

Interim Occupation Certificate

CERTIFICATE NUMBER: 8004483

Pittwater

yours locally

Local Norwest
Suite 21, 5 Inglewood Place, Baulkham Hills 2153
PO Box 7321 Baulkham Hills 2153
DX 8461 Castle Hill
p 1300 368 534
f 02 9836 5722
web www.localgroup.com.au

Issued under the Environmental Planning and Assessment Act 1979

SUBJECT LAND:

LOT: 126
DP: 270385
1 MELALEUCA PLACE
WARRIEWOOD
NSW 2102

DESCRIPTION OF WORK:

TWO STOREY DWELLING

LIMITATIONS AND/OR EXCLUSIONS:

BUILDING CLASSIFICATION:

1a, 10a

In accordance with the procedure outlined in Clause 151 of the Environmental Planning and Assessment Regulation 2000, the application for this Interim Occupation Certificate has been determined as **approved**

In making this determination, I hereby certify that:

- The health and safety of the occupants of the building have been taken into consideration in issuing this certificate.
- Development Consent No: N0121/11 dated 11/05/2011 Issued by Pittwater Council is in force with respect to the building.
- Construction Certificate No: 8004483 dated 08/07/2011 has been Issued with respect to the plans and specifications for the building.
- The building as described in this certificate, is suitable for occupation or use in accordance with its classification under the Building Code of Australia.
- Where required, a fire safety certificate has been Issued for the building.
- Where required, a report from the Fire Commissioner has been considered.

DOCUMENTS ACCOMPANYING THE APPLICATION:

Record of Critical Stage Inspections
Certificate of Structural Adequacy for Piers & Slab
Final Identification Survey
Waterproofing Installation Certificate
Smoke Detectors Installation Certificate
Pest Control Certificate
Stormwater Drainage Diagram
Certificate of Insulation
Certificate of Installation of BASIX Requirements

R# 334181
SMB
12/12/12
\$36

RECEIVED

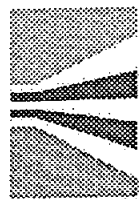
12 DEC 2012

PITTWATER COUNCIL

Sam Pratt
BPB0732

10/12/12
Date of Certificate

Doc ID: 4C5631F



LOCAL

RECORD OF MANDATORY INSPECTIONS

P.O. Box 7321
BAULKHAM HILLS NSW 2153
P: 1300 368 534
F: 02 9836 5722
E: info@localgroup.com.au

Development
Consent Number: N0121/11

Construction
Certificate Number: 8004483

Our Reference: 8004483

Subject Land: Lot: 126 D.P.: 270385
1 Melaleuca Place
WARRIEWOOD NSW 2102

In accordance with the requirements of Clause 151(2)(d) of the Environmental Planning and Assessment Regulations 2000, this document is to serve as a record of the "critical stage inspections" carried out in relation to the development. Schedule "A" includes all inspections referred to in Clause 151(2)(d)(i - iii) of the Regulations.

This documentation is to accompany any Occupation Certificate issued in relation to this development but is not to be misconstrued as a Compliance Certificate. Should additional information be required in relation to this matter, please contact the undersigned during normal business hours.

SCHEDULE "A"

Date of Inspection	Type of Inspection	Result	Accredited Certifier
29/08/2011	Pier Inspection	Satisfactory (Minor issues)	Sam Pratt BPB0732
7/09/2011	Slab Inspection	Satisfactory (Minor issues)	Sam Pratt BPB0732
19/09/2011	Stormwater Inspection	Satisfactory	Sam Pratt BPB0732
21/11/2011	Framework Inspection	Satisfactory (Minor issues)	Sam Pratt BPB0732
7/12/2011	Wet Area Inspection	Satisfactory	Sam Pratt BPB0732
28/02/2012	Final (Preliminary) Inspection	Defective	Sam Pratt BPB0732
7/12/2012	Reinspection (Final Preliminary Inspection)	Satisfactory (Minor issues)	Sam Pratt BPB0732

Sam Pratt
Accredited Certifier
Building Professionals Board
BPB0732

10/12/12
Date



Tankworks

Made to measure. *Made to last.*

15 December 2011

Ms. Cheryl Sluiter
Provincial Homes Pty Limited
Unit 37, 10 Gladstone Road
Castle Hill NSW 2154

RAINWATER HARVESTING COMPLIANCE LETTER

RE: 11007/199.1

Lot 126 Melaleuca Place
WARRIEWOOD NSW 2102

This letter certifies that Tankworks Australia has installed a rainwater harvesting system at the above mentioned address in accordance with our manufacturing standards, BASIX regulations, AS3500, AS2180 and builder's specifications.

The system is fitted with the following rainwater tank(s) and pump(s):

Item	Description	Colour	Capacity (Ltr)
SL-0550-2900-2020 KRB-S1	Slimline Water Tank Rainbank Sump Pump D42A/B	Classic Cream	3,091.00

The tank is:

- fitted with an automatic mains water bypass pump and controller system (Rainbank / Rainsaver) incorporating backflow prevention;
- fitted with a first flush device;
- fully enclosed and sealed to prevent access by mosquitoes;
- provided with a non-gloss finish;
- provided with an air gap in the overflow (where required by the Water Authority);
- situated on a suitably sized base as supplied by the builder;
- connected into the existing storm water disposal system on site; and
- labeled "Rainwater - Not For Drinking".

The installation was completed by a Licensed Plumber in compliance with Water Authority Guidelines and the NSW Code of Practice: Plumbing and Drainage.

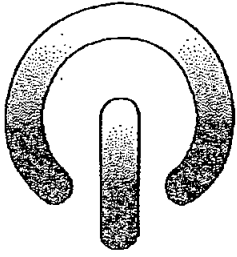
Matthew Tranby
Operations Director

Tankworks Australia P/L

8 Bessemer Street BLACKTOWN NSW 2148

P 1300 736 562 F 1300 736 582 E orders@tankworks.com.au

www.tankworks.com.au ABN 62108491881



Prestige

Electrical NSW Pty Ltd

This is to certify that smoke detectors have been installed at the following address:
Builder: Provincial Homes

Name: MR AND MRS COFFEY

ADDRESS : LOT 126 MELALEUCA PLACE WARRIEWOOD

Product Installed: HPM Cat. No 645/1SB

License No EC13234

Our company hereby certifies that the smoke detectors installed in the above property are a main powered ionisation type smoke detector with battery backup and found to comply with Australian Standard 3786 (1993)

The smoke detectors have been installed as per plans supplied by Provincial homes.

Yours faithfully
PRESTIGE ELECTRICAL NSW P/L

Warren Whyte
Director



Rheem Australia Pty Ltd

ABN 21 098 823 511

To Whom it may concern

LOT 126 MELALEUCA PLACE WARRIEWOOD

This Letter is to confirm that **Rheem Integrity 27 hot water system** attracts a 5 star energy rating score in accordance with the requirements of councils development control plan No.100 quality housing.

The above model conforms to the Local Government Council Building standards for CO2 Hot Water omissions, minimum 3 star rating.

This product has been certified by AGA to comply with the requirements of the relevant Code/Standard.

All Rheem Solar, Gas and Heat Pump domestic heaters comply within Nathers building code. For further information please don't hesitate to contact the writer.

Yours faithfully
RHEEM AUSTRALIA PTY LTD

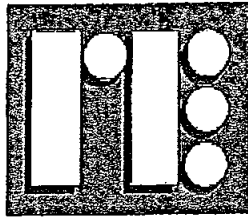
PO Box 3076 Hamilton D.C. NSW 2303 Tel: 02 49 613.616 Fax:02 49 613.117



® **Solahart. Paloma**



VULCAN



**RESIDENTIAL
ENGINEERING**
CONSULTING STRUCTURAL ENGINEERS
ACCREDITED CERTIFIERS

NSW: BPB 0255
VIC: EC 24603
QLD: RPEQ 4109

8 September 2011

Provincial Homes
Unit 37 No 10 Gladstone Rd
Castle Hill NSW 2154

Our Ref: PH1472
Your Ref: 11.007

RE: CERTIFICATE FOR SLAB REINFORCING STEEL INSPECTION

Site: Lot 126 Melaleuca Place, Warriewood
Date of Inspection: 8 September 2011
Drawing No: PH1472
Amendments Required: NIL

CERTIFICATION

This is to certify that an inspection was made of the slab reinforcing steel at the above address and we are satisfied that they have been constructed in accordance with the structural details as outlined above ready for the placing of concrete.

It should be noted that certification only applies to the structural components of the slab.

Further Information

If you require further information please contact Residential Engineering.

Yours faithfully,
RESIDENTIAL ENGINEERING

A.W. McCarthy
B.Sc.(Eng), MIE Aust, CP Eng

The McCarthy Corporation Pty Ltd and The Residential Engineering Trust to **RESIDENTIAL ENGINEERING**

ABN: 38 484 413 839

Head Office: 1/19 Jonathan Street, GREYSTANES NSW 2145

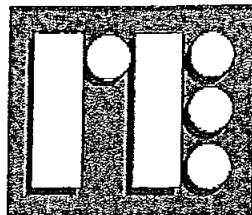
T: 02 9896 5494 F: 02 9636 1064

Southern Highlands: 3/256 Argyle Street, MOSS VALE NSW 2577

T: 02 4869 5003 F: 02 4869 5008

W: www.residentialengineering.com.au

E: enquiries@residentialengineering.com.au



**RESIDENTIAL
ENGINEERING**
CONSULTING STRUCTURAL ENGINEERS
ACCREDITED CERTIFIERS

NSW: BPB 0255
VIC: EC 24609
QLD: RPEQ 4109

8 September 2011

Provincial Homes
Unit 37 No 10 Gladstone Rd
Castle Hill NSW 2154

Our Ref: PH1472
Your Ref: 11.007

RE: CERTIFICATE FOR PIER HOLE INSPECTION

Site: Lot 126 Melaleuca Place, Warrlewood
Date of Inspection: 29 August 2011
Drawing No.: PH1472
Pier Diameter: 400mm
Bearing Material: Controlled Fill
Amendments Required: NIL

CERTIFICATION

This is to certify that an inspection was made of the pier holes at the above address and we are satisfied that they have been constructed in accordance with the structural details as outlined above and that at the time of the inspection the pier hole bases were clean and free of debris and water ready for the placing of concrete.

Further Information

If you require further information please contact Residential Engineering.

Yours faithfully,
RESIDENTIAL ENGINEERING

A.W. McCarthy
B.Sc.(Eng), MIE Aust, CP Eng

The McCarthy Corporation Pty Ltd at The Residential Engineering Trust is RESIDENTIAL ENGINEERING

ABN: 38 484 413 839

Head Office: 1/19 Jonathan Street, GREYSTANES NSW 2145

T: 02 9896 5494 F: 02 9636 1064

Southern Highlands: 3/256 Argyle Street, MOSS VALE NSW 2577

T: 02 4869 5003 F: 02 4869 5008

W: www.residentialengineering.com.au

E: enquiries@residentialengineering.com.au



Our Ref: 201/19595

Smartbuilt (NSW) Pty Ltd
ABN 48 111 440 558

Northern Office:
PO Box 3718 Tuggerah NSW 2259
T: 1300 737 889 F: 02 4351 7378

Southern Office:
PO Box 83 INGEBURN NSW 2565
T: 1300 737 889 F: 02 9605 8426

W: www.termimesh.com
E: sales@smartbuiltNSW.com.au

Provincial Homes Pty Ltd
Unit 37 No. 10 Gladstone Road
CASTLE HILL NSW 2154

Certificate of Installation - AS 3660.1

This is to certify that the Termimesh Poison-free Termite Control System has been installed by a Termimesh System accredited installer to deter concealed entry by termites from the soil to the building above the System, generally in accordance with Australian Standard AS 3660.1-2000 "Termite Management - Part 1: New Building Work" and to the following details;

Date of Installation: 6 September 2011
Site Address: Lot 126 No. 1 Garden Place, WARRIEWOOD NSW 2102
For: *New Dwelling*
Owners: *TBA*
Installation Details: *Termimesh System Standard Warranty (attached - 4 pages)*
Termimesh System Specifications

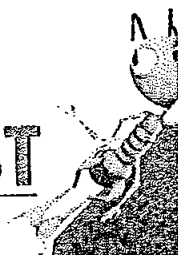
109B - Service penetrations through concrete slab only, combined with an exposed slab edge

Recommended

Inspection Interval: *12 months (refer AS 3660.2 and page 1 of Domestic Warranty)*

Remarks: *Termites are able to bridge barrier systems. Regular inspections must be conducted at recommended intervals to ensure maximum building protection. The hot water unit, downpipes etc, being located adjacent the exterior wall so as not to obstruct regular inspection of physical barriers. Remaining protection to the building to be provided by other means to meet AS 3660.1-2000. Service penetration points to the main slab protected by Termimesh collars only.*

Michael Field
Operations Manager





Termimesh Pledge Residential Guarantee

GUARANTEE NUMBER

359542

SCHEDULE

This Warranty is issued to the owner of the Premises situated at:-		TYPE OF INSTALLATION	
Location: Lot 126 No.1 Garden Place		Unattached Building or Unit ☒	
Suburb: WARRIEWOOD		Attached Building or Unit ☐	
State: 2102	PostCode: NSW		
Installation Date: Tuesday, 06 September 2011		Applicable To:	
Number of attached Units Sharing this Warranty: 1		Addition/Extension	
Unit or Identity numbers			
Name of Builder: Provincial Homes Pty. Ltd.			
Name of Owner:		Service Centre No.: 201	
		Job Reference No.: 19595	

THE TERMIMESH PLEDGE:

***THE TERMIMESH STAINLESS STEEL PHYSICAL BARRIER WILL PREVENT
THE PASSAGE OF SUBTERRANEAN TERMITES THROUGH THE BARRIER.***

When will the guarantee expire?

You can decide when the guarantee expires. The guarantee is for ten years from the installation date but can be extended indefinitely during the term of the guarantee provided annual inspections are undertaken and approved by the relevant Service Centre. You must contact the Service Centre before the relevant expiry date to arrange each inspection.

Does this guarantee apply to both faulty workmanship as well as materials?

Yes. The Termimesh Pledge Guarantee combines both. The Service Centre guarantees against faulty installation and the supplier of the materials guarantees against faulty materials.

What will we do if you report evidence of termites within the dwelling?

A representative of the Service Centre will visit the premises to determine if the Termimesh stainless steel physical barrier has failed. A visual inspection will be made and if possible and subject to your written agreement, a physical intrusive investigation will also be undertaken. Physical accessibility to the barrier may no longer be possible due to after-installation activity by the builder or the builder's trades or other services, in which case the Service Centre will determine the most appropriate action to take.

What if the barrier has failed and termites have passed through the barrier?

The faulty portion of the barrier will, where accessible, be repaired or replaced, and when not reasonably accessible and at the discretion of the Service Centre, will be supplemented by an alternative barrier or treatment approved by the appropriate Standard and Codes. Any damaged timber will be repaired or replaced at the discretion of the Service Centre and in accordance with the terms of this guarantee.



KINGS PARK

BRADNAMS WINDOWS AND DOORS PTY LTD
ABN 78 010 409 819

Quote: 546448	Account: PROVIN	Rep: JUSTIN SHELTON (T3:0419 297 055)
Order: 11007/190.1	Invoice Date: 6/10/2011	Area Code: 403
PROVINCIAL HOMES PTY LTD UNIT 37, No 10, GLADSTONE RD CASTLE HILL 2154 NEW SOUTH WALES PH: 02 9894 5200 FAX: 02 9894 5728		BRADNAMS WINDOWS & DOORS PTY LTD 4 HARVEY ROAD KINGS PARK NSW 2148 PH: 02 8808 8100 FAX: 02 8808 8111

Aluminium Finish: WHITE BIRCH GLOSS	Reveals: 138mm FINGER JOINT P	Category: P700/W150
Type Of Glass: CLEAR FLOAT	Flashing: POLY COURSE	Screens: None
Job Address: MELALEUCA PLACE 1, LOT 126 WARRIEWOOD	KPA70560	Delivery Date: 6/10/2011
Map Ref: MUDMAP		

Entry Date: 8/08/2011 Conversion Date: 18/08/2011 Conversion Time: 9:21:37

BRADNAMS WINDOWS AND DOORS PTY LTD
warrant that the Windows & Doors supplied by
Bradnam's Windows and Doors Pty Ltd to the job address

MELALEUCA PLACE 1, LOT 126
WARRIEWOOD

have been manufactured and glazed to comply with the Australian Standards

AS 1288 - 2006, Glass in Buildings

&

AS 2047 - 1999, Windows in Buildings

at the wind loads specified on this certificate.

Building Classification: Housing (N2/W33N)

Serviceability: 700 Pascals

Ultimate Stress: 1000 Pascals

Water Penetration: 150 Pascals

Signed By: _____

An Authorized Officer representing **BRADNAMS WINDOWS AND DOORS PTY LTD**

Total Items: 33

SHBROW

Page: 1

Glazing Certificate

PRTORD7.DLL/SYDNEY_OEGlazingCertificate

Sales, Installation and Service
Electrical Contractors
ABN 38 103 625 207
LIC. No. 78450C

M & J ELTIS
AIR CONDITIONING
PTY LTD

P.O. BOX 274
Kellyville 2155
Ph: 9679 2060
Fax: 9679 2070
Mobile: 0418 292 013
eltair@bigpond.com

3rd August 2011

Dear Sir / Madam

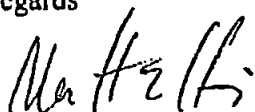
EER Compliance

Customer: MR R & J COFFEY
Site Address: LOT 126 MELALEUCA PL
WARRIEWOOD
System: ACTRON AIR SRA160

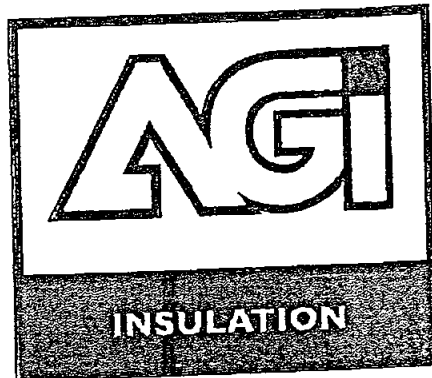
Please be advised the air conditioning system installed at the above address has an EER compliance of 3.28

If you have any further queries please do not hesitate to contact me.

Regards



Matt Eltis



Create your comfort zone

GUARANTEE

This is to certify that AGI Insulation Batts have been installed at the following address
and are subject to the guarantees listed on the reverse.

Address Lot 126 Melaleuca Place

Warriewood

Date of installation 26.11.11

R-Value Ceiling R2.5 R-Value Walls R1.5

COIKIM INSULATION
Installer (Company Name)

[Signature]
Signed (Installer)



Comfort zone guaranteed



INSULATION

Sydney Melbourne Adelaide Perth
1300 12 12 00 • www.agiinsulation.com.au

The Insulation:

It is guaranteed that:

1. AGI Insulation Batts are non-combustible
2. AGI Insulation Batts have the following Early Fire Hazard Performance: Ignitability 0, Spread of Flame 0, Heat Evolved 0, Smoke Developed 0.1. When tested for Early Fire Hazard Performance to Australian Standard AS1530 Part 4:1982
3. AGI Installation Batts are tested to Australian Standards, are Building Code of Australia (BCA) compliant and are fire-soluble.



4. AGI Insulation Batts are dimensionally stable up to a maximum service temperature of 340°C
5. AGI Insulation Batts are guaranteed to last the lifetime of your home.

The Installation:

It is to certify that the installation of AGI Insulation Batts is consistent with the guidelines laid down by AGI Insulation. It is further guaranteed that in the unlikely event of any damage occurring as a direct result of the installation of AGI Insulation Batts, that damage will be rectified by the installer.

SEWERAGE SERVICE DIAGRAM

MUNICIPALITY OF Pittwater
 Lot No. 126 House No. 1

SUBURB OF Warriewood
 STREET Melaleuca

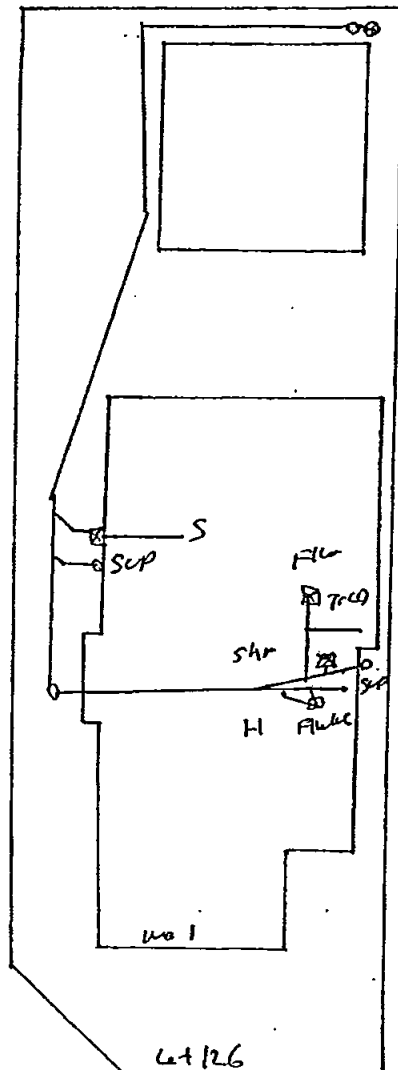
SSD
 SCALE: 1:200

INDICATES - DRAINAGE FITTINGS			SYMBOLS AND ABBREVIATIONS			INDICATES - PLUMBING FIXTURES & OR FITTINGS			ELEG.		
	Manhole		Gully	CO	Clean out	BD	Bidet		Boundary Valve		Alarm Control P
	Chamber		Reflex Valve	O V	Vent Pipe	Shr	Shower		Boundary Valve with PRV		LP Stop Valve
	Lamp hole		Inspection opening	Tr(L)	Trough laundry	DWM	Dishwashing machine		Alarm Control P		LP Air Valve
	Boundary Trap		Vertical Pipe	S	Sink (kitchen)	FW	Floor waste gully		HSV Flow Monitor		Vacuum Chamber
	Inspection Shaft		Induct Pipe	WC	Water Closet	CWM	Clothes-washing machine		Flushing Point		
	Pit		Micro Flap	BH	Bath Waste	BS	Sink Bar				
	Grease Interceptor		Rodding Point	H	Basin	LS	Sink Laboratory				
	Greywater Treatment System		Sloped Junction	AAV	Air Admittance Valve	+	LP Reducer				
	Terminal Maint. Shaft		Vertical Junction		INDICATES - PLUMBING ON MORE THAN ONE LEVEL						
	Maintenance Shaft		On back Junction		SVP Soil Vent Pipe		WS Waste Stack				

Licence No. L-9782
 Permit/COC No. 500596
 Signature SL

Date 19/9/11

Licence No.
 Permit/COC No.
 Signature Date



Sewer
30m

Melaleuca Place

SEWERAGE SERVICE DIAGRAM

MUNICIPALITY OF Pittwater
 Lot No. 126 House No. 1

SUBURB OF Warriewood
 STREET Melaleuca

SSD
 SCALE: 1:200

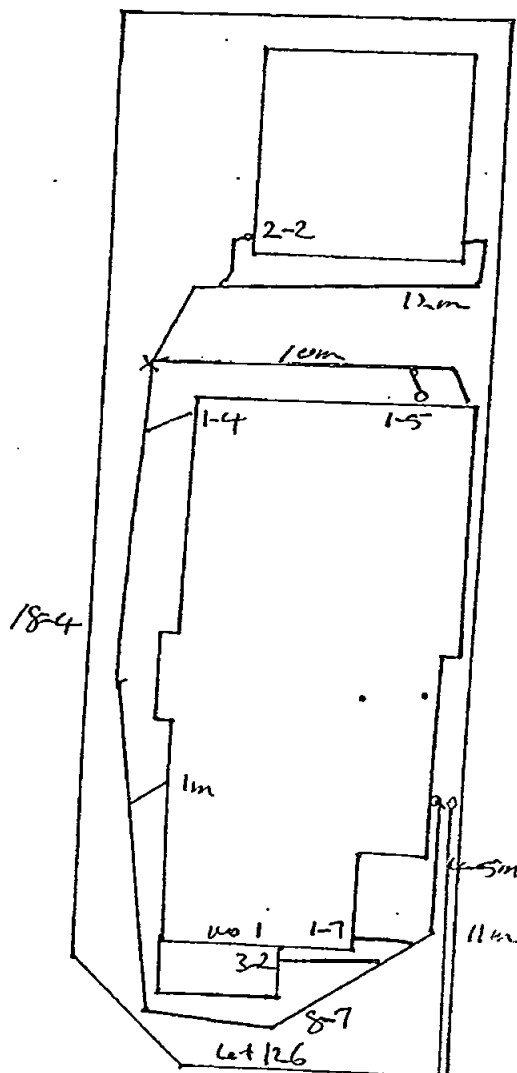
INDICATES -- DRAINAGE FITTINGS				SYMBOLS AND ABBREVIATIONS				INDICATES - PLUMBING FIXTURES & OR FITTINGS			
	Manhole		Reflex Valve	CO	Clean out	BD	Bidet		ELEC.		Pump Unit
	Chamber		Inspection opening	OV	Vent Pipe	Shr	Shower		Boundary V		Boundary V with FRV
	Lamp hole		Vertical Pipe	Tr(L)	Trough laundry	DWM	Dishwashing machine		Alarm Contr		LP Stop Val
	Boundary Trap		Induct Pipe	S	Sink (Kitchen)	FW	Floor waste gully		LP Air Valve		HSV Flow Lic
	Inspection Shaft		Mild Flap	WC	Water Closet	CWM	Clothes-washing machine		Vacuum Chg		Flushing Poin
	Pit		Rodding Point	Bu.	Bath Waste	BS	Sink Bar				
	Grease Interceptor		Sloped Junction	H	Basin	LS	Sink Laboratory				
	Greywater Treatment System		Vertical Junction	AAV	Air Admittance Valve	LP Reducer	LP Reducer				
	Terminal Manht. Shaft		On back Junction								
	Maintenance Shaft										

Licence No. L-9782
 Permit/COC No. 500596
 Signature SL

Date 19/9/11

Licence No.
 Permit/COC No.
 Signature

Date



Melaleuca Place

Boral Roofing
Division



BORAL MONTORO PTY LIMITED

ABN 34 002 944 694

Mackellar Street, Emu Plains

Locked Bag 9001

Penrith NSW 2751

Telephone (02) 4728 8888

Facsimile (02) 4735 6512

www.boral.com.au

Certification of Compliance

Builder **PROVINCIAL HOMES
UNIT 37
CASTLE HILL (N) 2154**

Ref. No **67808**

Completion Date **28/11/2011**

Site Address **Lot 126 #1 MELALUCA PLACE
WARRIEWOOD 2102**

Tile Profile **Contour**

Tile Colour **Ebony**

BORAL ROOFING certifies that the items listed below have been installed in accordance with the relevant Australian Standards or as per the Manufacturer's specifications.

Roof Tiles: In accordance with Australian Standards AS2049.2002 AS2050.2002, Boral Roofing standards and any builders instructions

Sarking: In accordance with Australian Standard AS4200.2.1994. and Boral Roofing standards. Sarking is classified LOW (less than 5) in the flammability index when tested in accordance with AS1530.2.1993

If you require any further assistance please do not hesitate to contact the undersigned.

Yours faithfully

A handwritten signature in black ink, appearing to read "Lloyd Johnston", written over a horizontal line.

**Lloyd Johnston
Products Fixing Manager**



KEEP DRY WATERPROOFING PTY LIMITED

ABN 50 107 474 019 License No. 158141C

3/42 Edward Street, Riverstone, NSW 2765

Tel: (02) 9627 1116 Fax: (02) 9627 1113

WATERPROOFING CERTIFICATE

Keep Dry Waterproofing Pty Limited certifies it has waterproofed the wet areas listed below in accordance with: the Building Code of Australia; AS 3740-2004 and manufacturers specifications. The work is guaranteed for ten years from the date of installation, subject to warranty conditions listed below.

BUILDER:	JOB ADDRESS:	INSTALLATION DATE:
Provincial Homes	L126 MELALEUCA PL	3/12/11
37/10 Gladestone Road	WARRIEWOOD	CERTIFICATE NO:
CASTLE HILL		45526
NSW 2154		ORDER NO:
		11007/200.1

WET AREAS:	MATERIALS USED:
<i>Timber Floors</i>	All materials satisfy AS/NZS 4858:2004.
Showers:	Fibreglass shower tray
Other wet areas:	Fibreglass floor and skirt perimeter
Balconies:	Fibreglass floor and skirt perimeter
<i>Concrete Floors</i>	
Showers:	Fibreglass shower tray
Other wet areas:	Fibreglass skirt perimeter

WARRANTY CONDITIONS

1. Semi-frameless shower screen waterstop angles must extend minimum 10mm above tiled floor.
2. Hobbed shower screens must be installed on the inside (shower side) edge of the shower hob.
3. Frameless shower screens shower floors must be recessed 10mm below rest of floor from the inside edge of the shower waterstop.
4. Balconies must be tiled no later than four weeks from the date of this certificate.
5. Waterproofing must not be damaged by any third party after installation.

SIGNED:
KEEP DRY WATERPROOFING PTY LTD

Simon Taylor
Director



BURTON & FIELD

surveying & land development

Provincial Homes Pty Limited
Suite 37, 10 Gladstone Road
CASTLE HILL NSW 2154

Our Ref: E2190-63004_ID
BD:MT - Epping
Your Ref: 11007 / Coffey

We have surveyed for identification purposes only, the land edged red on the attached sketch being Lot 126 in Deposited Plan Number 270385 having a frontage of 7.5 metres to Melaleuca Place, 4.245 metres on the splay and 26.75 metres to Watargum Drive, at Warriewood in the Local Government Area of Pittwater, Parish of Narrabeen, and County of Cumberland and further being the whole of the land contained in Certificate of Title Folio Identifier 126/270385.

WE HEREBY REPORT that the two storey brick residence and brick garage known as Lot 126 Melaleuca Place, Warriewood stands wholly upon the land and does not encroach upon any adjoining property or street.

The position of the residence in relation to the boundaries of the land is as shown on the adjoining sketch. Levels underlined in red have been taken on Australian Height Datum (AHD) and indicate the ground floor, garage floor slab and roof ridge levels as shown on the attached sketch.

The subject land is affected by Restrictions on the Use of Land created by the registration of Deposited Plan Number 270385.

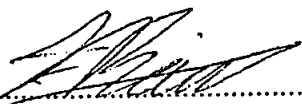
The subject land has appurtenant an Easement for Access & Maintenance 0.7 metres wide created by the registration of Deposited Plan Number 1129687. This easement does not appear to align with the proposed residence and garage.

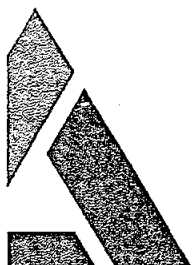
Full details in relation thereto are shown on the adjoining sketch together with sufficient information for identification purposes.

This report and relevant detail shown on the sketch herewith is for identification and/or building certificate purposes. Any improvements to be erected on or near the boundaries will require further survey.

10 January 2012

BURTON AND FIELD PTY. LIMITED

PER: 
(REGISTERED SURVEYOR)



LIVERPOOL

a 343 Hume Highway, Liverpool NSW 2170
p PO Box 242 Liverpool 1871; DX 5020 Liverpool
t 02 9602 1199 f 02 9821 2620
e survey@burtonandfield.com.au w burtonandfield.com.au

ABN 24 065 371 550

EPPING

a Suite 202, 2 Pembroke Street, Epping NSW 2121
p PO Box 1150 Epping 1710; DX 4413 Epping
t 02 9868 4660 f 02 9868 6035
e epping.reception@burtonandfield.com.au

Liability Limited by a Scheme approved under the Professional Standards Act

Date: 10.1.2012

Our Ref: E2190-63004_ID_E&G

CLIENT REF: 11007/COFFEY

(A) - EASEMENT FOR ACCESS
& MAINTENANCE 0.7 WIDE
(DP 1129687)

SHEARWATER

LANE

WALL-BDY
1.0

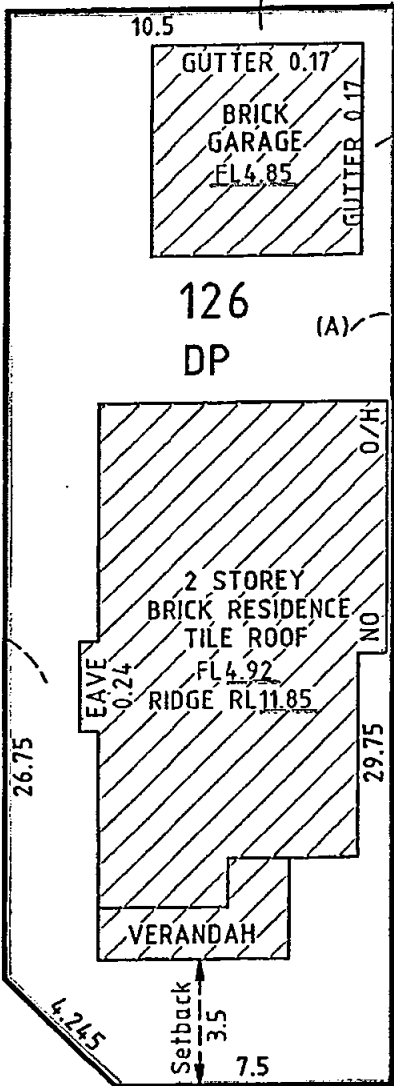
▲ BENCH MARK
RL=4.80 (By Provincial)



DRIVE

WALL-BDY
2.02

WATERGUM



WALL-BDY
0.9

127
270385

WALL-BDY
0.18

MELALEUCA

PLACE

I, **JASON RAIC**
of burton & field pty. limited, a surveyor registered under
the surveyors act 1929, hereby certify that the survey
represented in this plan is accurate and has been made in
accordance with the survey practice regulation 2001.


burton & field pty. limited A.C.N. 002 093 432

DRAINAGE COMPLIANCE CERTIFICATE

Address: Lot 126/No 1 MELALEUCA PL, WARRIWOODProject: New dwelling/stormwater drainageCertification Date: 27.2.12

Pursuant to the provisions of Part 7A of the Environmental Planning & Assessment Regulation 1994

I, Scott Robinson of Scott Robinson Plumbing & Drainage Pty Ltd
Unit 38 No 7 Salisbury Road Castle Hill 2154hereby certify that the stormwater drainage has been checked and complies with:

- a) The approved plans released for construction
- b) The relevant Australian Standards listed in the Building Code of Australia (specification A1.4)
- c) AS3500 National Plumbing and Drainage Code
- d) Councils Storm water policy/codes
- e) Drainage connected to:
 - ☒ Street
 - ☐ Pit
 - ☐ Council drainage line

Comments: _____

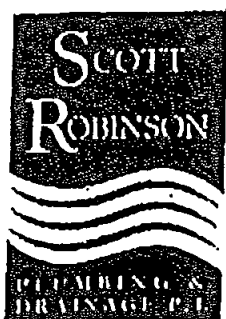
Name of Certifier: Scott RobinsonQualifications: Licensed Plumber/Drainer/GasfitterAddress: PO Box 3331 Dural NSW 2158

Contact No's: (W) 9899 6756 (F) 9899 6842 (M) 0418 117 008

Signature: _____

Date: 27.2.12

FAX



Scott Robinson Plumbing & Drainage Pty. Ltd.

Unit 38, 7 Sallsbury Road, Castle Hill, N.S.W. 2154
P.O. BOX 3331, DURAL, N.S.W. 2158

OFFICE: 9899 6756
FAX: 9899 6842
MOBILE: 0418 117 008

Contractors Authority No. 85135C
Lic. No. 19782
A.C.N. 079 109 121
A.B.N. 74 079 109 121

TO WHOM IT MAY CONERN

Re: Lot 126 MELALEUCA PLACE WARRIEWOOD ✓

This certificate confirms that all toilets, washing machine
and one garden tap with a plaque fitted above tap are connected
to the rainwater system provided

Roof area collection of 146m² discharges to rainwater tank

The above job complies with AS 3500, & conditions N/A

Scott Robinson Plumbing & Drainage PTY LTD

REGARDS

JOHN.

27-2-12



Licensed Plumbers, Drainers,

Gasfitters and LPG Installations.

FAX

✓



Stylish Wardrobes

and Showerscreens

Stylish Wardrobes: 2/30 Buell Drive, Smeaton Grange NSW 2567
Web: www.stylishwardrobes.com.au
Phone: 02 4647 2344
Fax: 02 4647 2355
APR 93 120 738 382

24 February 2012

Att: Provincial Homes

The purpose of this letter is to confirm that the shower screens at Lot 126 MELALEUCA PLACE WARRIEWOOD, NSW are constructed using glass with the Australian Safety Standard AS1288-2006.

Yours faithfully,

Danny King
Director

Stylish Wardrobes & Shower screens

PH: (02) 4647 2344

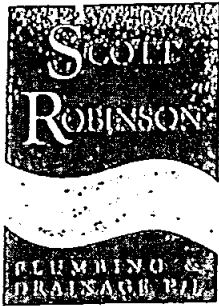
FAX: (02) 4647 2355

MOB: 0410-620-372

EMAIL: dannyk@stylishwardrobes.com.au

WEB: www.stylishwardrobes.com.au





Scott Robinson Plumbing & Drainage Pty. Ltd.

Unit 38, 7 Salisbury Road, Castle Hill, N.S.W. 2154
P.O. BOX 3331, DURAL, N.S.W. 2158

OFFICE: 9899 6756
FAX: 9899 6842
MOBILE: 0418 117 008

Contractors Authority No. 85135C
Lic. No. 19782
A.C.N. 079 109 121
A.B.N. 74 079 109 121

To Whom It May Concern

Re: Lot 126 Melaleuca Place Warriewood

Dear Sir/Madam,

We are pleased to confirm that AAA taps, showerheads and 4A rated dual flush toilets were fitted at the above premises.

All as per order.

All in accordance with the manufacturers specifications.

Scott Robinson Plumbing & Drainage Pty.Ltd.,

Licensed Plumbers, Drainers,



Gasfitters and LPG Installations.