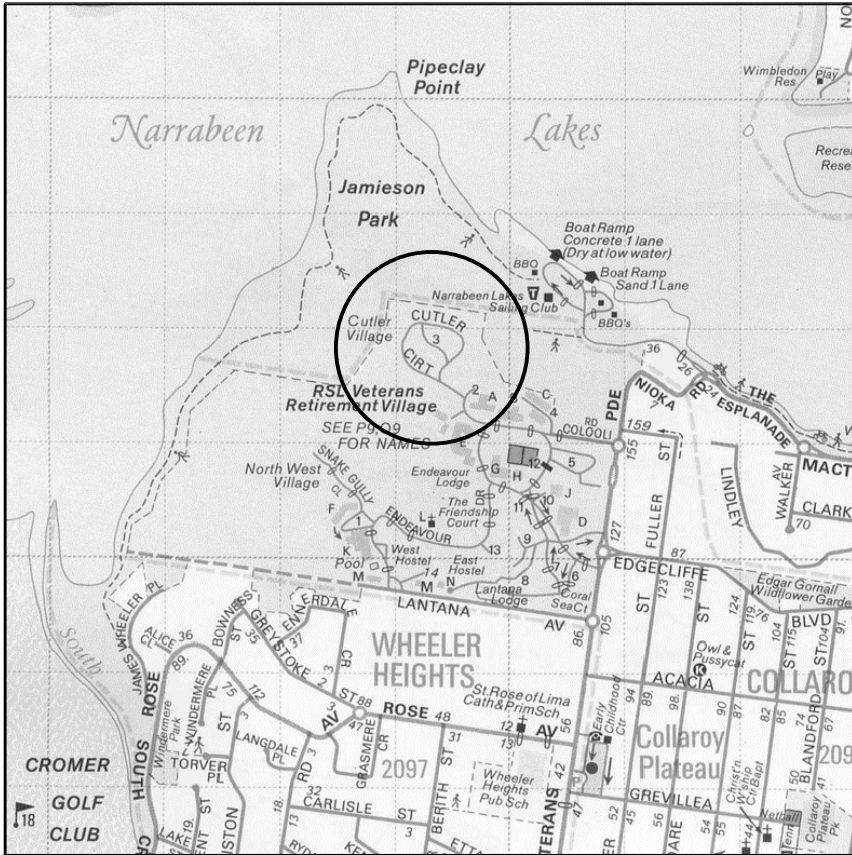


LEGEND:

	EXISTING WALLS
	NEW WALLS: 250mm BRICK VENEER 90mm STEEL STUD PARTITION WALLS 110mm BRICK WALLS
	COLOURED STENCILED CONCRETE DRIVEWAYS
	COLOURED CONCRETE HARD SURFACES
	EXISTING CONCRETE HARD SURFACES
	PROPOSED TALL MEDIUM HEDGE
	EXISTING 250mm BRICK VENEER WALLS
	EX. 90mm STEEL STUD PARTITION WALLS
	EX. 110mm BRICK WALLS
	EX. 90mm BLOCK WALLS
	EX. 150mm BLOCK WALLS
	EX. 190mm BLOCK WALLS
	DA ORIGINAL BUILDING OUTLINE EXTENT
	EXISTING STRUCTURE TO BE REMOVED
F.L.	FINISHED LEVEL
FP	BUILDER TO ERECT FLAGPOLE TO BE SUPPLIED BY CLIENT
B	BOLLARD
W	WINDOW SIZE
SD	SLIDING DOOR SIZE
EDB	ELEC. DISTRIBUTION BOARD
FHR	FIRE HOSE REEL
DP	DOWN PIPE
SK	SINK
BS	BASIN
	WATER CLOSET
	SHOWER
FW	FLOOR WASTE
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
HT	HOSE TAP
RB	REMOVABLE BOLLARD
EC1	EXISTING COLUMN
NC1	NEW COLUMN
	EXISTING SITE LEVEL
RL16.30	NEW BUILDING LEVEL



LOCATION PLAN

CUTLER VILLAGE (ILU 4) SECTION 96 APPLICATION ISSUE

PROPOSED BUILDING AREAS:

Unit No:	DA Internal Area	DA Balcony	DA Garage	DA Total	S96 Internal Area	S96 Balcony	S96 Garage	S96 Total	Total Area Reduction /Increase of Floor Area	%
3	118.97	23.81	18.72	161.50	N/A	N/A	N/A	N/A	N/A	N/A
4	134.00	10.15	16.20	160.40	116.50	14.50	21.50	152.50	-7.90	-5.00
5	118.19	31.87	19.20	169.26	119.07	12.63	16.50	148.20	-21.06	-12.44
6	122.74	36.39	19.20	178.33	N/A	N/A	N/A	N/A	N/A	N/A
7	127.24	59.30	19.20	205.74	131.57	21.33	16.50	169.40	-36.34	-17.66
8	139.96	59.97	30.42	230.35	146.60	32.75	28.80	208.15	-22.22	-9.70
10	117.11	23.82	19.20	160.13	123.70	18.80	23.63	166.13	6.00	3.61
11	117.01	59.68	19.20	195.89	111.11	24.30	23.94	159.35	-36.54	-18.65
12	122.65	18.44	19.68	160.77	122.94	14.32	22.80	160.06	-0.71	-0.44
13	115.03	32.01	19.94	166.98	123.18	17.82	22.80	163.80	-3.18	-1.90
14	115.80	22.92	19.20	157.92	112.16	8.88	22.80	143.84	-14.08	-8.92
15	127.19	31.30	19.20	177.69	116.12	12.88	22.80	151.80	-25.89	-14.57
16	117.26	21.82	19.94	159.02	123.50	15.50	22.80	161.80	2.78	1.72
17	117.26	21.82	19.94	159.02	115.20	11.90	22.80	149.90	-9.12	-5.73
18	117.18	33.13	19.20	169.51	114.81	5.34	20.90	141.05	-28.46	-16.79
19	117.18	33.13	19.20	169.51	114.81	5.34	20.90	141.05	-28.46	-16.79
20	117.18	33.13	19.20	169.51	114.81	5.34	20.90	141.05	-28.46	-16.79
21	125.45	44.78	19.20	189.43	121.35	17.45	22.80	161.60	-27.83	-14.69
22	121.91	19.44	19.94	161.29	122.72	11.58	23.80	158.10	-3.19	-1.98
23	123.65	37.14	19.20	179.99	N/A	N/A	N/A	N/A	N/A	N/A
24	121.91	16.72	19.94	158.57	N/A	N/A	N/A	N/A	N/A	N/A
25	121.91	19.44	19.94	161.29	N/A	N/A	N/A	N/A	N/A	N/A
26	139.16	28.38	19.44	186.98	132.74	24.74	22.80	180.28	-6.70	-3.58
27	141.72	27.09	19.20	188.01	N/A	N/A	N/A	N/A	N/A	N/A
31	117.92	30.73	20.67	169.32	134.25	35.75	22.80	192.80	23.48	12.18
32	115.76	50.20	20.67	186.63	152.25	40.50	25.05	217.80	31.17	14.31
33	143.61	38.04	19.44	201.09	134.15	22.85	22.80	179.80	-21.29	-10.59
34	137.79	31.46	19.44	188.69	136.08	18.45	22.10	176.63	-12.06	-6.39
35	143.92	30.30	19.35	193.57	130.34	17.96	22.80	171.10	-22.47	-11.61
36	143.92	26.29	19.20	189.41	130.41	17.98	22.80	171.19	-18.22	-4.58
37	161.52	24.04	19.20	204.76	N/A	N/A	N/A	N/A	N/A	N/A
38	161.52	24.04	19.20	204.76	N/A	N/A	N/A	N/A	N/A	N/A
70	125.17	31.50	19.23	175.90	131.75	23.90	22.80	178.45	2.55	1.43
71	124.45	27.09	19.20	170.74	N/A	N/A	N/A	N/A	N/A	N/A
- DENOTES CONSTRUCTED & COMPLETED ILU's										

GENERAL NOTES

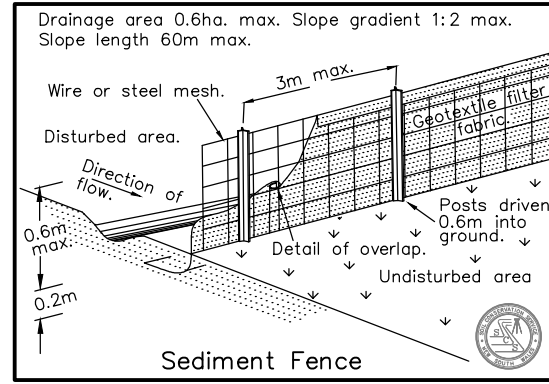
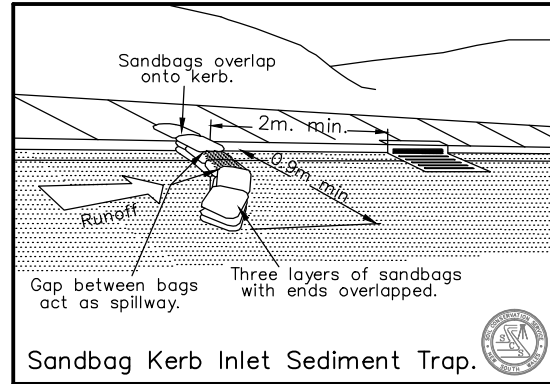
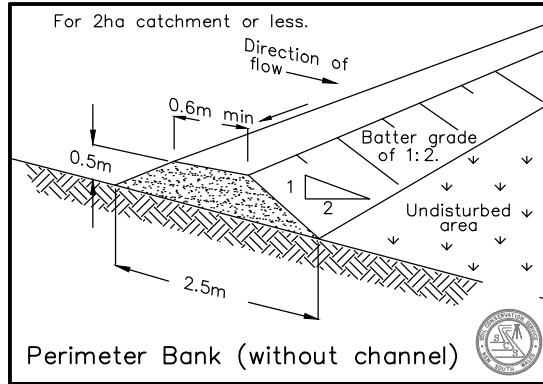
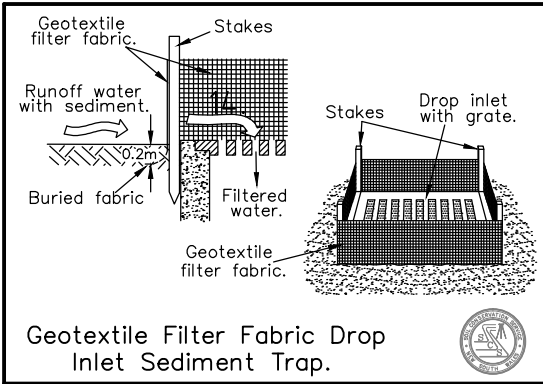
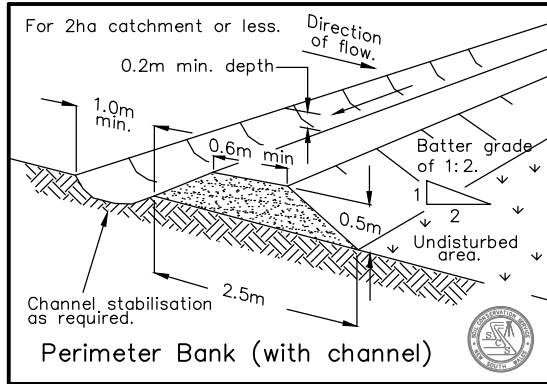
- All work shall be carried out in accordance with the requirements of NCC '16 and other relevant regulations of the local Council and other controlling authorities.
- All work shall comply with the relevant Australian Standards where appropriate.
- For all structural elements including steel or reinforced columns, floor slabs, stairs retaining walls, and roof framing refer to Structural Engineers drawings and details.
- Building setout and boundary clearances to be verified by a Registered Surveyor before construction begins and any discrepancies referred to the architect.
- All construction work to be carried out to comply with the requirements of authorities having jurisdiction over the works, including the conditions of approval issued for the project by the local Council and Water Board.
- Figured dimensions to be taken in preference to scaling from drawings.
- Any discrepancies or contradictions on the drawings or with the specification shall be referred to the Architect for clarification before construction.
- Building is designed to be Type C construction in accordance with The Building Code of Australia - NSW Edition.
- The Building Code of Australia is interpreted to require a building of Class 3 with a rise of 1 storey.
- All levels are based on Australian Height Datum
- Clear dimensions of required exits including stairs, fire passages and landings and paths of travel to an exit shall be minimum 1 metre wide and minimum 2 metres high
- Refer to Hydraulic Engineering Drawings for locations of stormwater drains, subsurface drains, downpipes and stormwater detention tank details.
- All toilets and change rooms to be mechanically ventilated if natural ventilation is not available.

All disabled dimensions to comply with AS1428.1

NCC '16:

CLASS 1A DWELLING & CLASS 10 PRIVATE GARAGE
TYPE 'C' CONSTRUCTION
FRL AS PER TABLE 4 BCA
DISABLED ACCESS PROVIDED
DISABLED PARKING PROVIDED
DISABLED TOILET PROVIDED

CL A3.2 BCA
CL C11 BCA
SPEC. C11 BCA
CL D3.2 BCA
CL D3.5 BCA
CL F2.4 BCA



CONSTRUCTION SEQUENCE:

- PROVIDE SOIL EROSION SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING AND STRAW BALES AS INDICATED
- PROVIDE SHAKER PAD AND ENSURE SITE ACCESS IS LIMITED TO ONE LOCATION. ENSURE ALL VEHICLE MOVEMENTS IN AND OUT OF THE SITE PASS OVER THE SHAKER PADS.
- UNDERTAKE BULK EARTHWORKS ENSURING THAT ALL SEDIMENT CONTROL MEASURES ARE REGULARLY MAINTAINED AND IN GOOD WORKING ORDER.

PLOT DATE: 24-02-2017

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SECTION 96 SUBMISSION - ILU 4	D	24.02.2017
SECTION 96 SUBMISSION	C	23.12.2015
DESCRIPTION OF DEVELOPMENT UPDATED AS PER COUNCIL EMAIL DATED 9 APRIL 2009	B	17th APRIL 2009
DEVELOPMENT APPLICATION SUBMISSION	A	23rd MAY 2008
Amendment/Issue	No.	Date

PROPRIETOR
RSL LIFECARE LTD

PROJECT
DEMOLITION OF EXISTING DWELLINGS & THE CONSTRUCTION OF 34 NEW DWELLINGS AT CUTLER VILLAGE FOR RSL LIFECARE, NARRABEEN

SHEET TITLE
DEVELOPMENT DATA & NOTES
SECTION 96 - 'CUTLER VILLAGE' (ILU 4)

HUMEL
architects

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E info@humel.com.au

SCALE NTS DATE FEB. 2017
DRAWN DH CHECKED BH

DRAWING NUMBER 2007.14 - DA1

REV: D

REFER COMPARISON PLAN 4 OF 5
DRAWING NO.DA53

REFER COMPARISON PLAN 3 OF 5
DRAWING NO.DA52

PIPECLAY

POINT

PARK

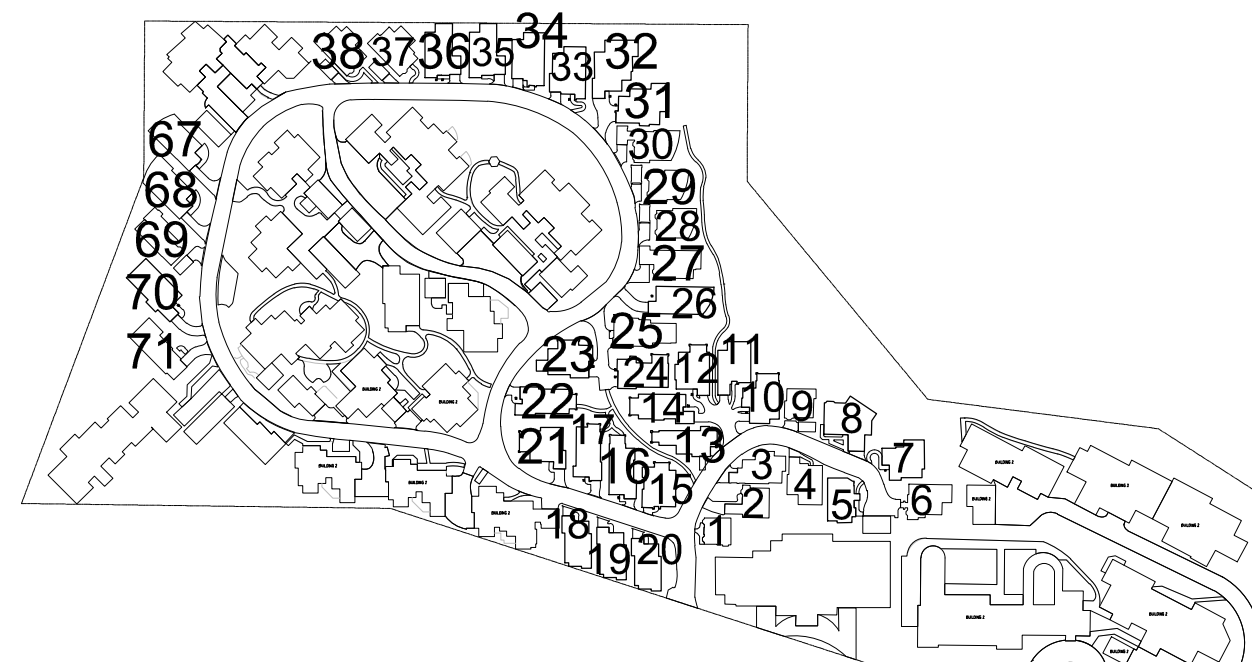
JAMIESON

PARK

REFER COMPARISON PLAN 5 OF 5
DRAWING NO.DA54

REFER COMPARISON PLAN 2 OF 5
DRAWING NO.DA51

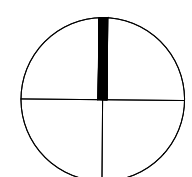
REFER COMPARISON PLAN 1 OF 5
DRAWING NO.DA50



LOCALITY PLAN

PLOT DATE: 24.02.2017

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SECTION 96 SUBMISSION - ILU 4	D	24.02.2017
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DESCRIPTION OF DEVELOPMENT UPDATED AS PER COUNCIL EMAIL DATED 9 APRIL 2009	B	17th APRIL 2009
DEVELOPMENT APPLICATION SUBMISSION	A	23rd MAY 2008
Amendment/Issue	No.	Date

PROPRIETOR
RSL LIFE CARE LTD

PROJECT
DEMOLITION OF EXISTING DWELLINGS
& THE CONSTRUCTION OF 34 NEW
DWELLINGS AT CUTLER VILLAGE FOR
RSL LIFECARE, NARRABEEN

SHEET TITLE
MASTER SITE PLAN
AND SITE ANALYSIS PLAN
SECTION 96 - 'CUTLER VILLAGE' (ILU 4)

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SCALE 1:500@ A1 DATE FEB. 2017
DRAWN DH CHECKED BH

DRAWING NUMBER 2007.14 - DA8
REV: D