



Environmental Compliance
8am to 5.30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

8 November 2006

COPY

Mr Ken Bedwell
127 Powderworks Road
Elanora Heights NSW 2101

Dear Sir,

**Re: Construction Certificate CC0505/06
Property: 127 Powderworks Road Elanora Heights**

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA).

If appointed as the PCA, Council would engage the services of Tom Miskovich & Associates Pty Ltd to carry out the various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

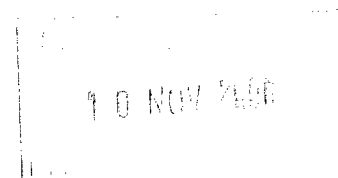
Council will endorse your completed "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out on behalf of Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Yours faithfully

Development Compliance Group

Per: Tom Miskovich & Associates Pty Ltd





Pittwater Council

Construction Certificate No: CC0505/06

Site Details: 127 Powderworks Road Elanora Heights

Legal Description: Lot 23 DP#557243

Type of Development: (Building Work)

Description: Construction of a new garage & driveway

Associated Development Consent No: N0333/05 Dated: 31-8-05

Building Code of Australia Classification: Class 10a

COPY

Details of plans, documents or Certificates to which this Construction Certificate relates:

- Site, Floor & Elevation Plan, dated 23-5-05
- Design certification from James Forrest, dated 31-10-06
- Drawing No: S1A - Roof Plan, dated: 1-11-06
- Drawing No: S2A - Footing Beam Plan, dated: 1-11-06
- Letter from KN & SM Bedwell, dated 2-11-06
- Building Colours Schedule.

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No: N0333/05

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979.

Issued By: Tom Donohoe
Accreditation Number: P0064
Pittwater Council Consultant
Building Surveyor

Date of Endorsement: 8 November 2006

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

K.N & S.M Bedwell
127 Powderworks Rd
Elanora Heights NSW 2101

2 November 2006

Tom Miskovich & Associates
P.O Box 189
PENNANT HILLS NSW 1715

Attention : Tom Donohoe

RECEIVED
- 2 NOV 2006

BY:.....

Dear Sir

Construction Certificate Application for new garage and driveway (CC 0505/06)
Premises : 127 Powderworks Road , Elanora Heights
(your ref P-06-157)

Please find attached the requested information:

ANNEXURE 2

- **Condition B1/B2** – We confirm that a 600 litre rainwater tank, with overflow connected to the gutter will be provided as part of the works.
- **Condition C1** – We confirm that the access driveway across the public road verge will have a plain concrete finish.
- **Condition C2** – Certification that the access / internal driveway complies with Pittwater 21 DCP Control 6.1 and Council Approved street levels. We note that the Engineer was provided with a copy of Council's " Information for Access Driveway Profiles" dated 30 August 2006. (Receipt No. 198958). Copy attached.

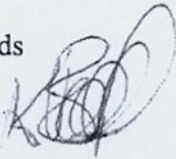
PITWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0505/06
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	TMA (NV)
Date:	- 8 NOV 2006

- **Condition C4** – The Sydney Water accepted stamp is shown on the drawing submitted to Council. Refer to page 26 of the Council file (ref 00244892.002.tif). The stamp can be seen to the right of the Site Plan. I am unable to print a copy.
- **Condition C6** - 3 sets of signed plans with design compliance noted.

ANNEXURE 3

- **3.1.3 Termite Treatment** - We confirm that treatment will be provided to prevent termite attack in accordance with AS3660.1.
- **3.5.1 Roof Cladding** – We confirm that the roof cladding will comply with AS 1562.1 – Metal Roofing.
- **3.5.2 Gutters and Downpipes** – We confirm that all gutter and downpipes will be installed in accordance with AS / NZS 3500.2 – Stormwater Drainage.
- **3.6 Glazing** – We confirm that any glazing will comply with AS 1288 – Glass in buildings – Selection and installation, or AS 2047 – Windows in buildings – Selection and installation.

Regards



Ken Bedwell

DA : N0333 / 05

RE : D 5.3 Building Colours Schedule

We attach herewith details of the proposed colour scheme :

Roof - WOODLAND GREY Colourbond

Gutters – WOODLAND GREY Colourbond

Garage Door - WOODLAND GREY Colourbond

Garage Walls - MATRIX Pascol

Fascia - WOODLAND GREY

Eaves – WINTER HAVEN Wattyl

Access Door – SILVER PLUM Pascol

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0505/06
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	TWA (NV)
Date:	- 8 NOV 2006

18 Miller Street
Kingsgrove
NSW 2208
31 October 2006

Mr Ken Bedwell

**127 POWDERWORKS ROAD ELANORA HEIGHTS
PROPOSED NEW GARAGE AND DRIVEWAY**

Dear Sir,

Please find attached 3 signed copies of the structural drawings 3693/S1A & S2A, as requested by Council.

The proposed garage has been designed to comply with the requirements of the Building Code of Australia, and the relevant Australian Standards, namely AS 2870 AS 1684 & AS 1720.

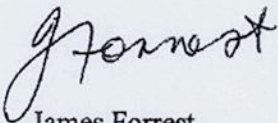
Roof trusses and framing are to be designed by the truss manufacturer. Tie-down forces from roof framing have been allowed for in the supporting masonry.

Pittwater Council 21 DCP, Control B6.1 requires the maximum width of the access driveway to be limited to 3.5m. The current architectural drawing indicates a maximum width of approximately 4.8m at the garage. It is presumed this is acceptable to Council.

You have indicated that the internal driveway is to be formed in stabilized crushed sandstone. A minimum thickness of 100mm of stabilized crushed sandstone should be placed on prepared compacted sub-base.

Specification for the external driveway crossing council land is shown on the attached structural drawings. Council approved street levels have not been sighted.

Yours sincerely



James Forrest
BEng MIE Aust CPEng
(M/N 325350)

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0505/06
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	TMA (NV)
Date:	- 8 NOV 2006

PROPOSED GARAGE

127 POWDERWORKS RD ELANORA HTS

JOB No. 3693

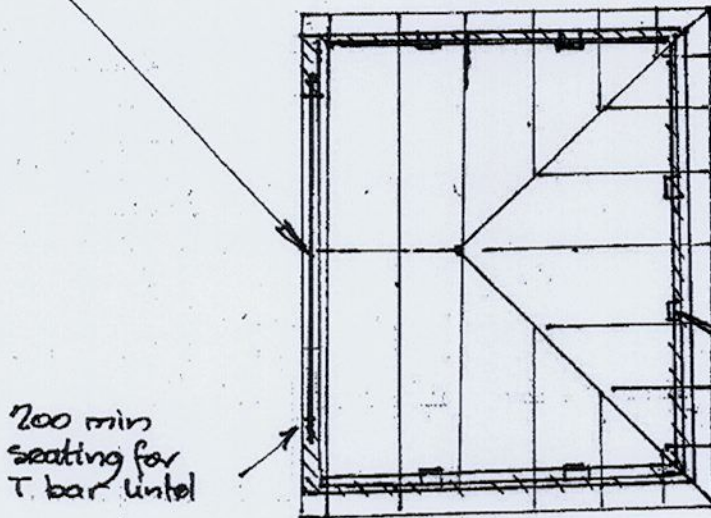
BY JF

SHEET No. 52A

CHECKED

DATE 1.11.06

230 brickwork over main door to be supported
on 200 x 200 x 9 Galintel T bar
Member to be installed in accordance with
Manufacturers recommendations



Roof framing by truss
manufacturer. Framing
to be secured to wall
via galvanised straps,
30 x 1.6 mm, set 1200 in
brickwork at each
engaged pier

Engaged brick piers
at 1200 max spacing

Connect roof drainage
to approved system.

ROOF PLAN

General notes

1. Driveway from kerb to property boundary to Councils requirements. Provide 100 thick slab on grade. reinforce with SL82 mesh with 25 min top cover, lap mesh 300 min. concrete strength f_{lc} 32 MPa
2. Brickwork to comply with AS3700
Bricks to have a minimum compressive strength f_{uc} 12 MPa
Mortar 1:1:6

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0505106
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate	
Endorsed by:	TMA (NV)
Date:	- 8 NOV 2006

J. Forrest

J. Forrest MIE Aust CPENG
M/N 325350

PROPOSED GARAGE

127 POWDERWORKS RD ELANORA HTS

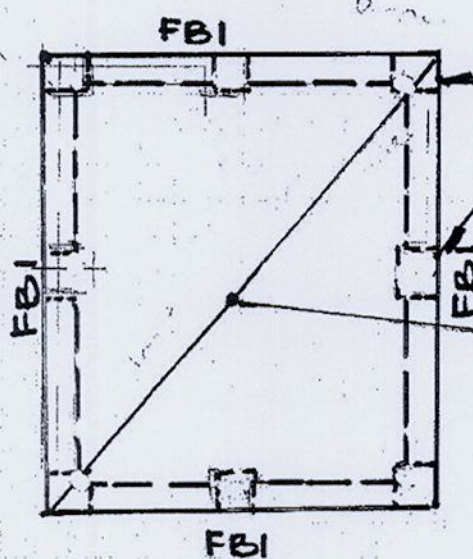
JOB No. 3693

BY JF

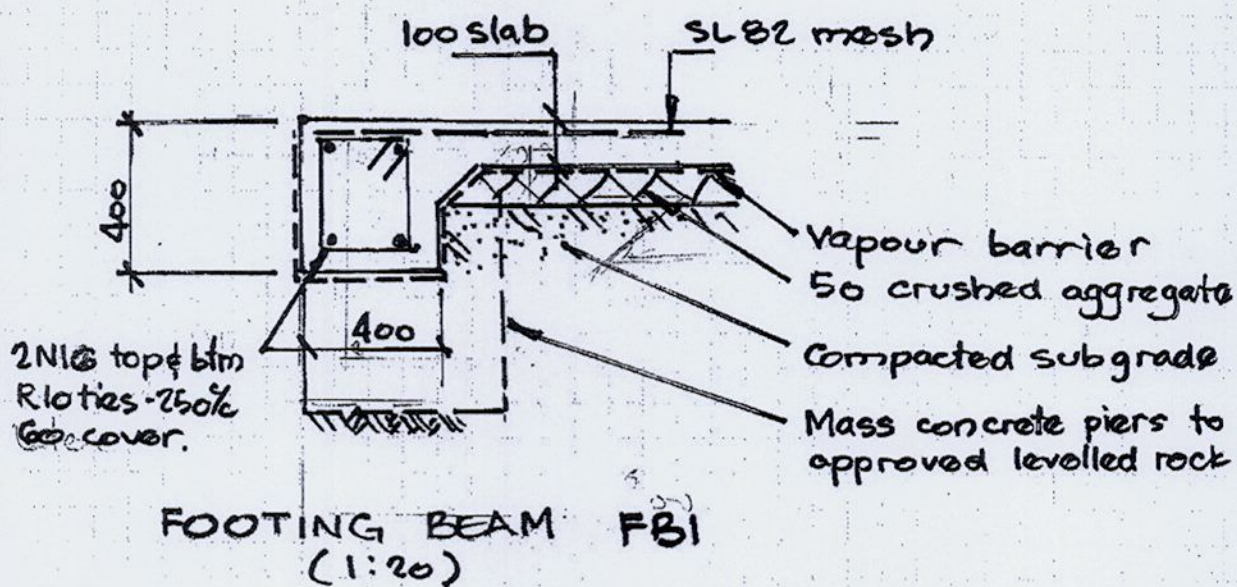
SHEET No. 51. A

CHECKED

DATE 1.11.06



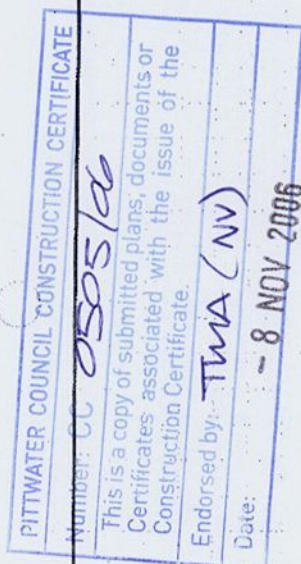
600 x 600 mass concrete footings down to approved level rock

100 thick slab on grade
SL82 mesh - 25 top cover
lap 300 min.Concrete strength
fb 25 MPa Agg. 20
Slump 80PLAN
(1:10)FOOTING BEAM FBI
(1:20)

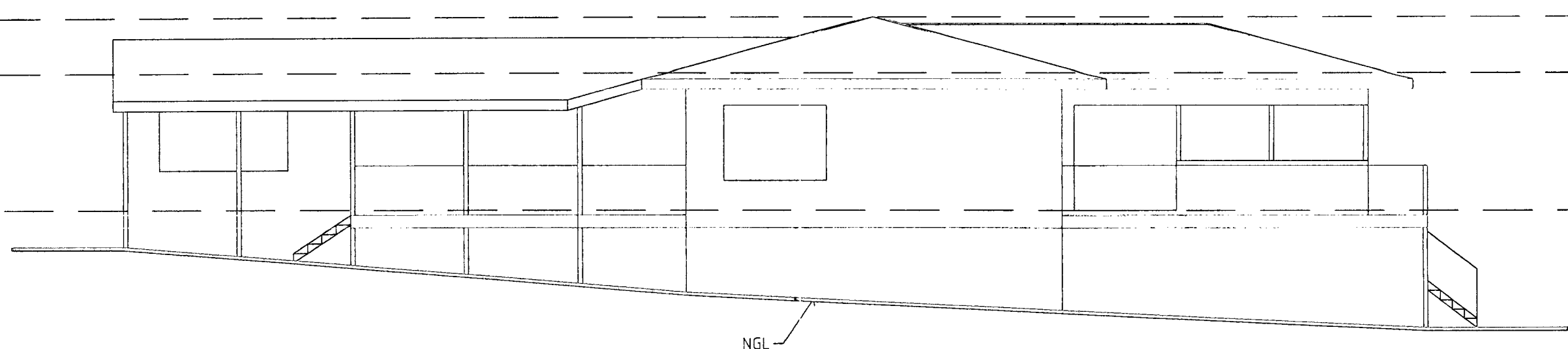
Notes

1. Refer to Architectural drawing for setout dimensions
2. All concrete work to comply with AS3600
3. Reinf't to be supported on suitable chairs - 800x800 spacing
4. Slab to be properly cured

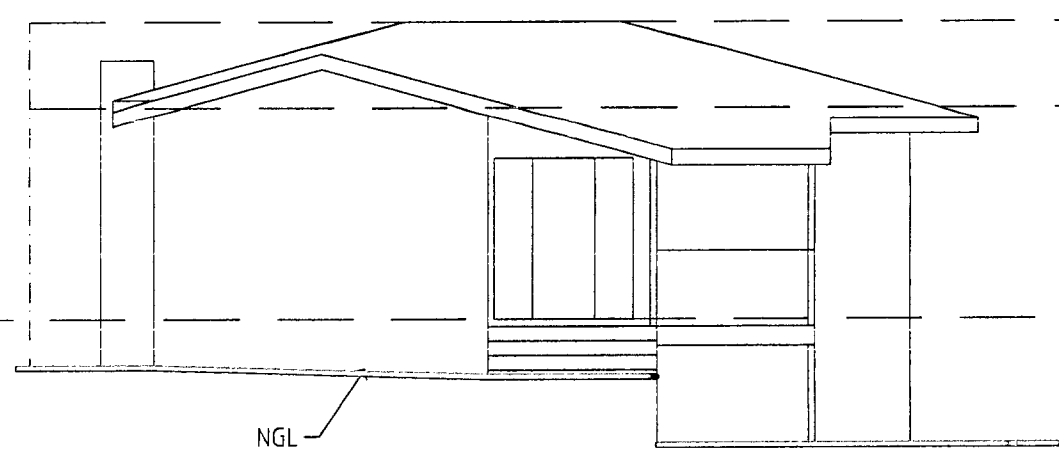
J Forrest

J Forrest MIE Aust
CPENG
m/n. 325350

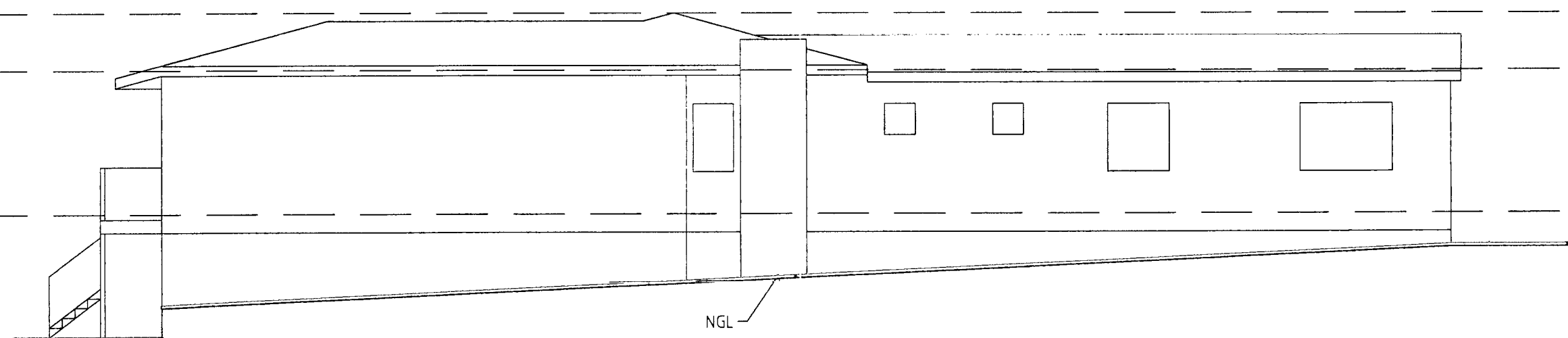
All structural sizes, structural adequacy, retaining walls, and drainage to engineers details. If in doubt, ask. Builder to check all dimensions and heights prior to construction. Construction to be altered to suite existing structure if necessary. All materials to match existing or as noted otherwise. This plan is copyright to Rob Crump Design Pty. Ltd., and may not be reproduced without the written consent of the company.



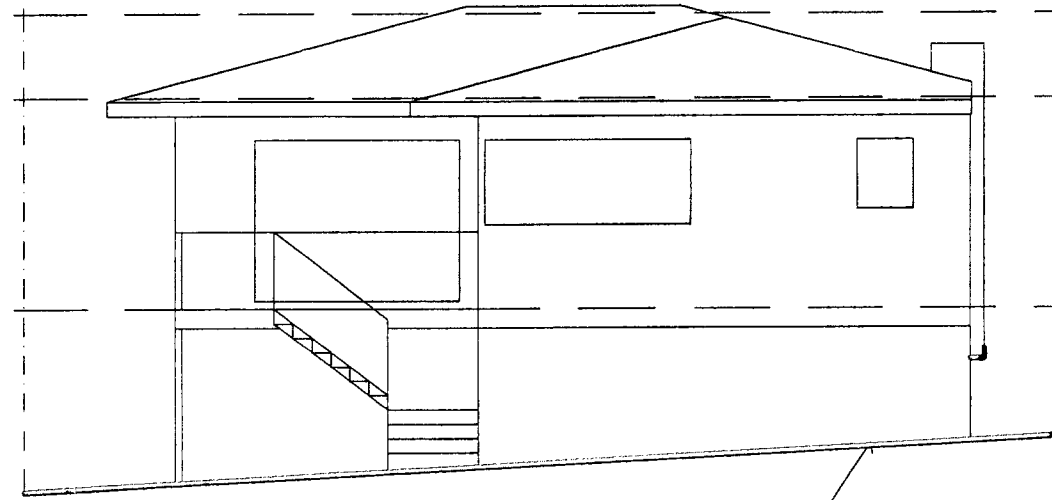
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

EX. RIDGE LEVEL RL 70.650

CEILING LEVEL RL 69.510

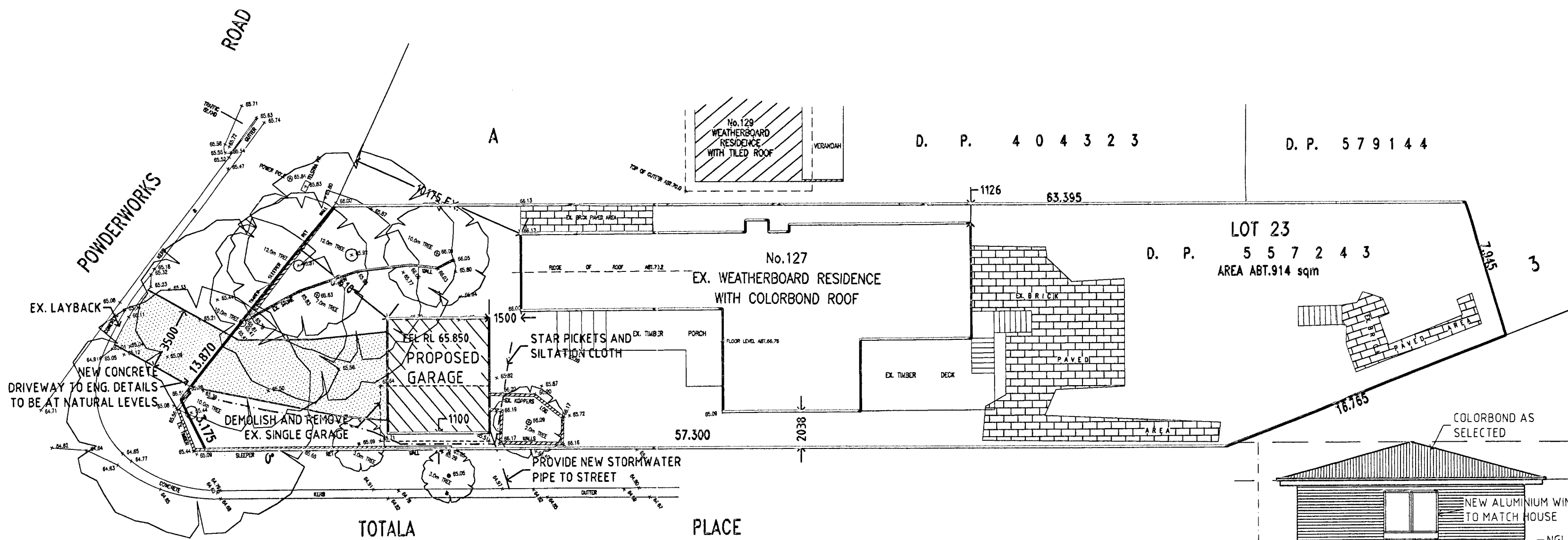
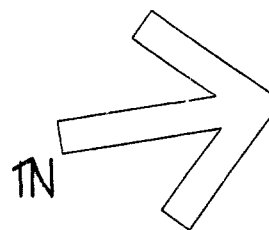
FLOOR LEVEL RL 66.760

2750

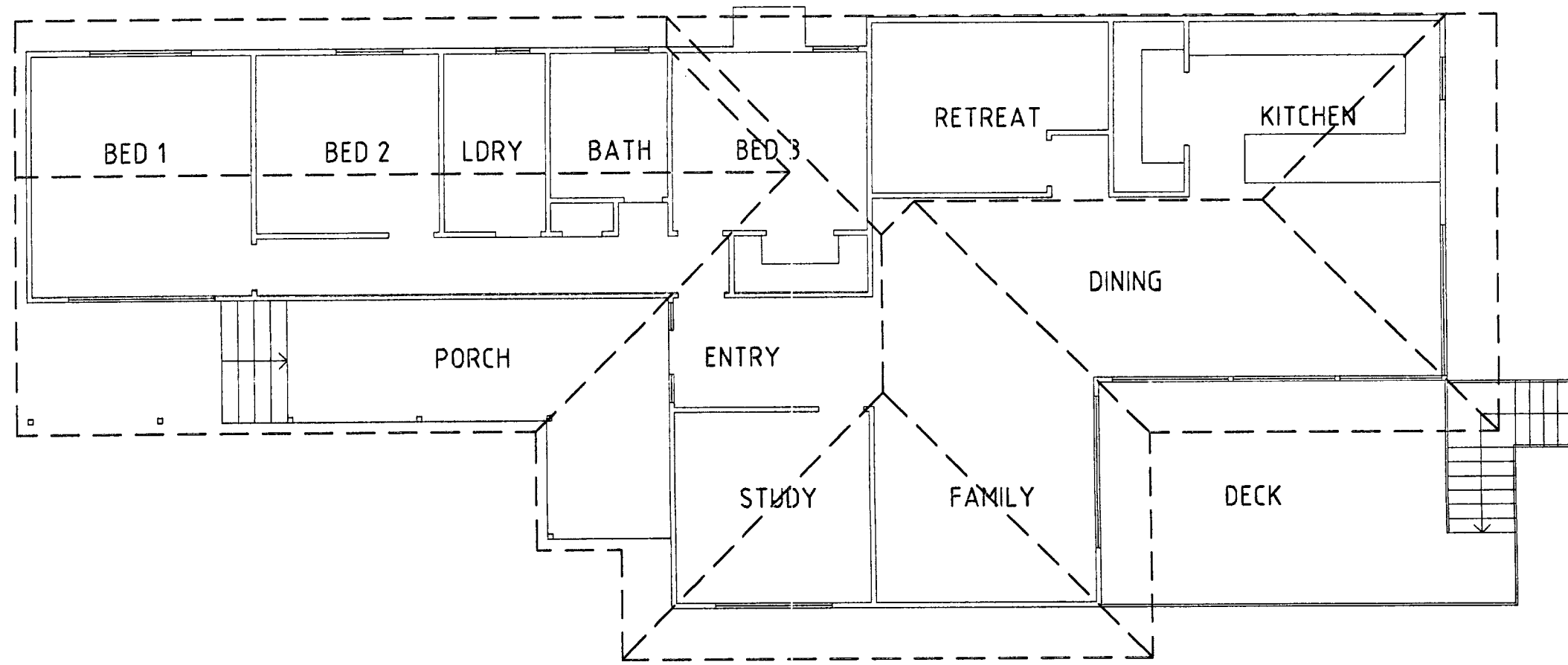
0505/10

TMA (NV)

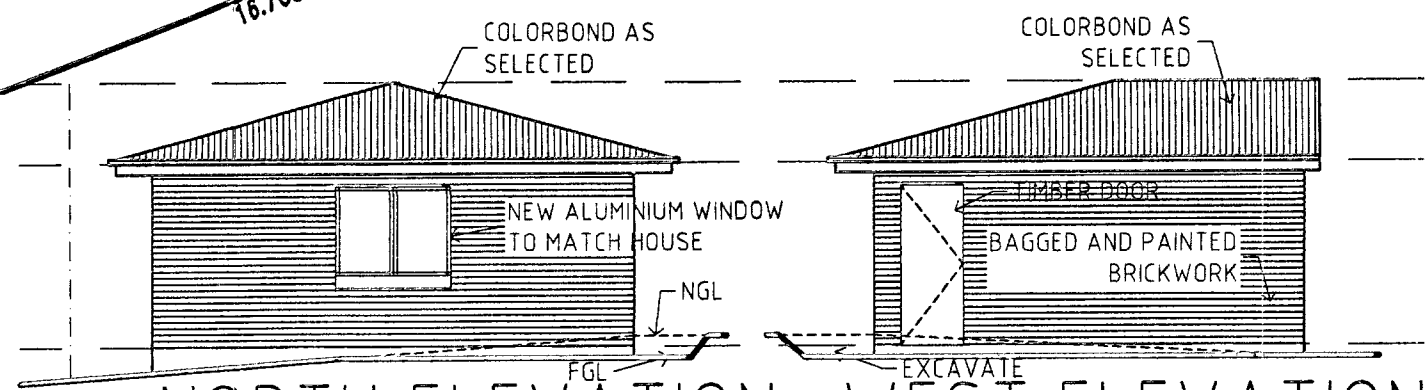
- 8 NOV 2006



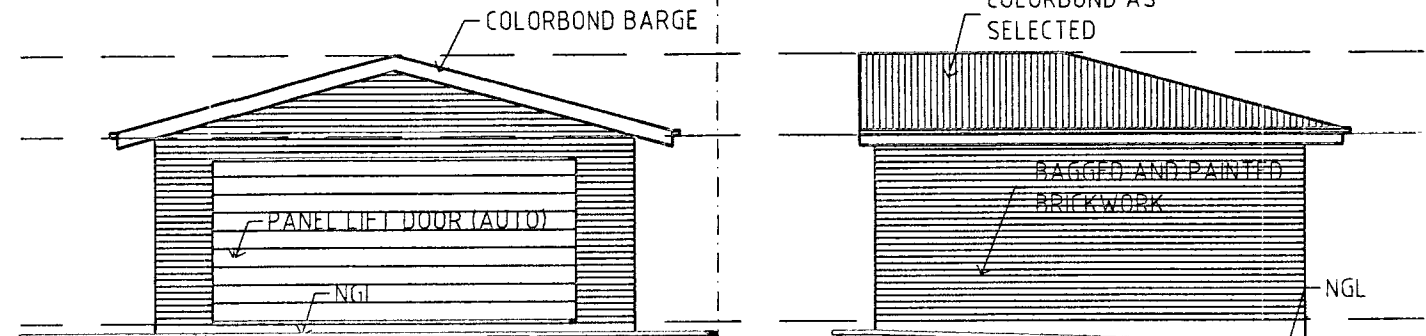
SITE PLAN SCALE 1:200



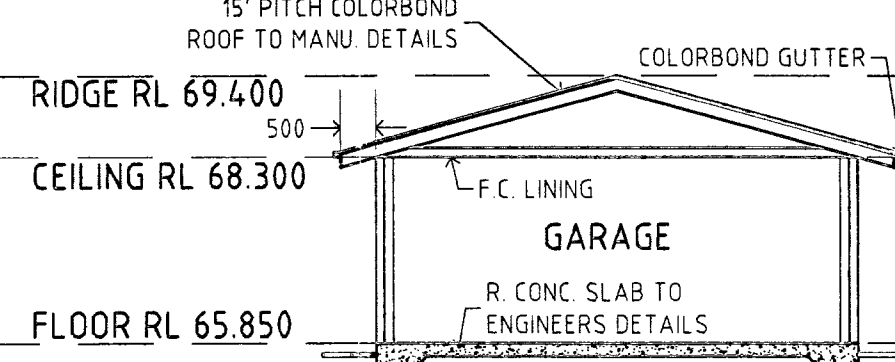
EXISTING FLOOR PLAN



NORTH ELEVATION WEST ELEVATION



SOUTH ELEVATION EAST ELEVATION



SECTION A-A

AREA	EXIST.	NEW	PROPOSED
PORCH	22.14	-----	22.14
GROUND FLOOR	169.75	-----	169.75
DECK	30.72	-----	30.72
GARAGE	19.00	36.72	36.72

TOTALS 24.161 36.72 259.33

SITE COVER	sqm
SITE AREA	914.00 sqm
HOUSE (INC. ROOF)	230.19 sqm
GARAGE	36.72 sqm
DRIVE	38.50 sqm
TOTAL COVER	305.41 sqm (33.4%)
+RECREATIONAL PAVING (MAX. 160SQM)	101.30 sqm

TOTAL GROSS LIVING: 169.75 sqm
F.S.R.: 0.18:1

GENERAL NOTES:-
PROVIDE TERMIMESH TERMITE BARRIER TO MANUFACTURERS DETAILS
PROVIDE 20mm RECESS IN SLAB TO ALL WET AREAS
DRAINAGE AND WATERPROOFING TO ENGINEERS DETAILS
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BOTH B.C.A. AND AUSTRALIAN STANDARD REQUIREMENTS
PROVIDE R3.0 INSULATION TO CEILING WITH FOIL BACKED INSULATION TO UNDERSIDE OF NEW ROOF SHEETS

DA SUBMISSION	A	23/05/2005
AMENDED	ISSUE BY	DATE
ROB CRUMP DESIGN Building Design Consultants ABN 88 003 421 994 15/10 Playfair Road Mt. Colah N.S.W. 2079 Ph: (02) 9476 3683 Fax: (02) 9476 3687 Mobile: 0412 581 313 Email: rcrump@tpg.com.au		
BEDWELL RESIDENCE ALTERATIONS AND ADDITIONS 127 POWDERWORKS ROAD ELANORA HEIGHTS NSW 2101		
Scale:	1:100, 1:200	
Date:	23 May 2005	
Job No:	1791/01	
DRAWN	CHECKED	ISSUED
RC.	RC.	