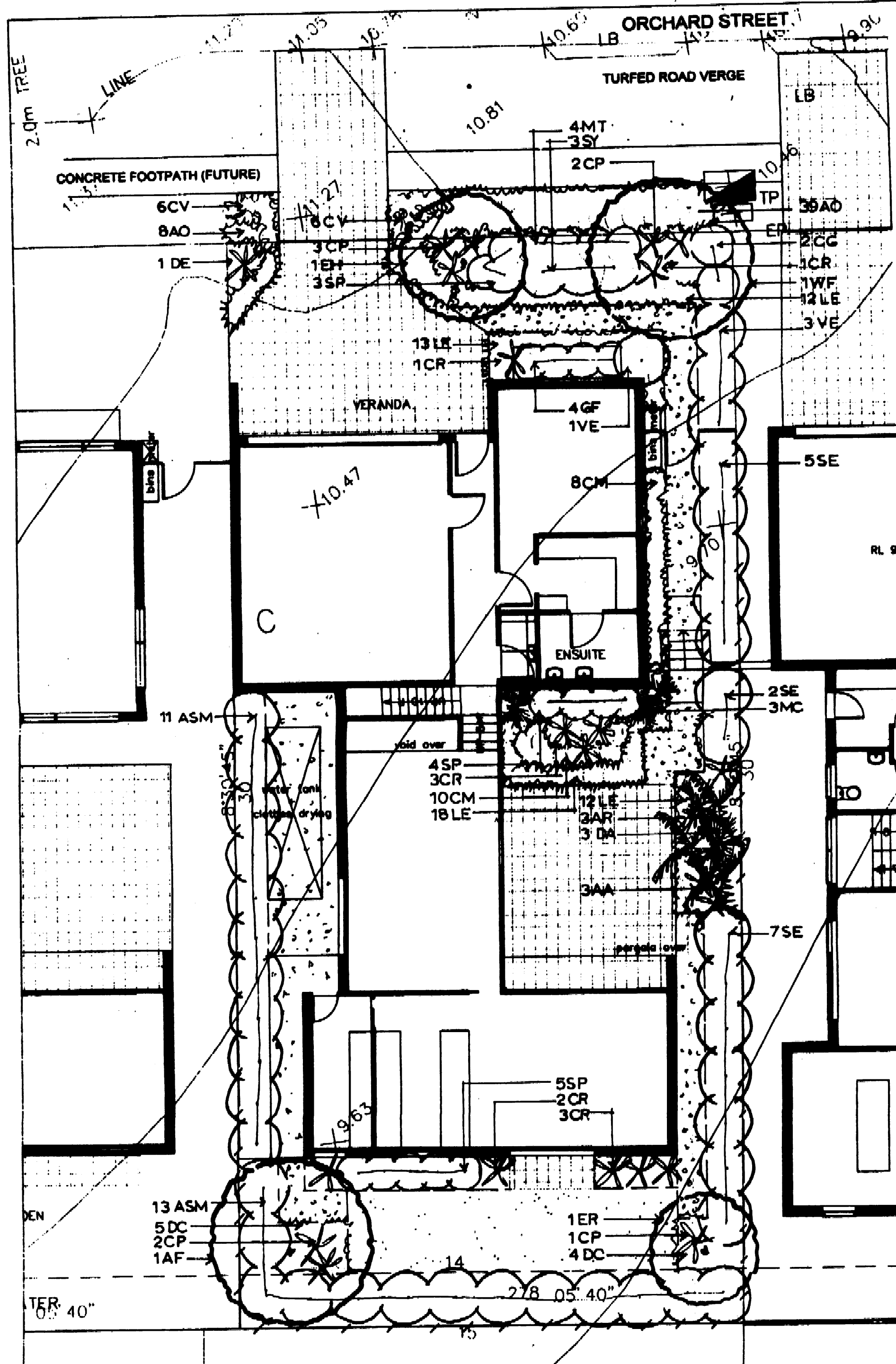
15. Applicant's Declaration

DECLARATION

I apply for a Construction Certificate to carry out the development described in this application. I declare that all the information given is true and correct. I also understand that:

- (a) If incomplete, the application may be delayed or rejected, and
- (b) More information may be requested by Urban Approvals prior to determination.

Signature of Applicant:.....



PLANT SCHEDULE

Sym	Species	Common Name	Mature Height	Qty	Pot Size	Spacing	Staking
TREE SPECIES							
AF	Angophora floribunda	Rough Barked Apple	18.0m	1	45 litre	As shown	2 x 50 x 50 x 1800
EH	Eucalyptus haemastoma	Scribbly Gum	15.0m	1	45 litre	As shown	2 x 50 x 50 x 1800
ER	Elaeocarpus reticulatus	Blueberry Ash	8.0m	1	45 litre	As shown	1 x 38 x 38 x 1500
WF	Waterhousea floribunda	Giant Water Gum	15.0m	1	45 litre	As shown	2 x 50 x 50 x 1800
ASM	Acmena smithii 'Minor'	Lilly Pilly	3.0m	24	25 litre	1.5m	1 x 38 x 38 x 1500
CG	Callistemon 'Great Balls of Fire'	Bottlebrush	1.0m	2	5 litre	1.0m	-
GF	Gardenia 'Florida'	Gardenia	1.5m	4	5 litre	1.0m	-
MT	Metrosideros 'Tahiti'	Metrosideros	1.5m	4	5 litre	1.2m	-
SY	Syzygium 'Cascade'	Lilly Pilly	1.5m	3	5 litre	1.2m	-
SE	Syzygium 'Elite'	Lilly Pilly	1.5m	14	25 litre	1.2m	-
SP	Syzygium 'Pathfinder'	Dwarf Lilly Pilly	1.0m	12	5 litre	-	-
VE	Viburnum 'Emerald Lustre'	Sweet Viburnum	2.0m	4	25 litre	1.5m	-
DETAIL PLANTS							
AA	Asplenium australasicum	Birds Nest Fern	1.0m	3	5 litre	1.2m	-
CR	Cordyline 'Rubra'	Red Cordyline	1.0m	10	5 litre	1.0m	-
CP	Crinum pedunculatum	Swamp Lily	1.0m	8	5 litre	1.2m	-
DA	Dicksonia antarctica	Soft Tree Fern	1.5m	3	Var.	2.0m	-
DE	Dorstenia excelsa	Gymea Lily	1.5m	1	5 litre	1.5m	-
PALMS							
AR	Archonophoenix cunninghamiana	Bangalow Palm	4.0m	3	75 litre	1.5m	-
MC	Macrozamia communis	Burrawang Palm	1.5m	3	5 litre	1.5m	-
GRASSES & GROUND COVERS							
AO	Agapanthus orientalis	Agapanthus	0.8m	47	5 litre	0.75m	-
CM	Clivia miniata	Kaffir Lily	0.8m	18	5 litre	0.75m	-
CV	Convolvulus mauritanicus	Convolvulus	0.3m	12	150mm	0.5m	-
DC	Dianella caerulea	Flax Lily	0.5m	9	150mm	0.5m	-
LE	Liriodendron 'Evergreen Giant'	Lily Turf	0.4m	55	150mm	0.4m	-

LEGEND

	EXISTING CONTOURS
	UNIT PAVED PATHS & DRIVEWAYS (TO FUTURE CHOICE)
	CONCRETE PAVEMENT
	DECORATIVE GRAVEL
	LAPPED & CAPPED TIMBER FENCE
	GARDEN EDGING
	TURF AREAS

SCANNED
1823124
PITTWATER COUNCIL

N0225/04

Issue	Comments	Date
A	FOR D.A. APPROVAL	14.12.03
B	AMEND: REDUCED PAVING AREAS	9.02.04
C	CANOPY TREES AMENDED - COUNCIL COMMENTS	21.04.04



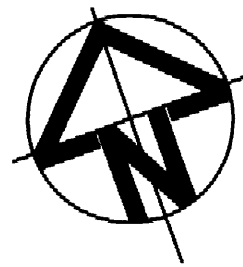
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Stockland

Landscape Architects:
MATHER & ASSOCIATES
LANDSCAPE ARCHITECTS
131 CALDERWELL STREET
PITTSBURGH NSW 2068
PH: (02) 944 1100 FAX: (02) 944 1101
EMAIL: mat@mat.com.au

Client: STOCKLAND TRUST GROUP
Project: FERNBROOK, STAGES
WARRIEWOOD
Title: LANDSCAPE PLAN - LOT 328

Scale: 1:100
Date: DEC 03
Dwg. No.: L 01
Job No.: 0310105
Designed: DH
Organ: DH
Checked: JO
Issue: C



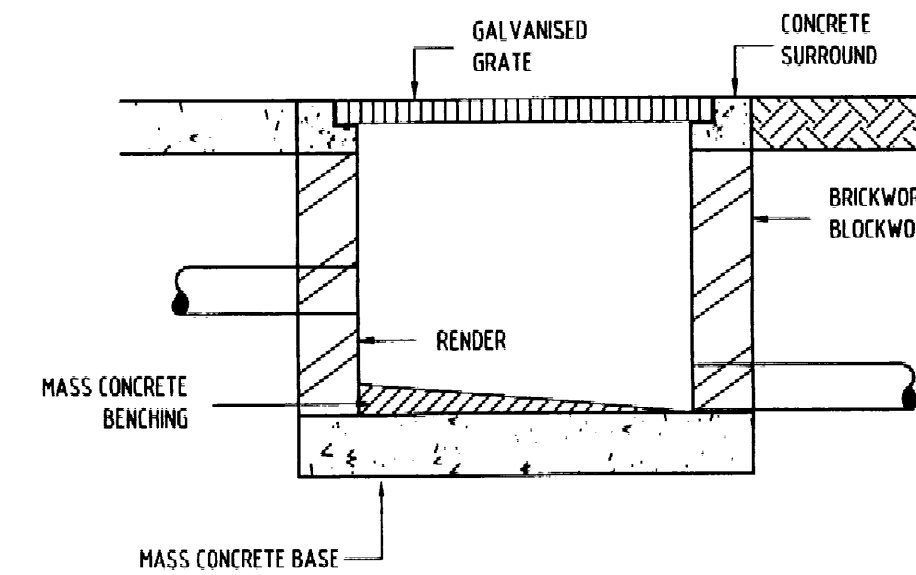
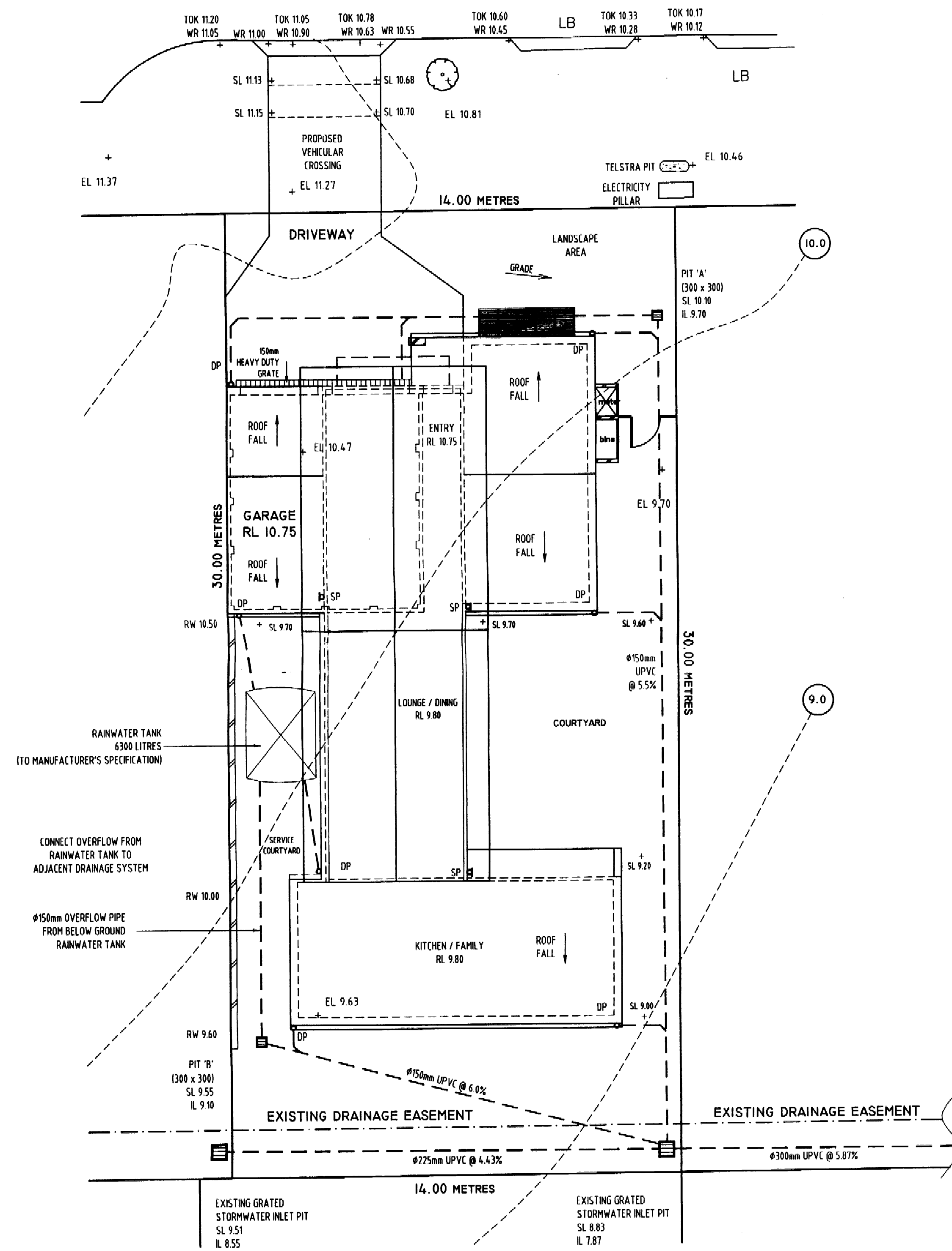
ORCHARD STREET

NOTES: SERVICES
NO EXCAVATION IN FOOTPATH WITHOUT CHECKING FOR DEPTH AND LOCATION OF SERVICES

NOTES: ROAD RESERVE & FOOTWAY DRAINAGE ELEMENTS
ALL STORMWATER DRAINAGE ELEMENTS PROPOSED WITHIN THE ROAD RESERVE AND FOOTWAY SHALL BE CONSTRUCTED UNDER THE SUPERVISION AND TO THE SATISFACTION OF COUNCIL'S ENGINEER.

NOTES: COUNCIL ISSUED FOOTWAY DESIGN LEVELS
COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY PITTWATER COUNCIL.

NOTE: RETAINING WALLS & 'AGG' LINES
ALL RETAINING WALLS ARE TO BE WATERPROOFED AND CONSTRUCTED WITH #600MM AGRICULTURAL LINES AT THE BASE AND CONNECTED TO THE NEAREST PIT IN THE COURTYARD.



TYPICAL PIT DETAIL
NTS

NOTES: RAINWATER TANKS

- RAINWATER TANK CAPACITY OF 6300 LITRES.
- THE SYSTEM TO BE DESIGNED WITH THE FOLLOWING GUIDELINES:
 - A 'FIRST FLUSH' DIVERSION TO REMOVE ROOF CONTAMINANTS
 - ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMALS OR FOREIGN MATTER
- TANKS TO BE PLUMBED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIODS WHEN THE TANKS ARE 80% EMPTY.
- NO DIRECT CROSS-CONNECTION WITH THE STONY WATER POTABLE SUPPLY AND AN AIR GAP MAINTAINED ABOVE THE OVERFLOW IN THE TANK.
- A SIGN TO BE INSTALLED STATING 'NON POTABLE WATER'.
- OVERFLOW FROM THE TANK SHALL BE PIPED TO OVERFLOW PIE AND DIRECTED TO THE DRAINAGE SYSTEM THE NEAREST DOWNPIPE.
- PIPE WORK USED SHALL BE COLOURED PURPLE IN ACCORDANCE WITH AS 1345. ALL VALVES AND APERTURES SHALL BE CLEARLY AND PERMANENTLY LABELLED WITH SAFETY SIGNS TO COMPLY WITH AS 1319.
- CONNECTION OF AN AUTOMATIC IRRIGATION SYSTEM TO THE RAINWATER TANK TO ENSURE FULL UTILISATION OF THE STORED WATER AND TO MAINTAIN THE REQUIRED IRRIGATION RATE.

LEGEND:

DP	DOWN PIPE
SP	SPREADER
CE - IL 36.00	CLEANING EYE
EL 49.45+	EXISTING LEVEL 49.45
SL 49.45+	PROPOSED SURFACE LEVEL 49.45
IL 49.45 +	PROPOSED INVERT LEVEL 49.45
WR 49.45+	PROPOSED WATER RUN LEVEL 49.45
TOK 49.45+	TOP OF KERB LEVEL LEVEL 49.45
RW 49.45	TOP OF RETAINING WALL 49.45
KIP	KERB INLET PIT

DETAILS NOTED

ACE CIVIL & HYDRAULIC ENGINEERS

PROPOSED RESIDENTIAL DWELLING
AT (LOT 328) 3 ORCHARD STREET
WARRIEWOOD N.S.W. 2102

DESIGNED: PAUL ARRAJ	DATE 18 01 2005
BE, GRAD.IE(AUST), P. Eng	DRAWN BY: P.A.
ACE-CIVIL & HYDRAULIC ENGINEERS 8 LEIGHDON STREET BASS HILL, NSW, 2197 PHONE / FAX: (02) 9790 7921 MOBILE: 0412 331151 EMAIL: arra@smartchat.net.au	SCALE: AS SHOWN 0405-33 DRAWING No.: SHEET No. 1 No. OF SHEETS: 2
HYDRAULIC PLAN	A1

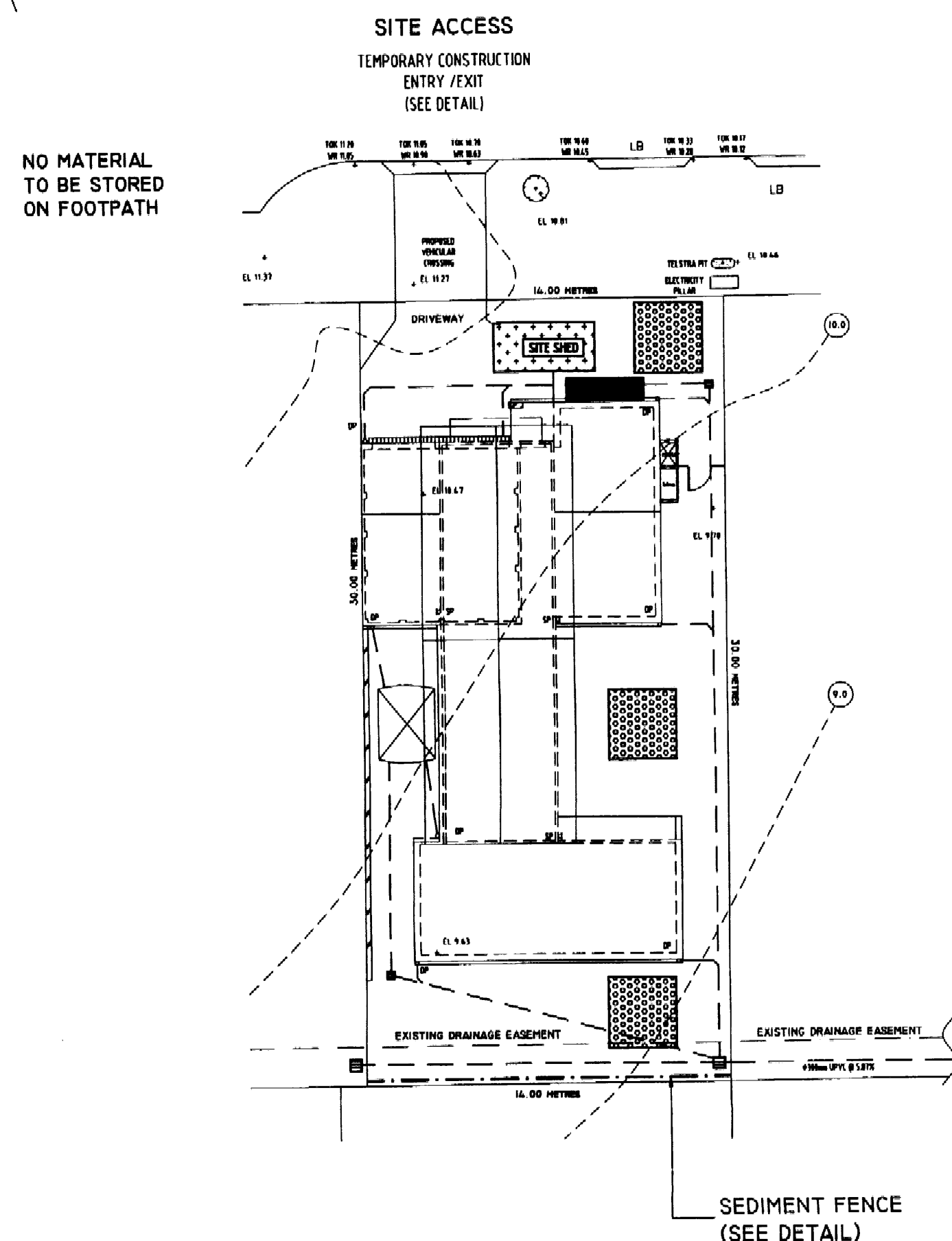
NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A.S.3500.3, COUNCIL'S STANDARD SPECIFICATION CODES AND THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS.
- MINIMUM GRADES FOR ALL PIPE - 1.0%.
- DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
- ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.



ORCHARD STREET

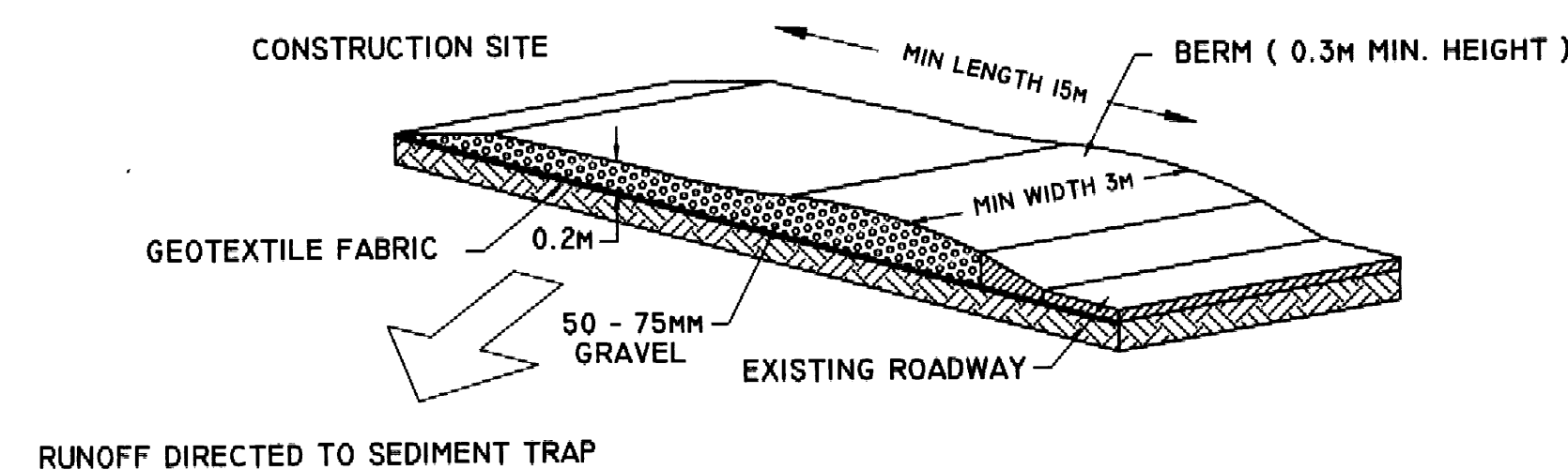
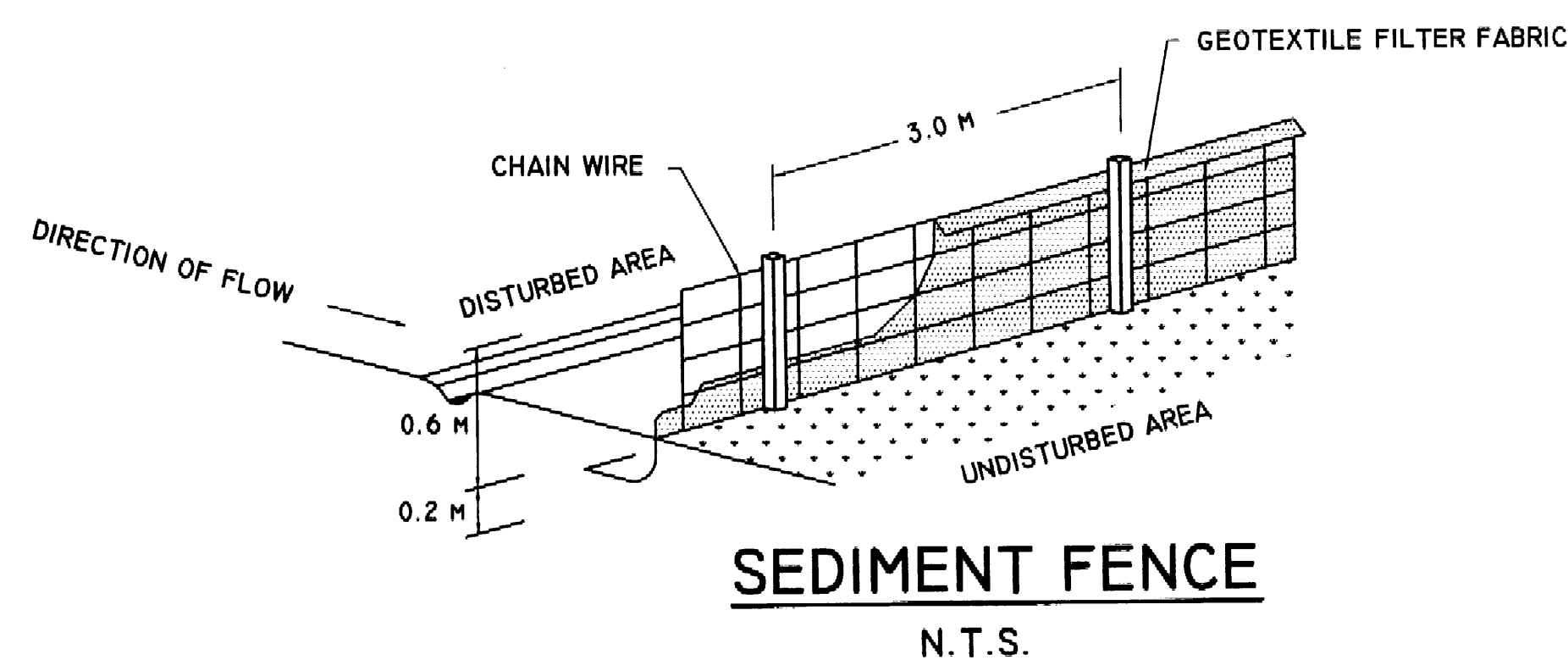
NOTES: SERVICES
NO EXCAVATION IN FOOTPATH WITHOUT
CHECKING FOR DEPTH AND LOCATION OF SERVICES



SOIL & WATER MANAGEMENT PLAN

SCALE 1:200

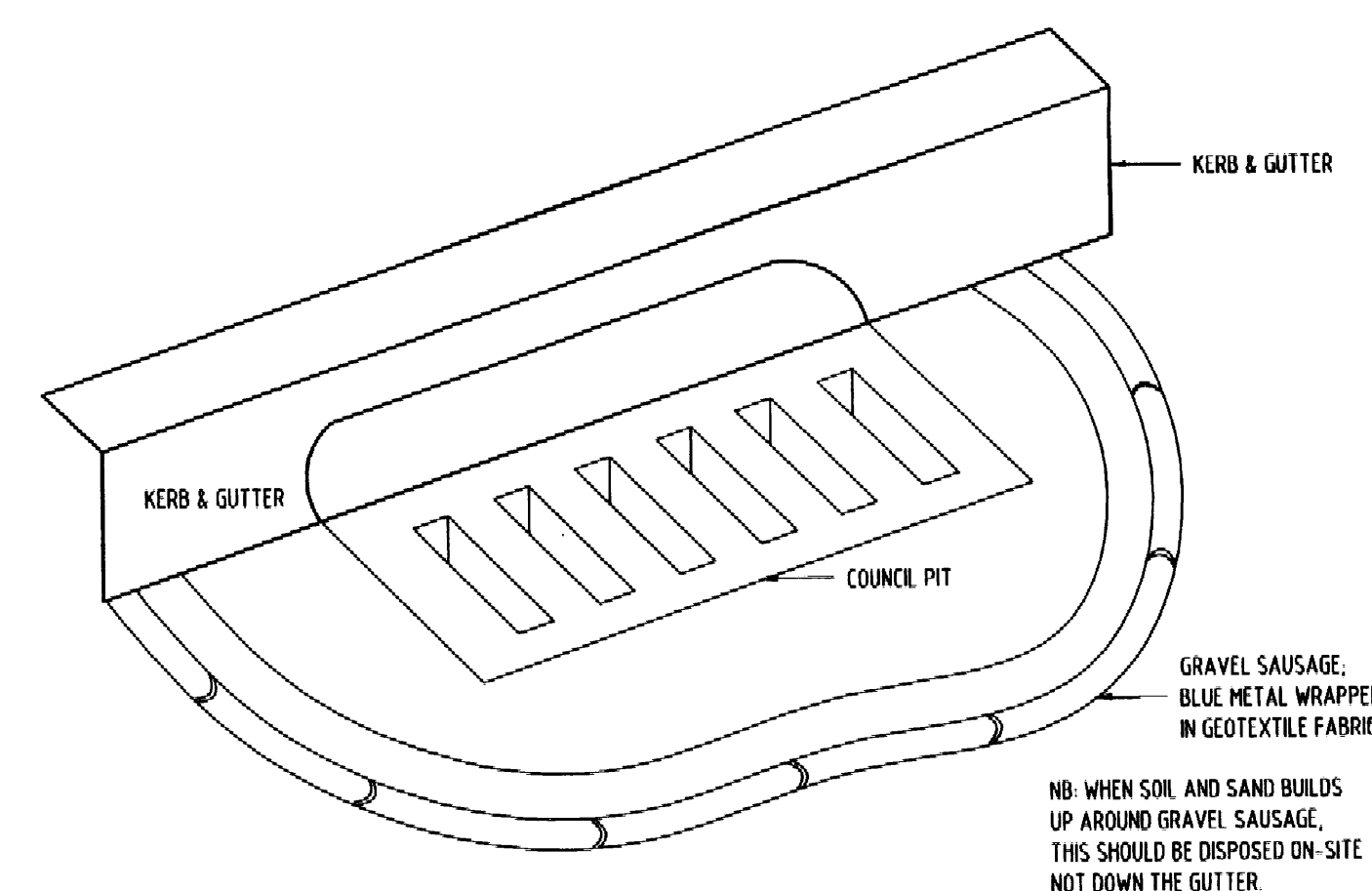
NB: PROVIDE SEDIMENT FENCE ALONG THE
FULL LENGTH OF THE SOUTHERN BOUNDARY
AND CLEAN AND MAINTAIN DAILY.



TEMPORARY CONSTRUCTION

EXIT / ENTRANCE

N.T.S.

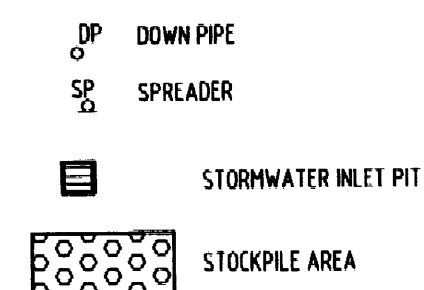


NB: PLACE GRAVEL SAUSAGE AROUND
THE NEAREST DOWNSTREAM COUNCIL
STORMWATER PIT IN ORCHARD STREET.

GRAVEL SAUSAGE - GUTTER PROTECTION

N.T.S.

LEGEND



DETAILS NOTED

NOTES: SOIL & WATER MANAGEMENT

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEP DAILY.
6. NO MATERIAL TO BE STORED ON FOOTPATH.
7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A \$1500 FINE.

ACE CIVIL & HYDRAULIC
ENGINEERS

PROPOSED RESIDENTIAL DWELLING
AT (LOT 328) 3 ORCHARD STREET
WARRIEWOOD N.S.W. 2102

DESIGNED: PAUL ARRAJ
BE, GRAD.IE(AUST), P. Eng

DATE 18 01 2005
DRAWN BY: P.A.

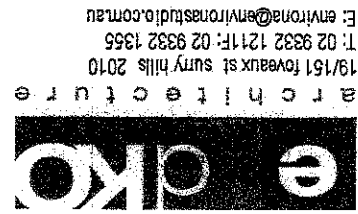
ACE-CIVIL & HYDRAULIC ENGINEERS
8 LEIGHDON STREET
BASS HILL, NSW, 2197
PHONE / FAX: (02) 9790 7921
MOBILE: 0412 331151
EMAIL: arraj@smatchat.net.au

SCALE: AS SHOWN
0405-33
DRAWING No.:
SHEET No. 2
No. OF SHEETS: 2

HYDRAULIC PLAN

A1

Stockland



19/151 foveaux st sunny hills 2010
T: 02 9332 1211 F: 02 9332 1355
E: environment@ekoarchitecture.com.au

DETAILS NOTED

LANDSCAPE PLAN

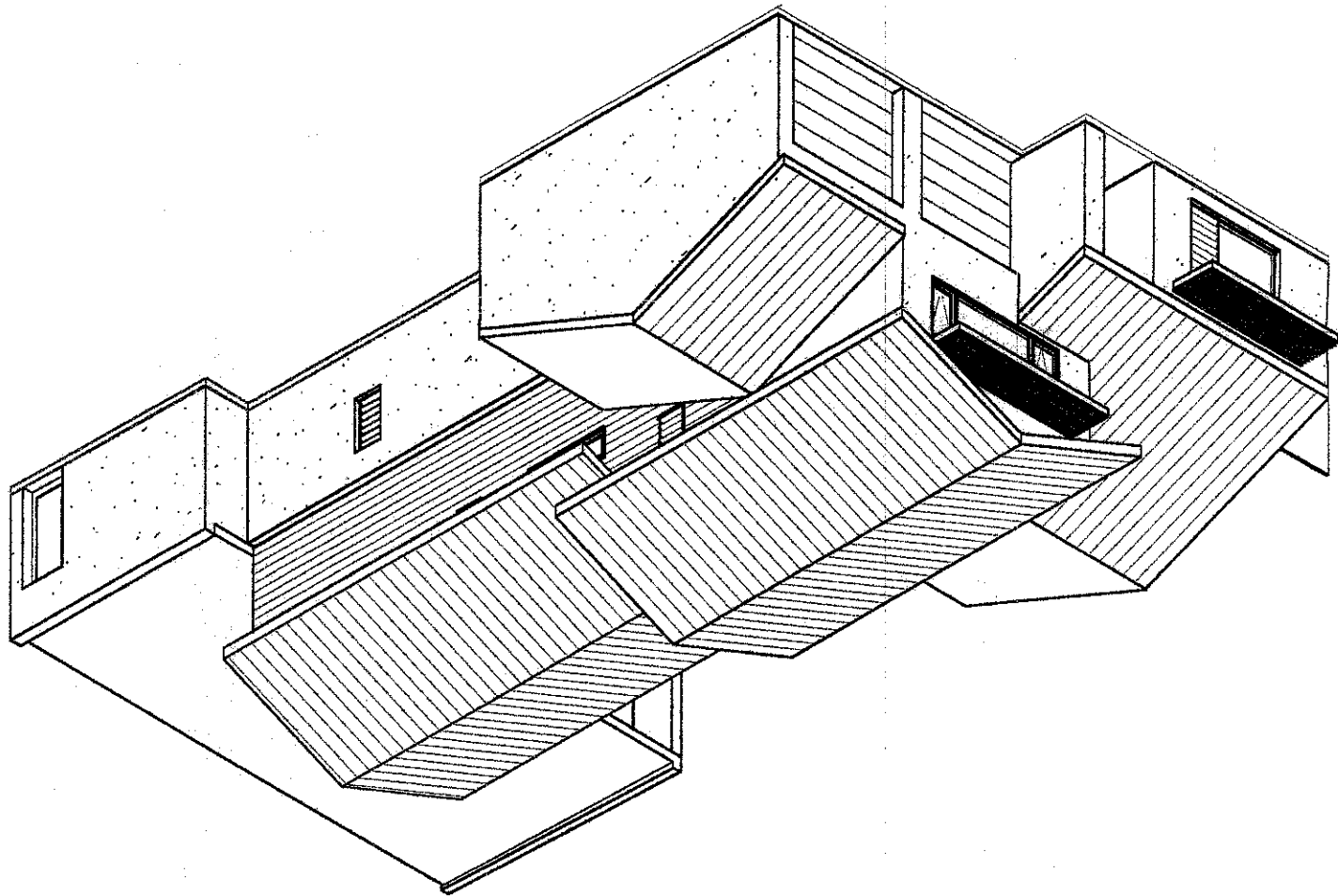
L01

SITE PLAN 1:200
LEVEL 1 PLAN 1:100
LEVEL 2 PLAN 1:100
ROOF PLAN 1:100
NORTH EAST + WEST ELEVATIONS 1:100
SOUTH ELEVATION + LONG SECTION 1:100
ELECTRICAL LAYOUT PLAN 1:100

CC 328-01
CC 328-02
CC 328-03
CC 328-04
CC 328-05
CC 328-06
CC 328-07

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES

LOT 328 - FERNBROOK STAGE 3 @ WARRIEWOOD





Area	Item	Finish	Code	Description	Supplier	Rev
ENTRY	Driveway	Stencillcete/ Pavers		Stencillcete with borders or Pavers with borders large format 400 x 400mm.		
GARAGE DOOR		Timber	C5	Spring Assisted Solid Sectional Door with Selected timber finish		
WINDOWS/ DOORS	Glass/ Aluminium	Powdercote	PC8	New Aluminium framed windows and doors Colour: Woodland Grey 84220	Dulux	E
DOORS	Solid Core	Paint	P10	Taubmans full gloss enamel paint finish Colour: Woodlooware T122- 5W	Taubmans	
FAÇADE WALLS	Bagged Brickwork	Rendered	R13	Taubmans Colour: Wizard Grey T167- 7A	Taubmans	
	Bagged Brickwork	Rendered	P11	Taubmans Colour: Foxtail T161-5W	Taubmans	D
	FC Weatherboards	Paint	P12	Selected paint finish Taubmans Col: Woollooware T122- 5W	Taubmans	
ROOF	Steel	Colourbond	C5	Colourbond corrugated roofing Colour: Woodland Grey	Colourbond	
FASCIA	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	E
GUTTERS	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	E
DOWNPIPES	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	E
FLASHING	Steel	Colourbond	C5	Colour: Woodland Grey	Colourbond	E
BALUSTRADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level	Colourbond	E
SUNSHADE	Timber	Polished		Selected hardwood timber with clear coat polyurethane finish 30% gloss level		
FENCE & GATE	Timber			Selected hardwood timber slats with clear coat polyurethane finish 30% gloss level		

WASTE MANAGEMENT PLAN

EST. QUANTITY		Volume Area weight		cum sqm tonne	
EXCAVATION STAGE					
Top soil	3.00				
Sand/clay/shale	30.00				
Rock	Nil				
CONSTRUCTION STAGE					
Bricks	0.10				
Concrete blocks	0.10				
Concrete	0.20				
Timber framing	0.50				
Timber cladding	0.50				
FC cladding	0.20				
Plasterboard	0.20				
Roofing: tiles	Nil				
Roofing: Steel	10.00				
Insulation	Nil				
Metal piping etc	0.001				
PVC piping	0.10				
Tiles + pavers	0.30				
Misc packaging, fixings glues etc	0.50				
IN USE					
Putrescible waste	0.15	per week			
General waste	0.25	per week			
Paper card	0.005				
Plastics	0.001				
Bottles	0.001				
Steel tins etc	0.002				
Aluminium	0.001				
Garden waste	0.1	per week			
All small branches and leaves chipped for mulch.					
Mulch to garden. Large trunks to timber salvage.					
Excess to periodic waset collection					
OFF SITE RECYCLING					
WTS = Waste Transfer Station					
OFF SITE DISPOSAL					

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE C, LOTS 320, 322, 323, 325,328

Scope of work/Notes	Groundwork/Excavation	Roofing: Corrugated Colorbond Steel (CCS)
All work as shown in the drawings and schedule, including all necessary work even if not drawn or scheduled. Refer all queries and discrepancies to the architects. All measurements in mm unless noted otherwise.	Bulk excavation and fill removed by others. Implement waste, water and soil management measures. AS 2870.1 Soil classification - Class M (mod. reactive clay) Excavate to levels noted for footings, floors, retaining walls Excavated material retained on site as fill to levels.	Roofing: Corrugated Colorbond Steel (CCS) Blue Scope steel Colorbond Custom Orb profile 0.48 steel roofing. Refer colour schedule. Sarking/Insulation: Astrofoil double sided anti glare insulation or ACI Permastop R1.5 Sisalation backed fibreglass. Fascia: Brake pressed Colorbond steel, 100 x 100 angle colour to match roof, no round edges> No timber fascias. Flashings: as per M1, Colorbond steel, colour to match roof. Valley gutters: 0.6 Colorbond Armour Grey steel.
Standard of Work and Regulations	Footings	Roof plumbing + Rainwater Drainage
All work to be carried out in accordance with: • Building Code of Australia 1996 • SAA Codes • Conditions of Council • Conditions of supply authorities • NATSPEC Housing Specification for each trade.	Concrete strip footings in accordance with AS 2870. Generally 400 d x 300 w with 2 layers F8 T/M throughout.	Roof plumbing + Rainwater Drainage Outboard gutters: 100 quad gutter, Colorbond to match roof. Inboard (box) gutters: custom fold in 0.48 Colorbond. Downpipes: 100 dia Colorbond to match roof. Drainage: 100 dia uPVC pipe to rainwater collection tank.
Terms and Abbreviations	Retaining walls	Internal walls: Timber frame
Abbreviations used on the drawings and in the specifications and schedules are as follows: AFS As further specified BBW Bagged Block / Brickwork BC Bright Chrome CB Colorbond (coloured Zincalume steel sheet) CCA Copper/Chrome/Arsenate treated timber CCR Corrugated Colorbond Roofing CCS Corrugated Colorbond Wall Sheeting CFC Compressed Fibre Cement sheet CIS Cast in situ (concrete) CT Ceramic Tiles cts Centres EPS Expanded Polystyrene (Insulation) F Fixed glass FC Fibre Cement sheet FFL Finished floor level GB Glass blockwork HW Hardwood HDG Hot Dipped Galvanised HDPE High Density Polyethylene (piping) HSC Hardiflex sheet cladding HTP Hardiflex panel HTP Hardiflex panel L Glass Louvers (in windows) LSOP Light Oil Solvent Preservative = 'Gold' Treated timber LVL Laminated Veneer Lumber MDF Medium density fibreboard = customwood MGP Machine Graded Pine framing (Wall/Floor) M1 Manufacturer's instructions NIC Not in Contact PB Plasterboard PFC Parallel Flange Channel PS Provisional Sum FBW Rendered Block / Brickwork FFL Reflective foil laminate FP Radata Pine S-I Supply and install SC Satin Chrome SHS Square Hollow section SS Stainless Steel T+G Tongue and grooved (flooring/walling) TBA To be advised TT Terracotta Tile UB Universal Beam UC Universal Column UNO Unless noted otherwise VOS Veneer VR Veneer WRC Western Red Cedar (timber)	Core filled concrete blockwork, per engineer's specification. External joints struck flush and bagged for paint finish. Floor level 1: Concrete slab on ground Concrete slab, cast on ground, per engineer's specification. Slab laid on blinding layer of sand to levels indicated. Polyethylene waterproof membrane to entire area. Under slab termite protection in accordance AS 3660.1. Terminesh' termite protection collars to all penetrations. 30 mm set down for 'wet areas', external walls and door sills. 40 mm set down for external walls and door sills. Finish: steel trowel finish concrete throughout. Floor level 2: Timber framed Floor joists to Timber Framing Code: (MGP or LVL or Hybeam are acceptable). Joists at 600 centres or as required. R 1.5 insulation + 6 FC sheet finish to ceiling of garage under level 2 internal floor area. Ceilings: direct fix, or on Rondo battens as required. Flooring: 18 Particleboard sheet flooring glued and nailed. Wet areas : 16 CFC sheet, glued and screwed, 30 set down. Refer floor finishes schedule.	External cladding: flat sheet and cover strips Where indicated on drawings, prepared sheet equal to: Laminex Meteon exterior laminate, (Laminex Tel 132 136), or Seratone Silverseal (Hallifax Vogel tel 1300 558 882). Covers: aluminium channel 40 x 20 U shaped, powdercoated Note: painted FC sheet not acceptable. Roof frame All roof bracing in accordance with Code. Gable pitched roof areas Gang nail softwood trusses @ 900 centres or as required, to Timber Framing Code / engineers spec. Roofing battens: 90 x 45 MGP on flat. Ceiling battens: MGP @ 450 cts or Rondo furring channels. Flat roof areas Timber rafters (MGP or LVL or Hybeam are acceptable), to Timber Framing Code / engineers spec. Roofing battens MGP Graded to falls. Ceiling battens: MGP @ 450 cts or Rondo furring channels. Skillion (raked) roofs To living areas: timber rafters (MGP or LVL or Hybeam are acceptable), to Timber Framing Code / engineers spec. Roofing battens: 90 x 45 MGP on flat. Ceiling lined on the rake: battens: MGP @ 450 cts or Rondo To garage: Gang nail softwood trusses @ 900 centres or as required, to Timber Framing Code / engineers spec. Roofing battens: 90 x 45 MGP on flat. No ceilings.
		Internal Linings
		Rooms: 10 mm plasterboard. Tape and set to M1 Wet areas: 6.5 mm Villaboard with recessed edges. Skirtings + Architraves Skirtings: 90 x 20 finger jointed RP, paint finish. Architraves: 45 x 20 finger jointed RP, paint finish. Ceilings 10 mm plasterboard ceiling equal to Supacel. Insulation: R3.0 polyester insulation above all ceilings. Cornice: living areas: square set. Cornice: all other areas: standard 90 cove. Windows: aluminium Frame/sash: fixed and sliding aluminium equal to Vantage / Capral / Lidco / Bradhams semi commercial series, refer elevations. Finish: powdercoat / natural anodised, refer colour schedule Glazing: in accordance with Aust. Standards. Louvers (L): Breezeway 150, clear 6.36 laminated glazing. Sliding doors: aluminium Frame/sash: sliding aluminium equal to Vantage / Capral / Lidco / Bradhams semi commercial series. Note multiple sliding sashes as shown on elevations. Sash: multiple sliding and fixed (F) as shown

SPECIFICATION, SCHEDULE OF MATERIALS + FINISHES
FERNBROOK STAGE 3 @ WARRIEWOOD, HOUSE TYPE C, LOTS 320, 322, 323, 325,328

Finish: powdercoated aluminium in Dulux Slate Grey
Glazing: in accordance with Aust. Standards, min 6.38 laminated to all doors.
Hardware: Integral handles/keyed locks, centre of door.

Front door: Solid core

Frame: aluminium equal to Vantage / Capral / Lidco / Bradnans semi commercial series.
Finish: to match sliding doors.
Sash: solid core masonite faced door, paint finish.
Hardware: Lockwood 591 series, latch and deadlock

Internal doors: swing solid core

Frame: 135 x 45 RP rebated frames.
Doors: Hollow core, masonite faced for paint finish.
Architraves: 45 x 20 finger jointed RP, paint finish.
Hardware: tubular latch and SC lever passage set, privacy latch to bathroom and guest WC.

Garage Door

Colorbond panel/lt door, motorised remote control.

Sunshade

Main frame: ex 125 x 65 Channel, refer detail drawing
Battens: 45 x 45 CCA treated battens @ 60 centres .

Pergolas

Main frame: 200 HDG PFC bolt fix to columns paint finish
Rafters: 20 x 50 CCA, connect to walls, PFC frame
Battens: 45 x 45 CCA treated battens @ 100 centres.

Stairs: timber

Timber framed stairs: boxed risers and treads in RP on RP stringers, screw fixed to walls, 20 x 20 trims to stringers.
Finish: carpet.
Balustrade: ex 100 x 100 timber rail, steel brackets to wall.

Joinery: Bathroom

Carcass: Water resistant foil faced MDF.
Doors + drawer fronts: 2 pack polyurethane paint finish.
Bench tops: 20 reconstituted stone, polished edges.
Splashbacks: tile to match wall tile.

Joinery: Wardrobes

Carcass: Paint finished MDF.
Top shelf @ 1800, sides as required, CP hanging rail.
Doors: sliding aluminium, mirror finish.

Joinery: Kitchen

Carcass: Water resistant foil faced MDF.
Doors + drawer fronts: 2 pack polyurethane paint finish.
Bench tops: mid range select light coloured granite.
Splashbacks: colour backed glass.

Kitchen Appliances

Oven: Smeg, SS, SA410X
Cooktop: Smeg, SS, SAH64X
Exhaust hood: Slim Jim 60
Dishwasher: Smeg, SS, SA623X
Excluded: Fridge, microwave, washing machine, clothes dryer

Tiling: Bathrooms and Laundries

Refer Di Lorenzo Ceramics, contact David Isola tel 8818 2999.
Wall: select 100 x 100 ceramic tiles, stack bond, white grout, allow \$50/sqm supply
Floor tiles: select 50 x 50 mosaic tiles, square bond, cement grout, allow \$50/sqm supply

Floor finishes Schedule

Living room: Carpet, allow \$80/sqm supply and lay.
Entry,Hall, Dining, Family, kitchen: floating timber floor, refer Bell's Carpet, Geoff Arnold 9602 5184, Allow \$120/sqm
Bedrooms, corridors: Carpet, allow \$80/sqm supply and lay.

Fittings and Fixtures Schedule

All equal in specification and quality to items listed:

Sanitaryware

Toilet Suite: Fowler Newport Close Coupled WC (3 off)
Bath: Caroma Stirling 1675 x 770 x 330 (1 off)
Joinery basins: Caroma Liano square semi recessed (2 off)
Wall hung basin : Caroma Flora 500 with shroud (1 off)
Kitchen Sink: Franke 1.5 bowl u'mount ARX 110-33/35 (1 off)
Laundry tub: Clark 45 L Single Inset Flushline, (1 off)

Tapware

Shower: Caroma Liano AAA rated/lead with mixer
Basin: Caroma Liano AAA rated basin mixer
Bath: Caroma Liano AAA rated bath spout + mixer
Kitchen: Caroma Liano sink mixer
Laundry: Tub: Inwell Retro, WM taps: Inwell Retro tapset
Floor wastes: 100 square CP to laundry + bathrooms.

Accessories

Towel rails: Industrial Expressions Conquest

Hand Towel rail: Industrial Expressions Conquest

TRH: Industrial Expressions Conquest
Mirrors: wall mounted mirror over vanity units (2 off)
Shower Screens: Semi frameless, anodised aluminium frame

Hydraulics

Sewer: 100 uPVC pipe to connect all fixtures to sewer.
Water supply: 19 dia copper pipe, insulate for hot lines.
External taps: 3 external taps
Hot Water Supply: Rinnai 26 instantaneous gas
Gas line: gas supply to HWS cooktop, bayonet outlet (2 off).
Stormwater: roof water connected to tank, see below.
Ground drains and sumps connected to stormwater system.

Rainwater tank

Min 6300 Litre underground rainwater tank located as shown, Rain-masta or Hagan tanks, with leaf and dirt screening and fitted with internal pump. Overflow to stormwater system.

Electrical

Underground power supply.
Meter Box: gal. steel top hinged, including ELCB all circuits.
Refer electrical plan, generally as follows:
GPO's + Switches: Clipsal / HPM Excel range
Lights: living: T5 electronic fluorescent in pelmets
Bedrooms: ceiling mounted oyster fitting
Kitchen,Bath: 6 off fluorescent downlights.
Smoke detectors: to BCA code requirements
Telephone: category 5 line 3 outlets.
TV aerial/cable TV not included.

Painting

Wallyl paints throughout.
Externally: 2 coats external grade, satin finish.
Hardflex (HTP): Granosile texture coat
External metalwork: 1 coat metal primer, 2 coats gloss enamel
External W/PC or HW: 2 coats oil based stain.
Internal plasterboard walls: 2 coats acrylic, wash and wear
Ceilings: 2 coats acrylic flat
Internal doors: 1 coat primer, 1 coat gloss enamel
Skirtings etc.: 1 coat primer, 1 coat gloss enamel

External works

Refer landscape plan

Palitha S. Wijesena & Associates Pty Ltd

ABN 71 067 121 091

Consulting Civil & Structural Engineers

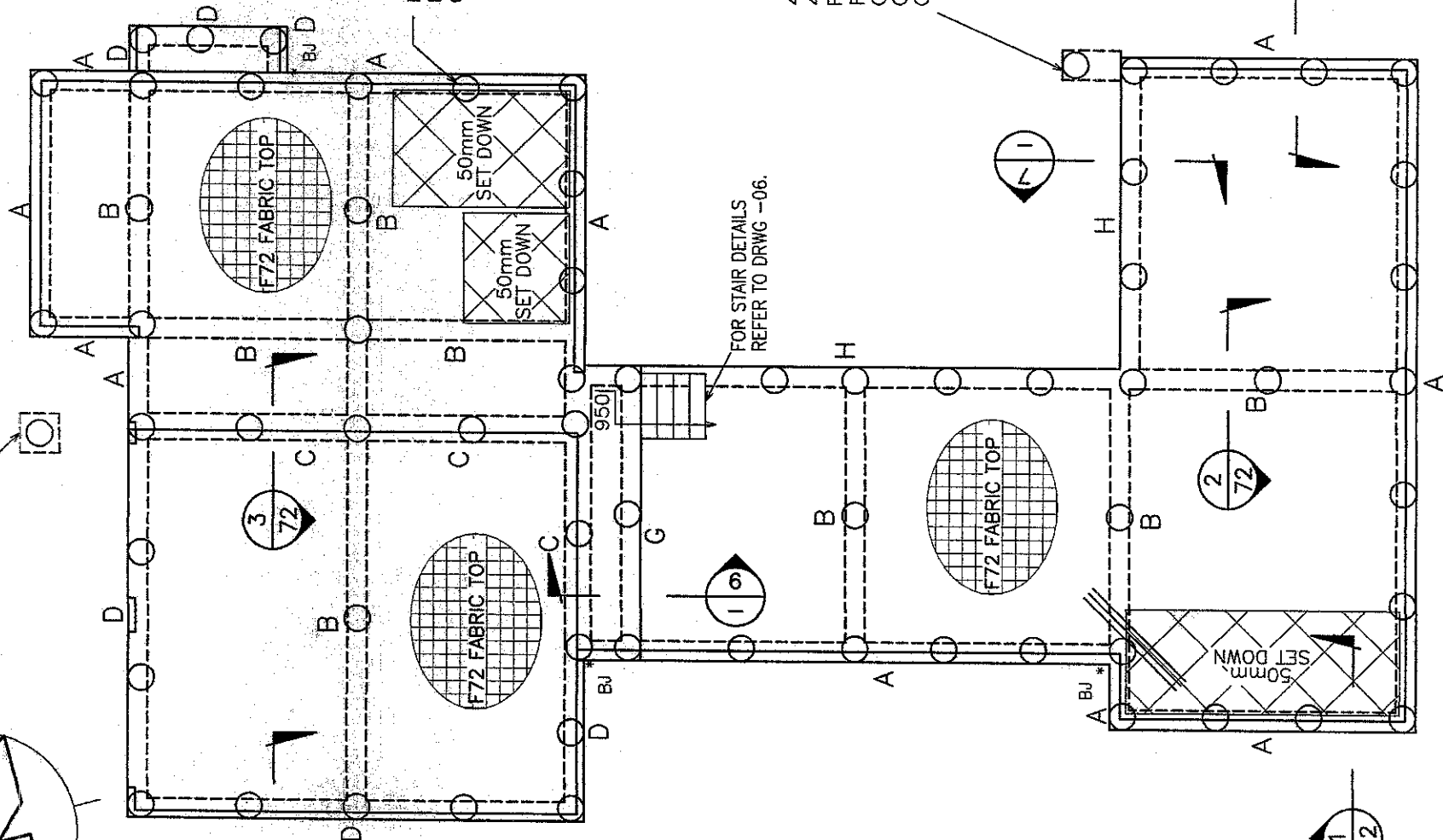
36 Doulton Drive, Cherrybrook, NSW 2126
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

DETAILS NOTED

PROPOSED RESIDENCE AT:		Certified:	
ALL LOTS FERNBROOK ESTATE WARRIEWOOD FOR STOCKLANDS		Lot 328	
Builder:		Job No:	
MAINCOM		Design:	
Palitha S. Wijesena B Sc.(Eng.): C.P Eng: M.I.E. Aust.: M.I.C.E. (U.K.): N.P.E.R.		Date: 27.9.04	
Drawing No:		AR	
6915-01			

NOTE	FOR DRWS -07 ONWARD, SEE DRWG 6915-00	
3915-06	TYP STAIR DETAIL (ALL LOTS)	
3915-05	TYP KOPPER LOG RETAINING WALL (ALL LOTS)	
3915-04	TYP BRICKWORK RETAINING WALL (ALL LOTS)	
3915-03	TYP BLOCKWORK RETAINING WALL (ALL LOTS)	
3915-02	GENERAL NOTES (ALL LOTS)	
3915-01	TITLE BLOCK (ALL LOTS)	
WG No	REV.	DESCRIPTION
DRAWING SCHEDULE		
2		

600X600X450 DEEP
MASS CONCRETE
FOOTING PAD

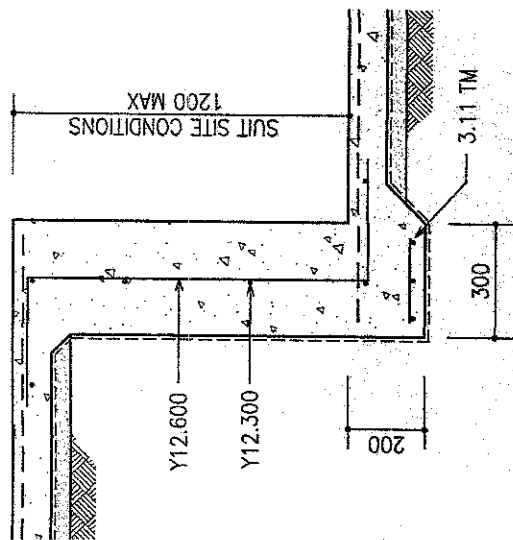


SLAB PLAN

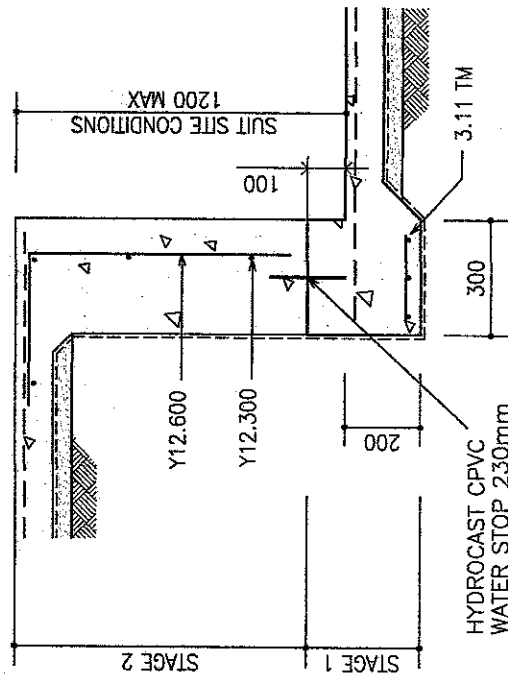
ADDITIONAL REINFORCEMENT AS SHOWN

PROPOSED PIER LAYOUT AS SHOWN
TO BE CONFIRMED ON SITE.

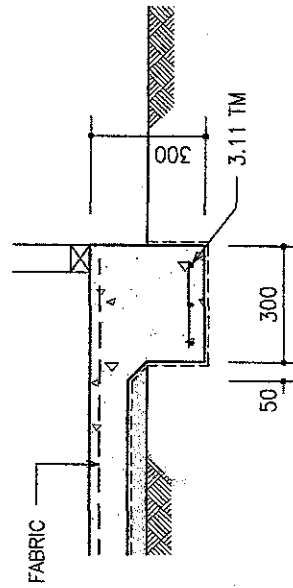
*BJ - INDICATES BRICK JOINT



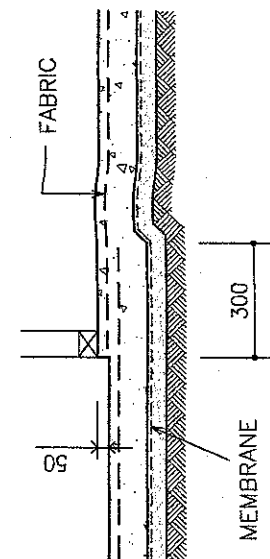
SECTION 6 TYPE G



SECTION 6 TYPE G (ALTERNATIVE)



SECTION 7 TYPE H



TYPICAL SLAB RECESS DETAILS

SLAB NOTES:

SLAB 100mm THICK WITH 1 LAYER OF F72 FABRIC IN TOP UNLESS NOTED OTHERWISE, LAID ON 200UM WATERPROOF MEMBRANE ON 50mm SAND BLINDING ON WELL COMPACTED GRANULAR FILL. THE FILLING IS TO BE PLACED & COMPACTED TO AVOID ANY DEFLECTION & SETTLEMENT IN THE SLAB.

IF THE SITE IS CUT & FILLED:

THE EXTERNAL BEAMS INDICATED, WHERE NOT BEARING ON FIRM NATURAL GROUND, MUST BE PIERS TO FIRM NATURAL GROUND (HAVING A SAFE BEARING CAPACITY OF 300 kPa MINIMUM) BELOW THE FILL & TOP SOIL, USING 400 DIA. PIERS AT 1.8m ctrs.

WHERE DEPTH OF ROLLED FILL BELOW SLAB EXCEEDS 400mm THE INTERNAL BEAMS INDICATED MUST BE PIERS TO FIRM NATURAL GROUND USING 400 DIA. PIERS AT 3.3m max. ctrs.

IF LOAD BEARING BEAMS ARE BEARING ON NON-STRUCTURAL FILL, THE FOLLOWING PIER ARRANGEMENT SHALL BE USED:

FOR 210 kPa PRESSURE (CLAY STRATUM):

400 DIA. BORED PIERS AT 1.8m ctrs OR

500x300 BULK PIERS.

FOR 400 kPa PRESSURE (SHALE OR ROCK):

300 DIA. BORED PIERS AT 1.8m ctrs OR

500x300 BULK PIERS.

ALL STRIP FOOTINGS ARE TO BE FOUNDED DIRECTLY ON, OR PIERS DOWN TO FIRM NATURAL GROUND WITH AN ALLOWABLE MINIMUM BEARING PRESSURE OF 150 kPa.

PIERS SHOULD BE 400 DIA. & SPACED AT 1.8m ctrs.

IF SHALE OR ROCK IS ENCOUNTERED IN THE TRENCHES OR PIER HOLES, THE ENTIRE BEAM SYSTEM MUST BE PIERS DOWN TO THIS STRATA.

THE EDGE BEAMS ARE TO HAVE A MINIMUM PENETRATION OF 150mm INTO THE FIRM NATURAL GROUND.

TOP OF SLAB IS TO BE 250mm ABOVE THE EXTERNAL GROUND LEVEL.

PROVIDE ADDITIONAL BRICK ARTICULATION JOINTS AS REQUIRED

DETAILS NOTED

THIS DRAWING IS SIGNED SUBJECT TO A INSPECTION CERTIFICATE BEING ISSUED BY THIS OFFICE.
ALL REINFORCEMENT SHALL BE INSPECTED BY THIS OFFICE PRIOR TO POURING CONCRETE.

B	30.11.04	DETAILS REVISED TO SUIT CLIENT
A	25.10.04	REVISED TO SUIT CLIENT
REV	DATE	AMENDMENTS
PROPOSED RESIDENCE AT:		
LOT 328		
FERNBROOK ESTATE		
WARREWOOD		
FOR STOCKLAND		
Builder:	MAINCOM	
Job No:		
Design:		

Palitha S. Wijesena & Associates Pty Ltd

ABN 71 087 121 081

Consulting Civil & Structural Engineers

36 Doulton Drive, Cherrybrook, NSW 2126

Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161

Certified:

Palitha S. Wijesena
B.Sc.(Engg.), C.P. Engg. M.I.E. (U.K.), N.P.E.R.

Drawing No: 18.10.04

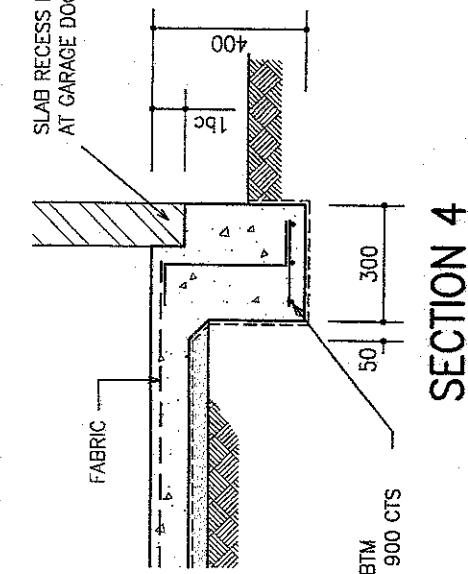
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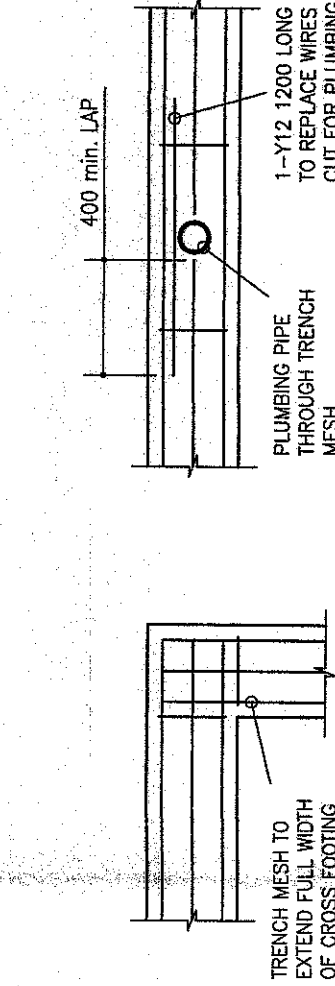
SLAB PLAN

6915-71B

THE SITE CLASSIFICATION IS CLASS 'M'
REFER GEOTECH REPORT No G22103/1-D
DATED 26 Nov 2003. PREPARED BY
NETWORK GEOTECHNIC Pty Ltd

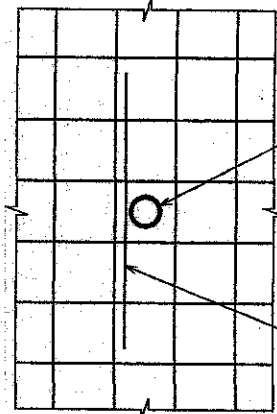


SECTION 4
TYPE D



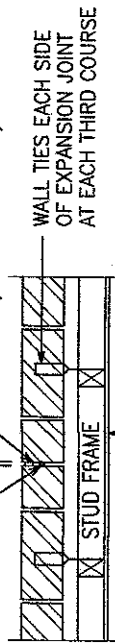
FOOTING PLAN AT INTERSECTION

PLAN OF PLUMBING PENETRATION THROUGH FOOTING

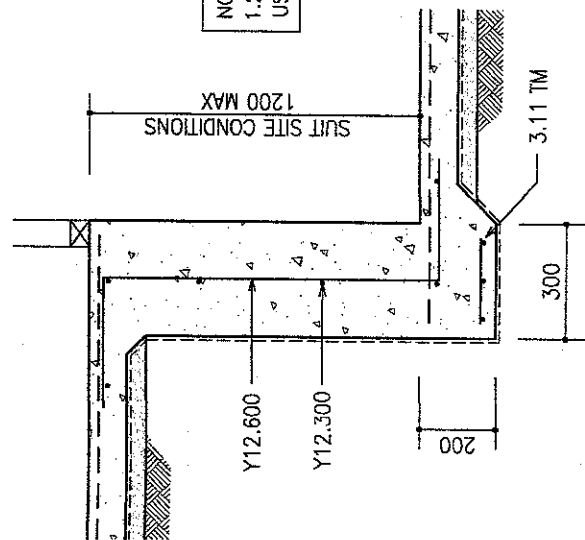


1-Y12 1200 LONG
TO REPLACE WIRES
CUT FOR PLUMBING
PENETRATION (TYP)

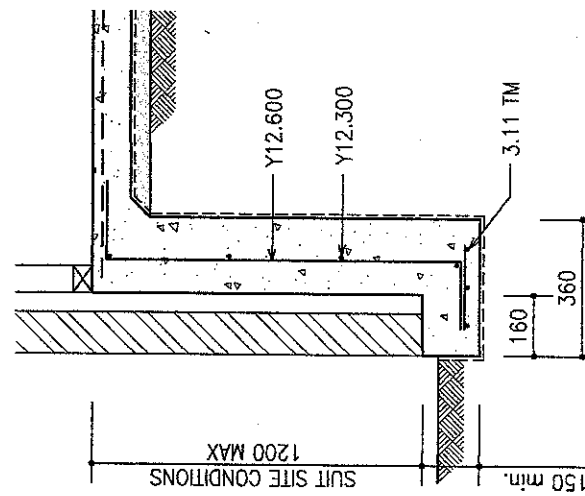
MASTIC SEALANT
DIA. 12mm FOAM
BACKING ROD.
10
JOINT TO BE 10mm max. WIDE
8mm min. WIDE. (5.0m ctrs max.)
(BCA-1996-3.3.8)



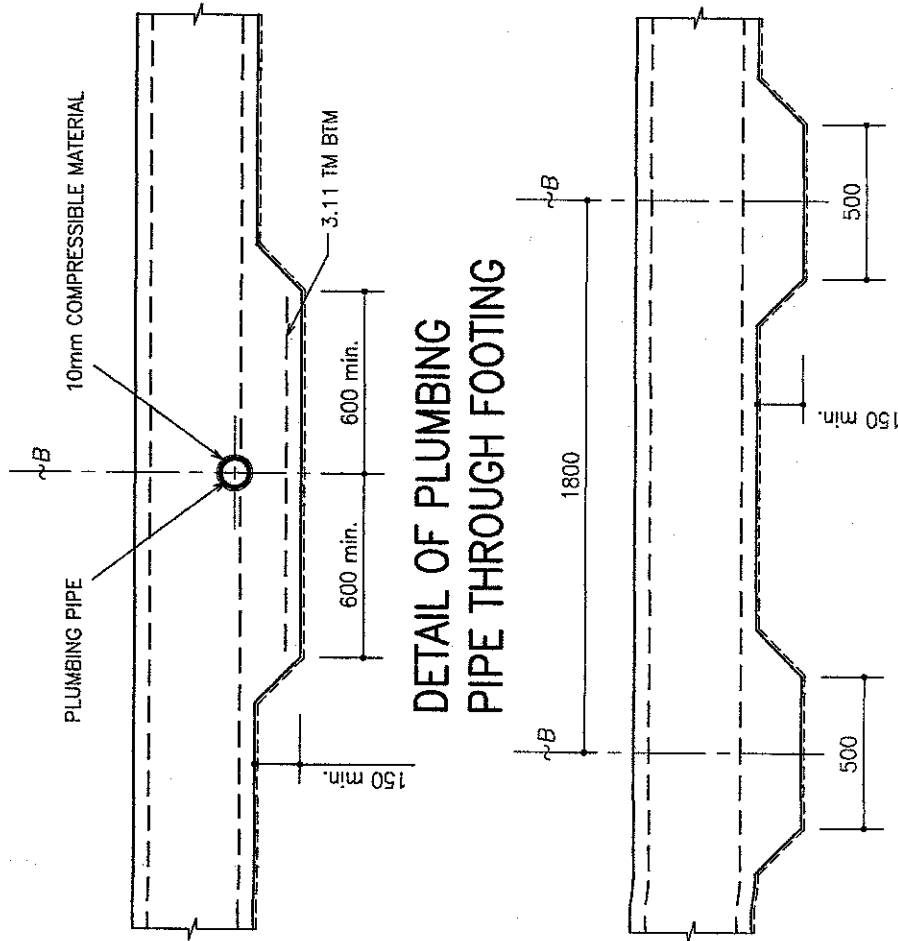
BRICK JOINT DETAIL (BJ*)



INTERNAL STEPPED EDGE DETAIL



DROPPED EDGE
BEAM DETAIL



DETAIL OF PLUMBING PIPE THROUGH FOOTING

BULK PIER DETAIL

DETAILS NOTED



PLAN OF PLUMBING PENETRATION THROUGH SLAB

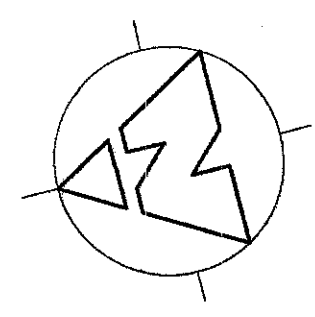
STORMWATER DETAIL

REFER SECTION 1

400 DIA. MASS CONCRETE
PIERS @ 1800 cts MAX
TO INVERT OF PIPE
NATURAL GROUND LEVEL.
ADDITIONAL PIERS TO
HOUSE AS REQUIRED.

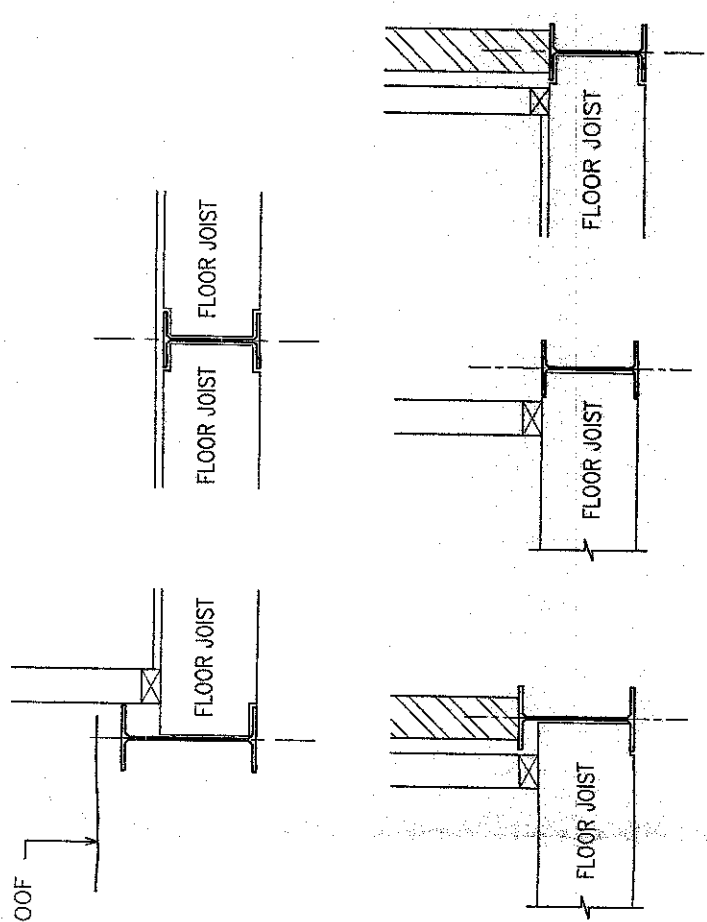
Diagram showing a water pipe with a 45° slope and a vertical distance of 400 mm.

[illegible]

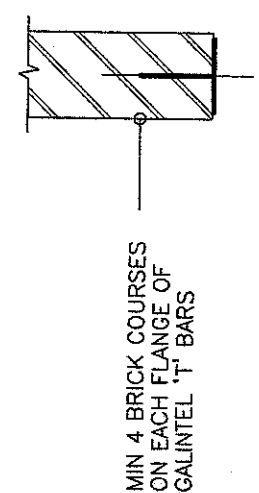


DETAILS NOTED

STEELWORK NOTES:
STEELWORK DESIGNED IN ACCORDANCE WITH AS4100
'STEEL STRUCTURES CODE' & AS1170.1/AS1170.2
'DEAD & LIVE LOADS & WIND LOADS'.
STRUCTURAL STEEL TO BE GRADE (BHP 300 Plus) U.N.O.
SURFACE PREPARATION & FINISH TO COMPLY WITH
AS/NZS 2312/1994



TYPICAL BEAM DETAILS



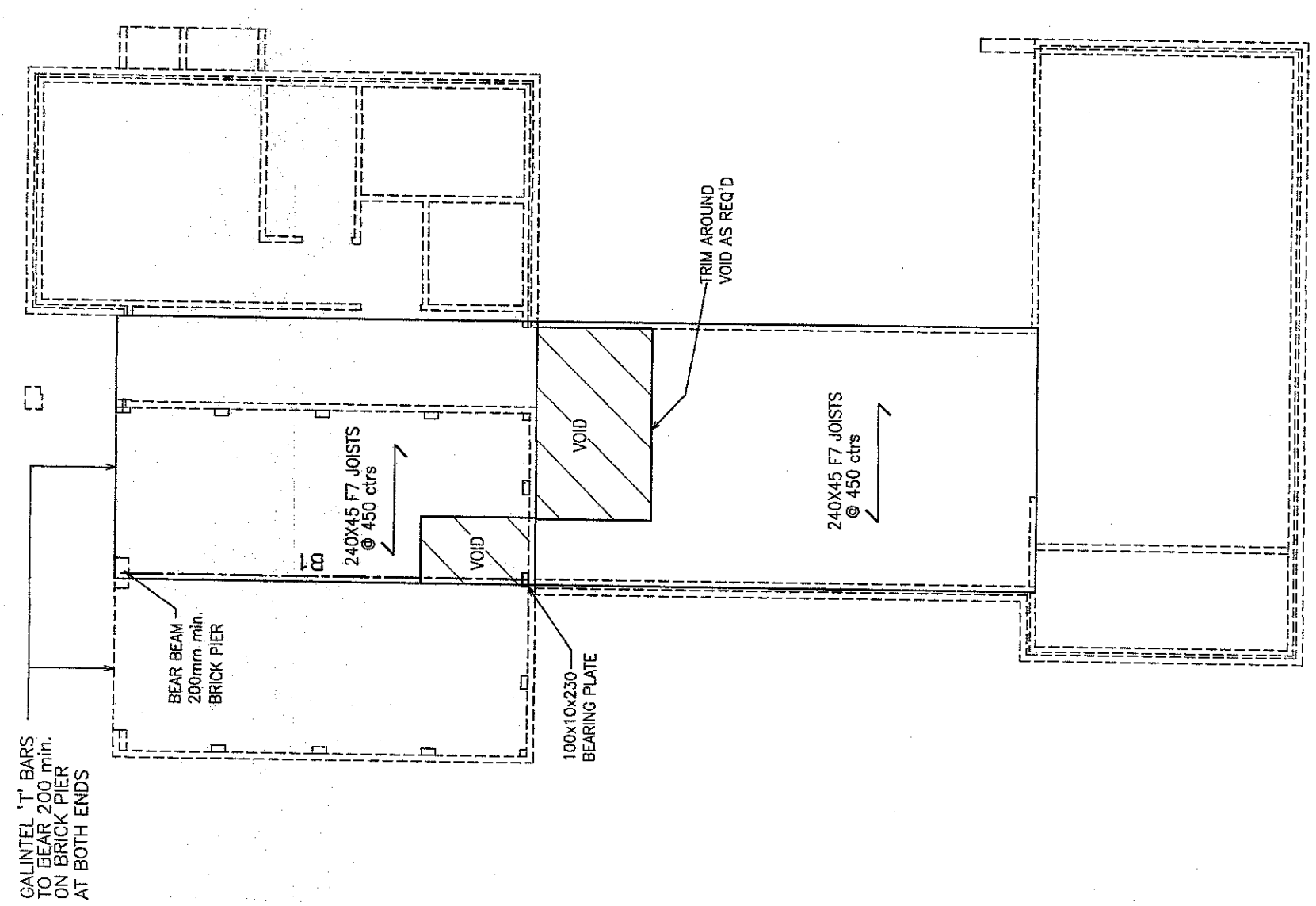
DETAIL
GALINTEL 'T' BAR

MIN 4 BRICK COURSES
ON EACH FLANGE OF
GALINTEL 'T' BARS

BEAM SCHEDULE

MARK No.	SIZE
B1	360UB45

JOIST ALTERNATIVE
240X45 F7 JOISTS MAY BE USED
IN LIEU OF HYSPAN JOISTS



FIRST FLOOR FRAMING PLAN

REV	DATE	AMENDMENTS
A	25.10.04	REVISED TO SUIT CLIENT
PROPOSED RESIDENCE AT:		
LOT 328 FERNBROOK ESTATE WARREWOOD FOR STOCKLAND		
Builder:	MAINCOM	Job No:
Design:		
Palitha S. Wijesena & Associates Pty Ltd ABN 71 067 121 091 Consulting Civil & Structural Engineers 36 Doulton Drive, Cherrybrook, NSW 2126 Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161		
Drawn:	Date:	Scale:
AR	18.10.04	1:100
Drawing Title:	LEVEL 1 FRAMING PLAN	
6915-73A		

(ORCHARD STREET)

PROPOSED RESIDENCE
LOT 328

BOUNDARY

BOUNDARY

EXTENT & LOCATION OF
RETAINING WALL TO BE
DETERMINED ON SITE

DETAILS NOTES

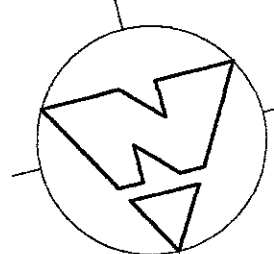
EAVESMENT
BOUNDARY

EXTENT & LOCATION OF
RETAINING WALL TO BE
DETERMINED ON SITE

EXTENT & LOCATION OF
RETAINING WALL TO BE
DETERMINED ON SITE

SITE PLAN

NOTE: FOR RETAINING WALL DETAILS
SEE TYP DETAILS ON DRWGS -03,04,05



PROPOSED RESIDENCE AT:	
LOT 328	
FERNBROOK ESTATE	
WARREWOOD	
FOR STOCKLAND	
Builder:	MAINCOM
Job No:	
Design:	
Palitha S. Wijesena & Associates Pty Ltd	
ABN 71 067 121 091	
Consulting Civil & Structural Engineers	
36 Doulton Drive, Cherrybrook, NSW 2126	
Tel: 02 9894 8166 Fax: 02 9894 8133 Mob: 0404 047 161	
Certified:	
Palitha S. Wijesena	
B.Sc.(Engg) C.P. Eng: M.I.E. Aust.: M.I.C.E. (U.K.): N.P.E.R.	
Drawing No:	6915-74
Date:	18.10.04
Scale:	1:100
Drawing Title:	SITE PLAN

Certificate of Insurance

Maincom Pty Ltd
Locked Bag 89
PENRITH NEW SOUTH WALES 2751

**Form 1
Section 92
Home Building Act 1989**

Local Authority's Copy
Issue Date: 18/11/2004
Certificate No: RCW71630792

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: November 04, 2004
Declared Building Contract Value: \$356,256.67
(Refer policy for indemnity limit)

Carried Out By: Maincom Pty Ltd
ABN: 23080619174
Licence No: 51707C
For: Stockland Development Pty Ltd

In Respect Of: Single Dwelling
At: House No. 3
Orchard Street
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

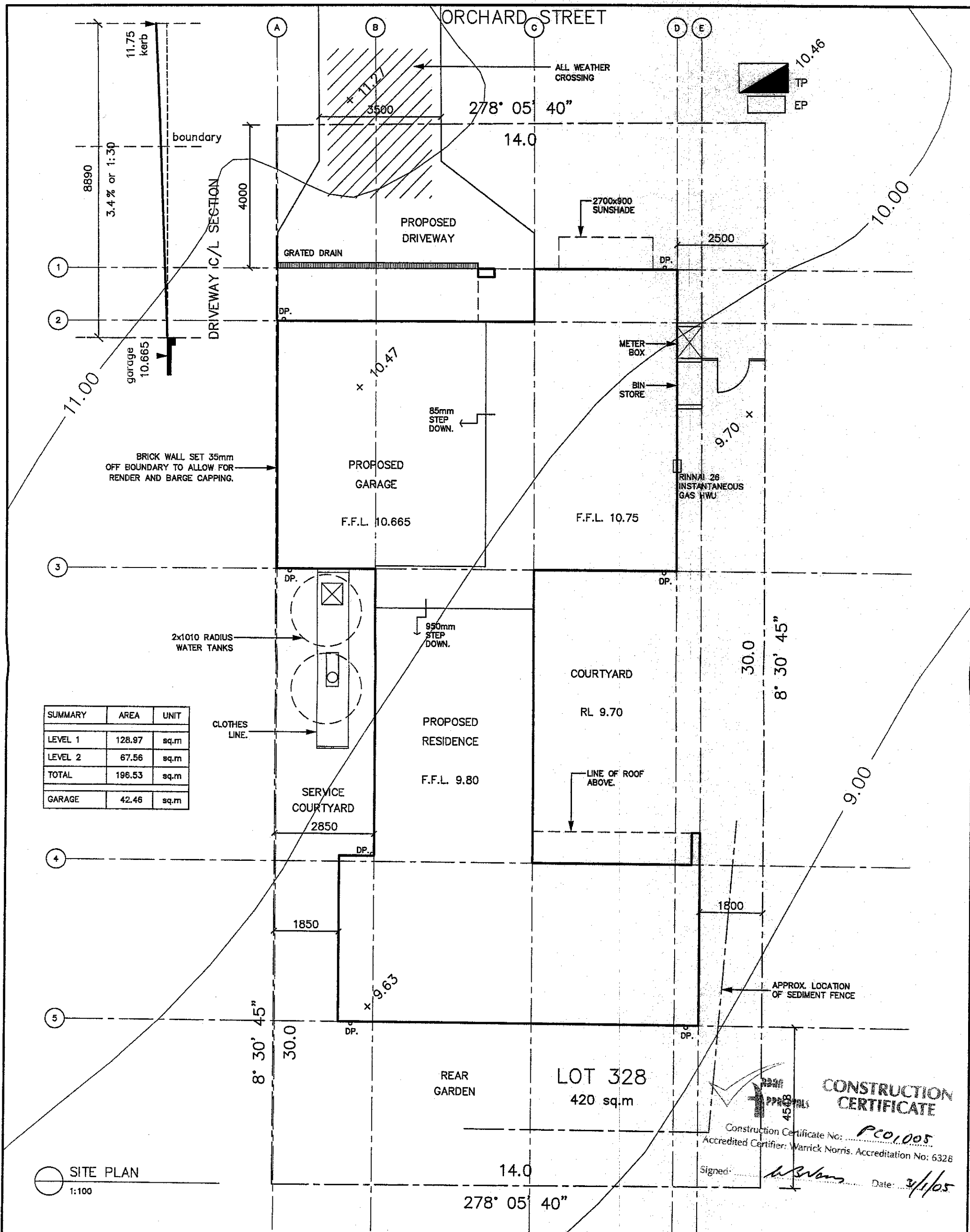
Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N DMAJB6T98JZB

Printed 18/11/2004

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807



NOTES

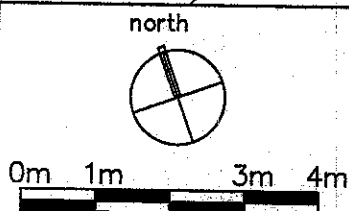
all work to be carried out in accordance with bca, sac codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

maincom

Unit 6, 119 COREEN AVE. PENRITH NSW 2750

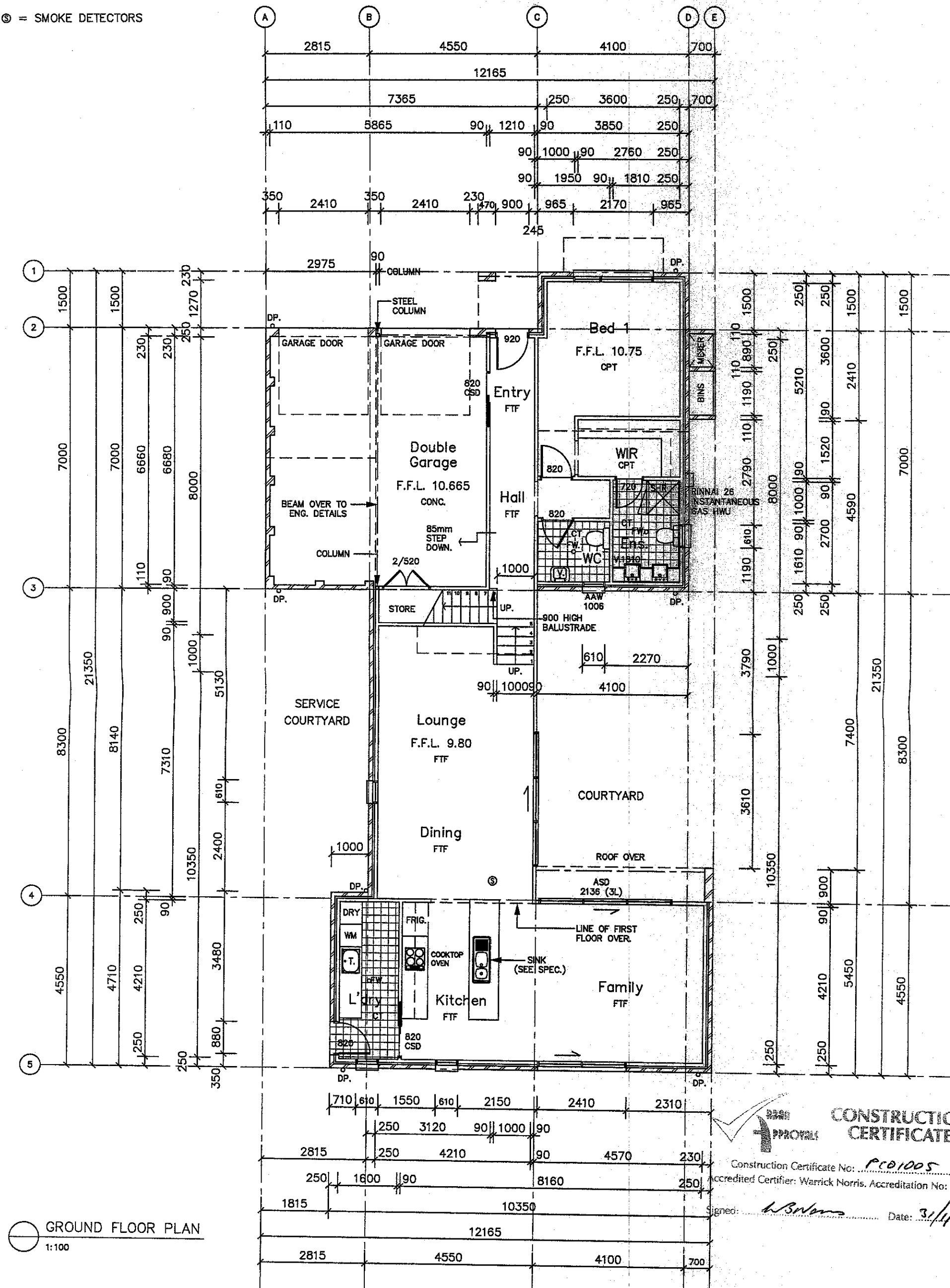
P (02) 4722 5900 F (02) 4722 3200

E enquiries@maincom.net



FERNBROOK WARRIEWOOD	Construction Certificate stage.
LOT 328	job no.
project	SP/SC
SITE PLAN	drawn/checked.
drawing	14.01.05
1:100	date.
scale	A
	issue.

⑤ = SMOKE DETECTORS



NOTES

all work to be carried out in accordance with bca, sqa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.



Unit 6, 119 COREEN AVE. PENRITH NSW 2750
P (02) 4722 5900 F (02) 4722 3200
E enquiries@maincom.net



FERNBROOK WARRIEWOOD
LOT 328

GROUND FLOOR
drawing

1:100
scale

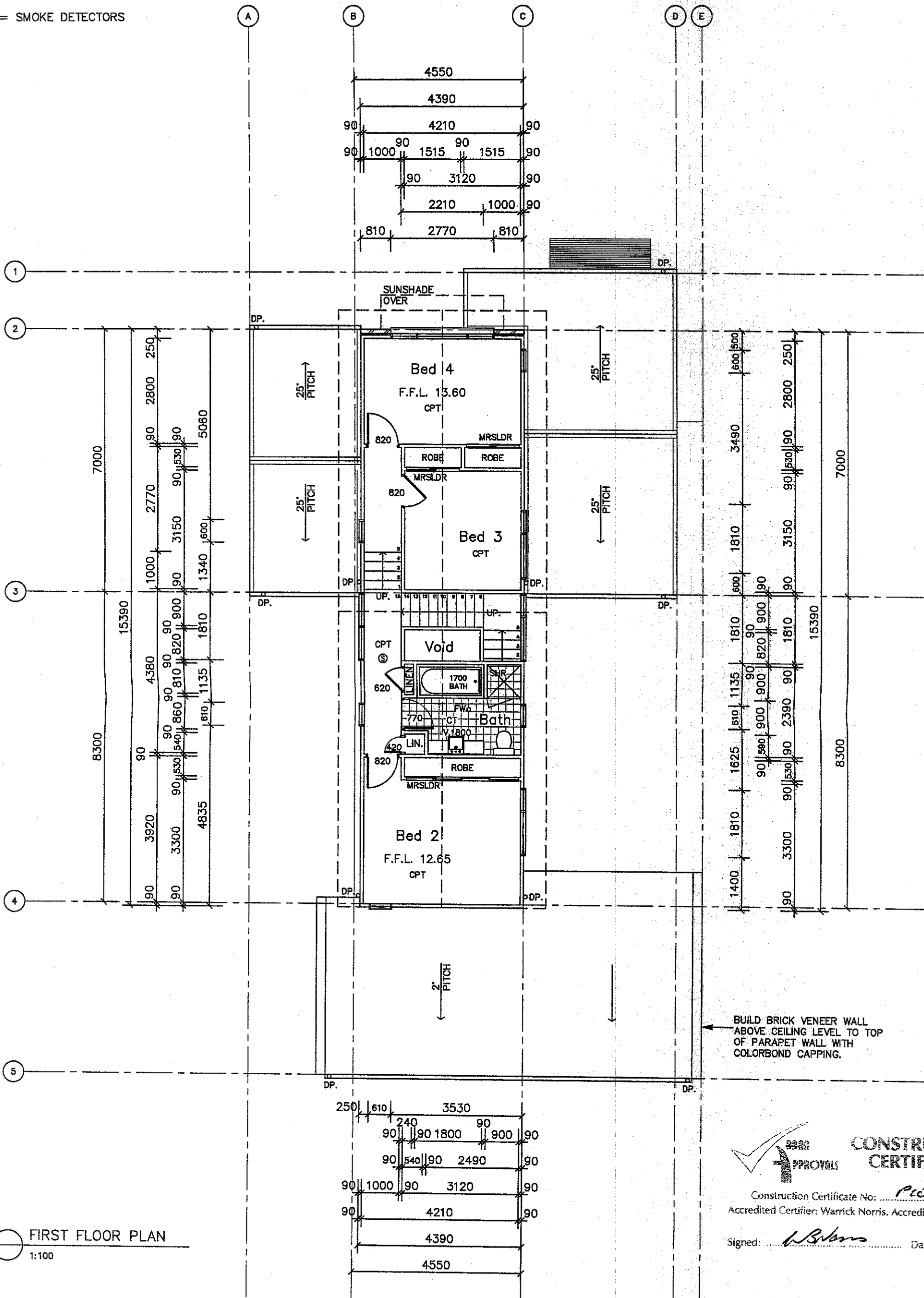
job no.	Construction Certificate stage.
---------	---------------------------------------

SP/SC
drawn/checked

A102-328
dwg no

A
issue

⊙ = SMOKE DETECTORS

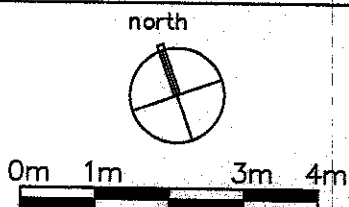


⊙ FIRST FLOOR PLAN
1:100

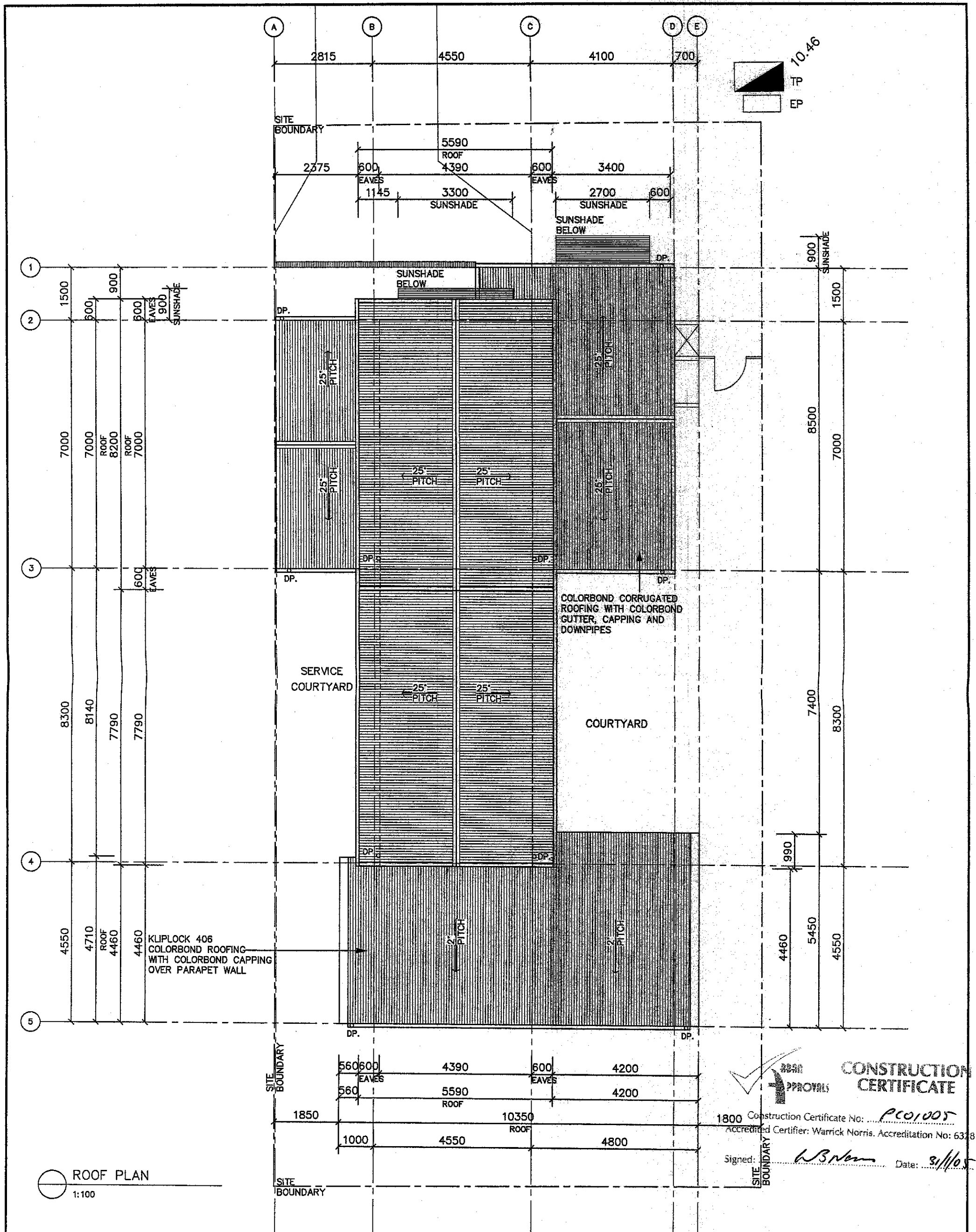
CONSTRUCTION CERTIFICATE
 Construction Certificate No: PC01005
 Accredited Certifier: Warrick Norris. Accreditation No: 6328
 Signed: [Signature] Date: 3/1/05

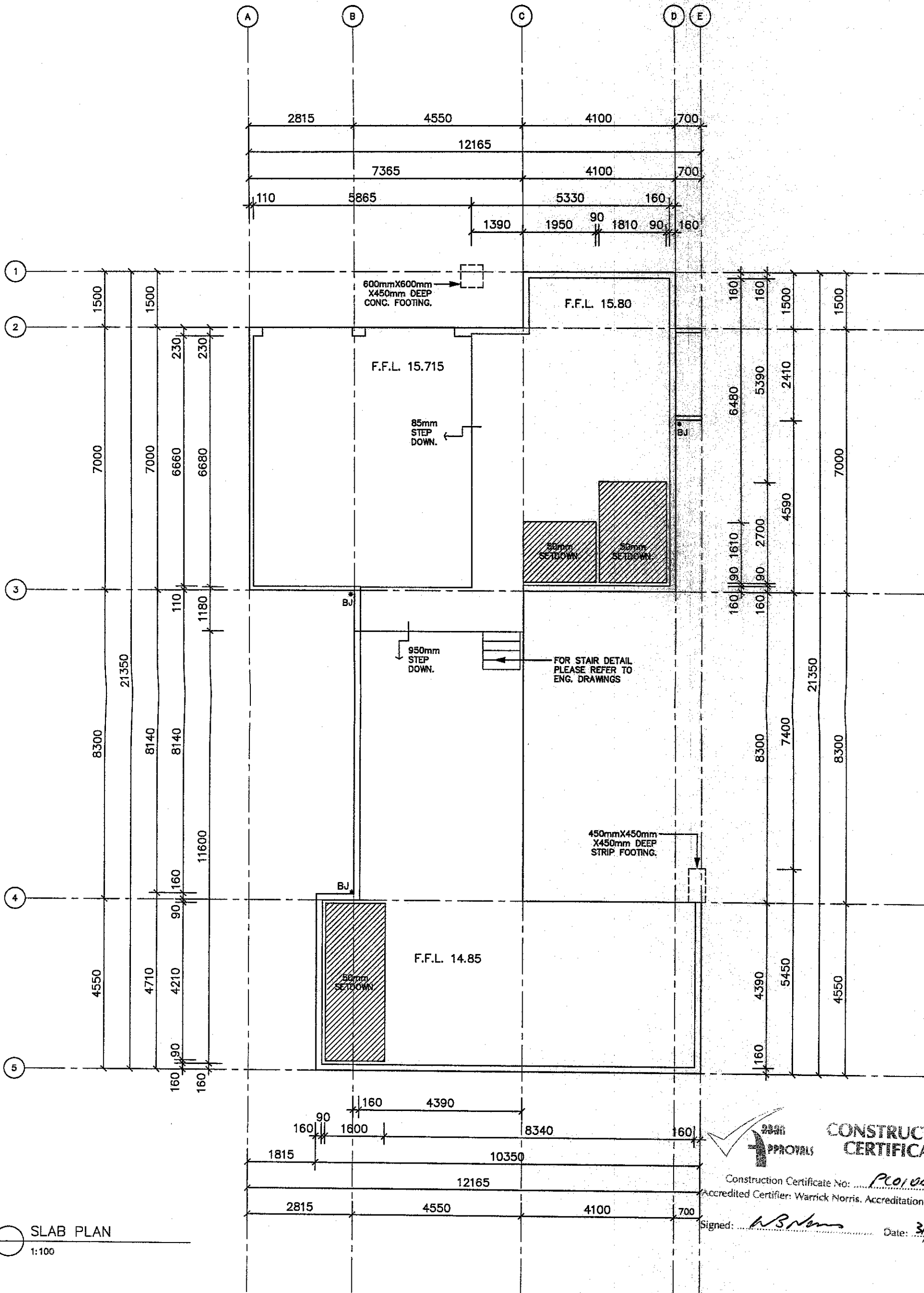
NOTES
 all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

maincom
 Unit 6, 119 COREEN AVE. PENRITH NSW 2750
 P (02) 4722 5908 F (02) 4722 3200
 E enquiries@maincom.net



FERNBROOK WARRIEWOOD LOT 328 project	job no.	Construction Certificate stage.
FIRST FLOOR drawing	SP/SC drawn/checked.	A103-328 dwg no.
1:100 scale	14.01.05 date	A issue.





SLAB PLAN
1:100

CONSTRUCTION CERTIFICATE
 Construction Certificate No: PC01005
 Accredited Certifier: Warrick Norris, Accreditation No: 6328
 Signed: WBN Date: 3/1/05

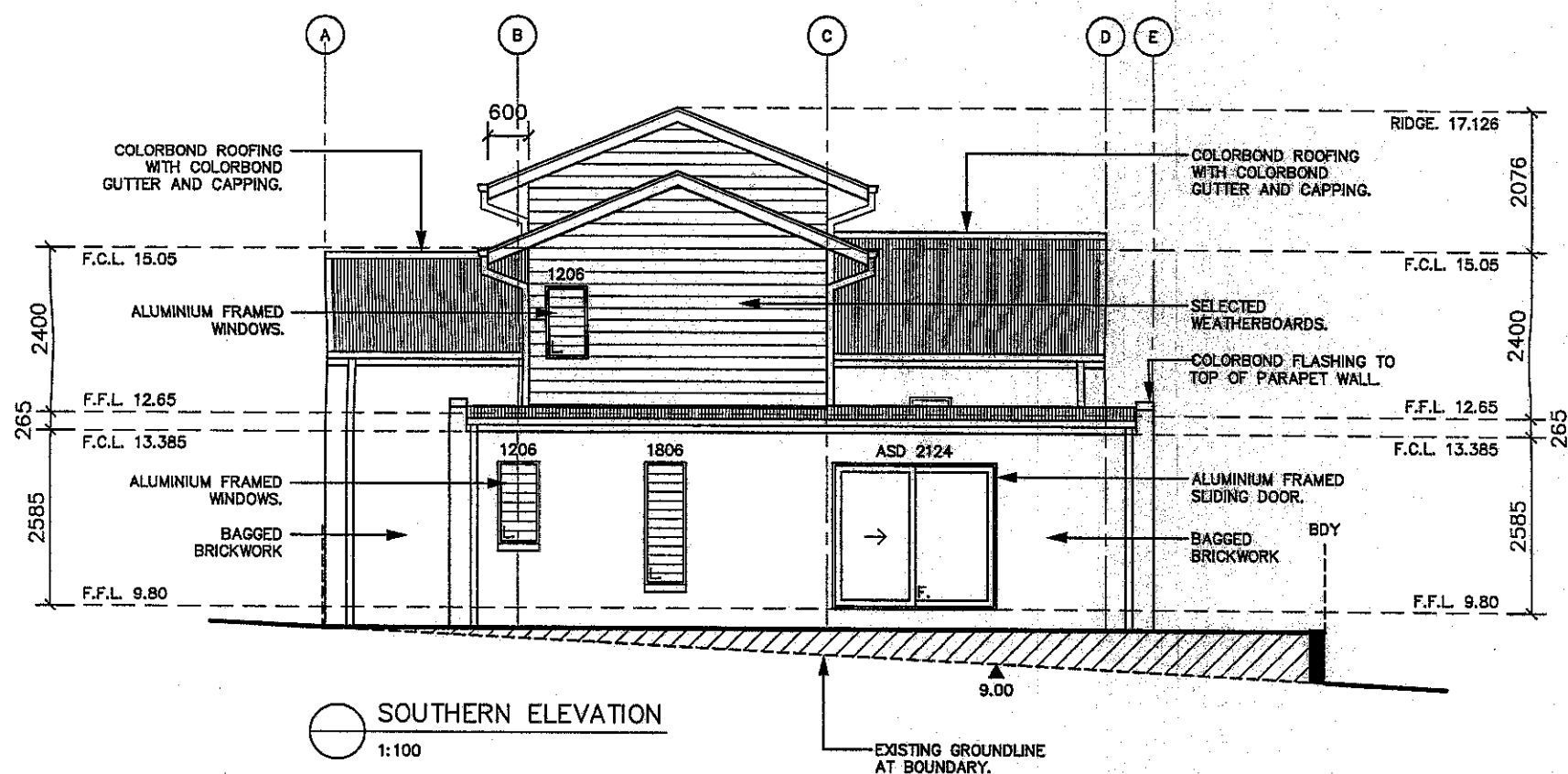
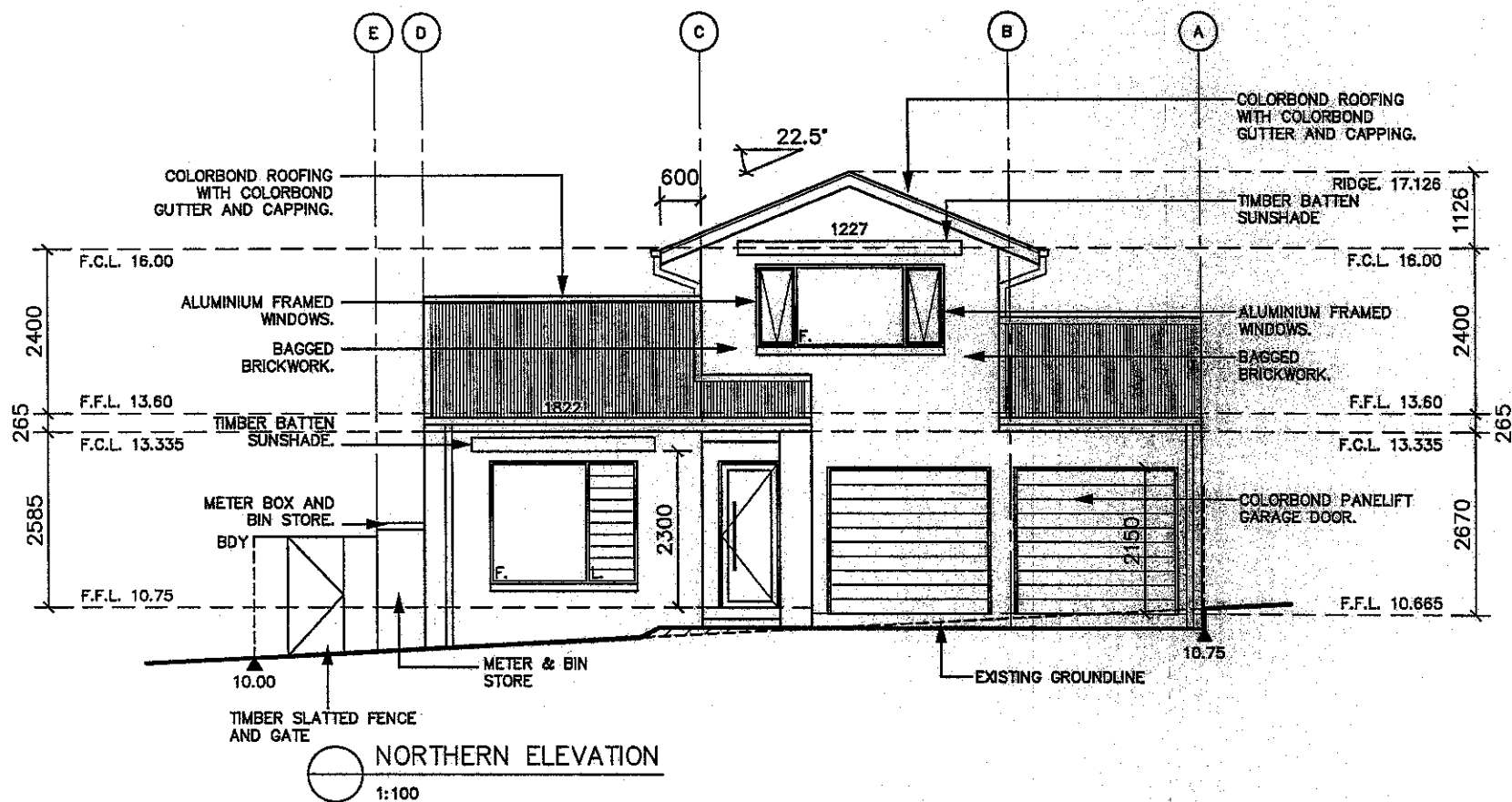
NOTES
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north

 0m 1m 3m 4m

FERNBROOK WARRIEWOOD LOT 328 project	job no.	Construction Certificate stage.
SLAB PLAN drawing	SP/SC drawn/checked.	A106-328 dwg no.
1:100 scale	14.01.05 date	A issue.

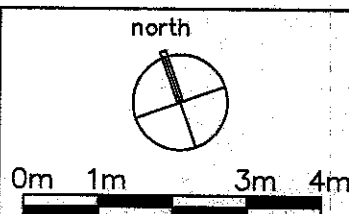


CONSTRUCTION CERTIFICATE
 Construction Certificate No: P10/005
 Accredited Certifier: Warrick Norris. Accreditation No: 6328
 Signed: W. Norris Date: 31/1/05

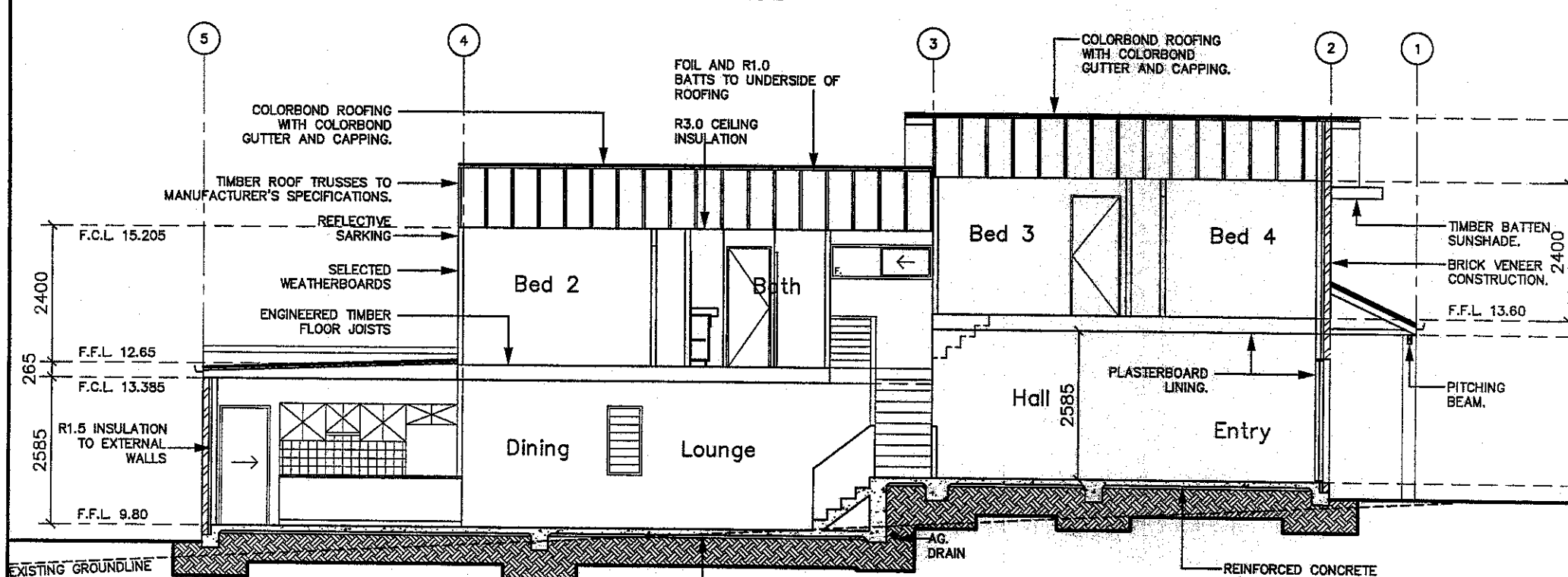
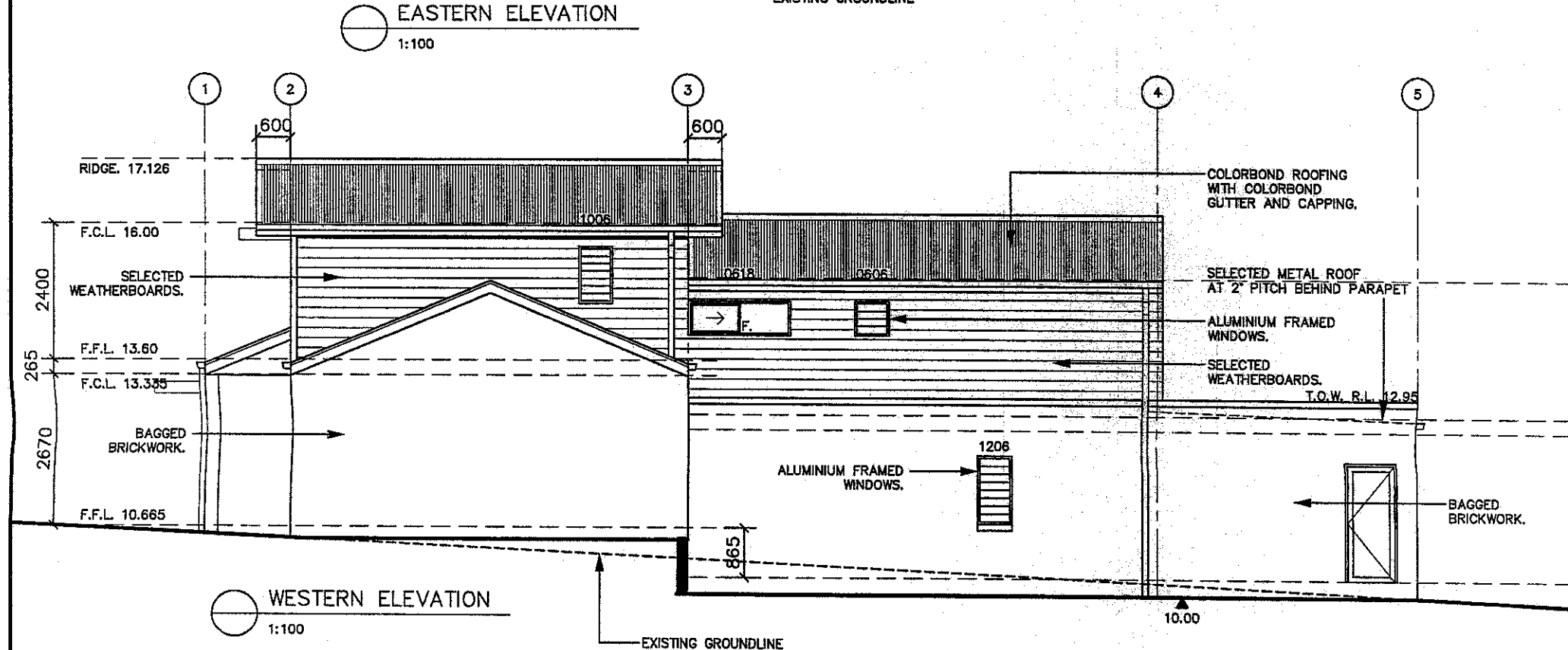
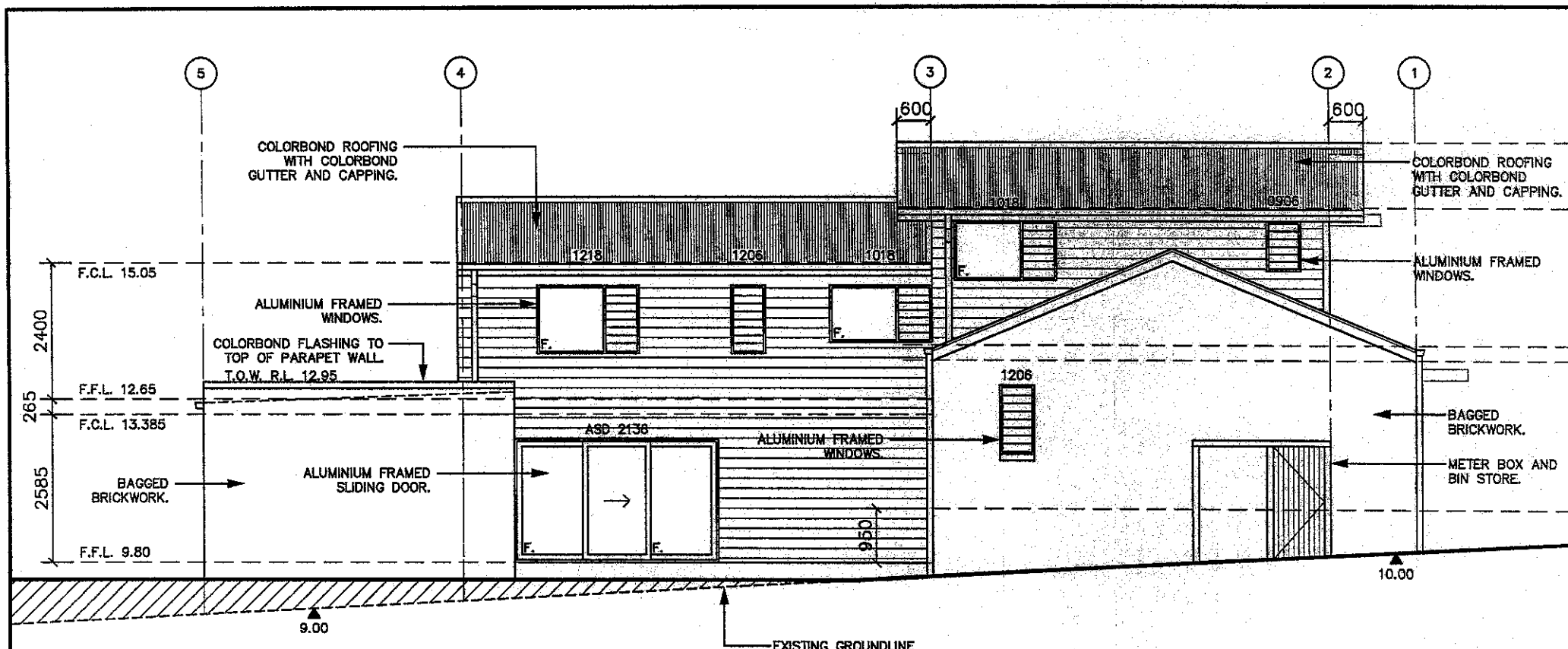
NOTES

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FERNBROOK WARRIEWOOD LOT 328 project	job no.	Construction Certificate stage.
ELEVATIONS drawing	SP/SC drawn/checked.	A201-328 dwg no.
1:100 scale	14.01.05 date.	A issue.



CONSTRUCTION CERTIFICATE

NOTE:
-R1.5 INSULATION + 6 F.C. SHEET FINISH TO
CEILING OF GARAGE UNDER LEVEL 2 INTERNAL
FLOOR AREA.

Construction Certificate No: P301005
Accredited Certifier: Warwick Norris, Accreditation No: 6328

NOTES
all work to be carried out in accordance with bca, ssa codes and conditions of council. measurements in mm's unless noted, use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

Signed:

maincom
Unit 6, 119 COREEN AVE. PENRITH NSW 2750
P (02) 4722 5900 F (02) 4722 3200
Enquiries@maincom.net

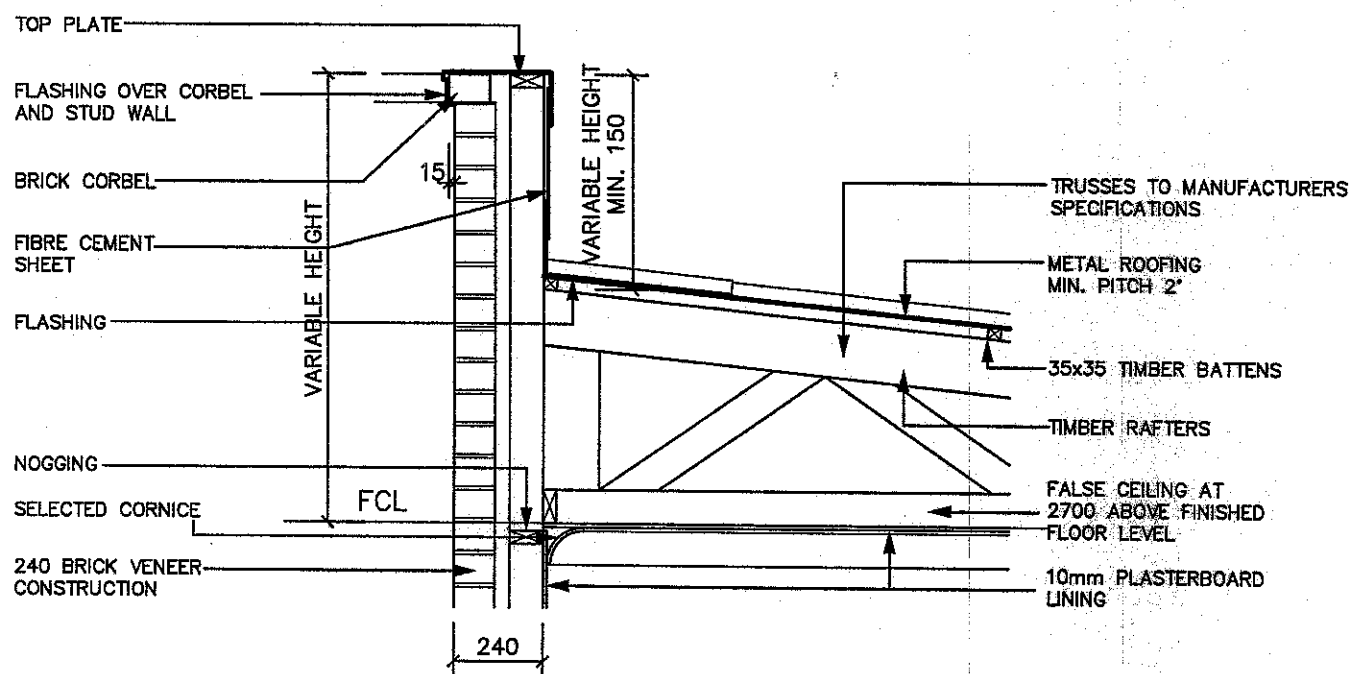
Date:

3/1/05



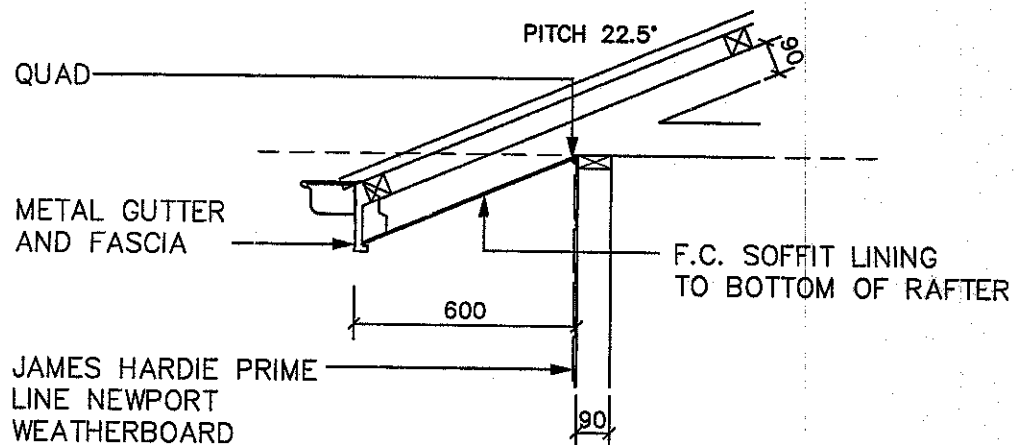
0m 1m 3m 4m

FERNBROOK WARRIEWOOD LOT 328 project	job no.	Construction Certificate stage.
ELEVATIONS/SECTION drawing	SP/SC drawn/checked.	A202-328 dwg no.
1:100 scale	14.01.05 date	A issue.



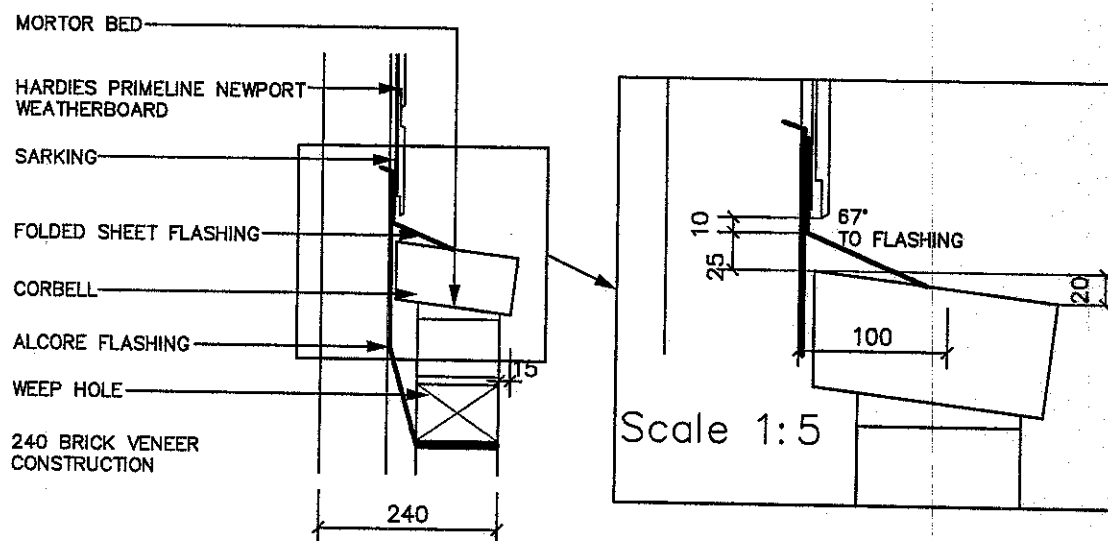
PARAPET DETAIL

Scale 1:20



EAVES DETAIL

Scale 1:20



CORBELL DETAIL

Scale 1:10

NOTES

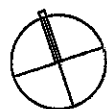
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Unit 6, 119 COREEN AVE. PENRITH NSW 2750

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E enquiries@maincom.net

north



0m 1m 3m 4m

FERNBROOK WARRIEWOOD
LOT 328
project

DETAILS
drawing

SHOWN
scale

job no.

SP/SC
drawn/checked.

14.01.05
date

Construction
Certificate
stage.

A501-328
dwg no.

A
issue.

DESIGN STATEMENT

Pursuant to the provisions of Part 4A of the Environmental Planning and Assessment Regulations 2000

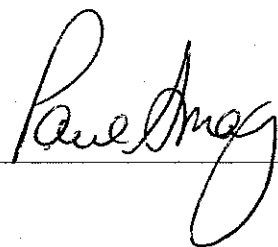
Project Description: Residential Dwelling
Project Address Lot 328 – 3 Orchard Street Warriewood
Name of person providing statement: Paul Arraj
Qualifications: B.E. (CIVIL), Grad E, P. Eng
Firm: ACE Civil & Hydraulic Engineers
Address of firm: 8 Leighdon Street Bass Hill, NSW, 2197
Contact details: Ph 9790 7921 or Mobile: 0412 331 151

Hereby certify:

That the hydraulic plan (Job No 0405-33) prepared by ACE Civil & Hydraulic Engineers, is based on the architectural details listed below and has been designed to comply with the Australian Standards, conditions of development consent, Councils Policies, as listed below and the Building Code of Australia.

Architectural details prepared by: edko architecture
Australian Standards: AS/NZ 3500.3.2:1998
Conditions of Development Consent: NO225/04 - (Conditions B20, B23b, B26a, B27a, B28, B29 and B29a)
Council Policy: Pittwater Council

Signature: _____



Date: _____

19/1/04



Construction Certificate

Section 109C(1)(b) of the Environmental Planning and Assessment Act 1979

PCA, Applicant & Site Details

1. Location and Title Description of the Property/Land:

Street No & Street: 3 Orchard Street
Suburb: WARRIEWOOD
Lot(s): 328
Section:
Deposited Plan(s): 1065723
Strata Plan:
Other:

2. Applicant:

Family/Company Name: Maincom Pty Ltd
Given Names/ACN:
Postal Address: 6/119 Coreen Ave
PENRITH 2750

3. Principal Certifying Authority:

Name: Mr Warrick B. Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No.: # 6328
Accreditation Body: Department of Infrastructure Planning and Natural Resources (NSW)

PCA's Signature:

Certification Details

4. Particulars

Determination: ☒ Approved ☐ Refused

Construction Certificate

Determination Date: 31st January 2005

Construction Certificate No.: PC01005

Building Code of Australia

Classifications: 1a & 10a

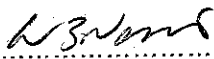
DA Consent No. and Date: N0225/04 - 20/5/04

Building Details: Two storey dwelling

5. PCA's Certification Statement

I, Warrick Norris, certify, that building work completed in accordance with the documentation accompanying the Construction Certificate Application made by the Applicant named in this certificate (with such modifications verified by me and Urban Approvals as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Act Regulation 2000, as required by section 81A (5) of the Environmental Planning and Assessment Act 1979.

PCA's Signature & Date:



31 January 2005

6. Construction Certificate Attachments

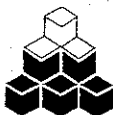
- ☐ ACE Hydraulic Engineer's Plans drawing number 0405-33 A1 (Sheets 1-2)
- ☐ Signed Urban Approvals Pty Ltd Application Forms
- ☐ Photographic Survey by Maincom Pty Ltd (previously supplied)
- ☐ Plans by Maincom Pty Ltd A101/328-A104/328, A106/328, A201-328, A202/328, & A501-328 14/01/05
- ☐ Structural engineers plans numbered 6915 – (71B,72, 73A,74)
- ☐ Long Service Levy form numbered 0233606
- ☐ Letter from Maincom dated 31st January 05

Building Schedule

Area of Subject Property (m ²) 420 m ²	Gross Area of Existing Building (m ²) N/A
Gross Floor area of Proposed Addition / Building (m ²) 196 m ²	Current use(s) of the Buildings / Land VACANT
Proposed use(s) of the building / Land RESIDENTIAL	Does the Site Contain or Propose a Dual Occupancy NO
Number of Pre Existing Dwellings NIL	Number of Buildings to be Demolished N/A
Number of Buildings Proposed ONE	Number of Storeys Proposed TWO

Please tick the Relevant Description of Materials Proposed for Construction

Walls		Roof		Floor		Frame	
Brick Veneer (12)	✓	Aluminum (70)		Concrete (20)	✓	Timber (40)	✓
Full Brick (11)		Concrete (20)		Timber (10)	✓	Steel (60)	
Single Brick		Concrete Tile(10)		Other(80)		Other (80)	
Concrete Block (11)		Fibrous Cement (30)		Unknown (90)		Unknown (90)	
Concrete / Masonry (20)		Fibre Glass (80)					
Steel (60)		Masonry Shingle Tiles (10)					
Fibrous Cement (30)		Terracotta Shingle Tiles (10)					
Hardi-Plank (30)		Tiles (10)					
Timber (40)		Slate (20)	✓				
Weatherboard (40)		Steel (80)					
Aluminum Cladding (70)		Terracotta Tiles (10)					
Curtain Glass (50)		Other (80) (Specify)					
Other (80) (Specify)							



LONG
SERVICE
PAYMENTS
CORPORATION

Ground Floor, Corner Donnison & Baker Streets Gosford NSW 2250
Telephone: 13 14 41 Facsimile: (02) 9287 5685
All correspondence to: Locked Bag 3000, CCDS, Lisarow NSW 2252

LEVY PAYMENT FORM

0233606

PLEASE PRINT ALL DETAILS USING CAPITALS

Part A - DETAILS OF PERSONS/COMPANY/ORGANISATIONS LIABLE TO PAY LEVY

Surname (if person) or Company/Organisation Name **MAINCOW P/L**
Given Names (if person)
ABN (if applicable) **23090614174**
POSTAL ADDRESS No. and Street or P.O. Box **LOCKED BAG 89**
Town/Suburb **PENRITH**
State **NSW** Postcode **2751** Business Hours Phone No. **47225400**

Part B - ADDRESS OF BUILDING/CONSTRUCTION WORK

No. and Street **3 ORCHARD STREET**
Town / Suburb **NARRIEWOOD**
State **NSW** Postcode **2750**
Estimated Start Date **29/01/2005** Estimated Finish Date **29/08/2005**

Part C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **PITRWATER**
DA/CC/CCDC No. (circle which) **N225104**
Estimated value of work \$ **356,256.00** Levy Payable \$ **712.00**
Signature of Officer/Private Certifier **[Signature]** Date **3/1/05**
Name of Officer/Private Certifier **Warwick Norris** Business Hours Phone No. (Private Certifier) **1300304420**
NOTE: If CC approved by Private Certifier, council DA number required above.

Part D - DETAILS - To be completed by Dept/authority where applicable - see reverse

Dept/Authority
Contract No. Contract Amount \$
Levy Payable \$
Contact Person (Print) Signature
Contact Phone Number Date **/ /**

Part E - DECLARATION - (To be signed by person liable to pay levy - or authorised officer if Company)

I declare that the information provided on this form is true and correct to the best of my knowledge

Signature: **[Signature]**

Date: **20/01/05**

NOTE: Any false or misleading information provided on this form may result in prosecution under Section 58A

Print name: **Jimmy Dargatzis**

Part F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE

Exemption Approval Certificate No.

