

A4 NOTIFICATION PLAN

PARK AVENUE

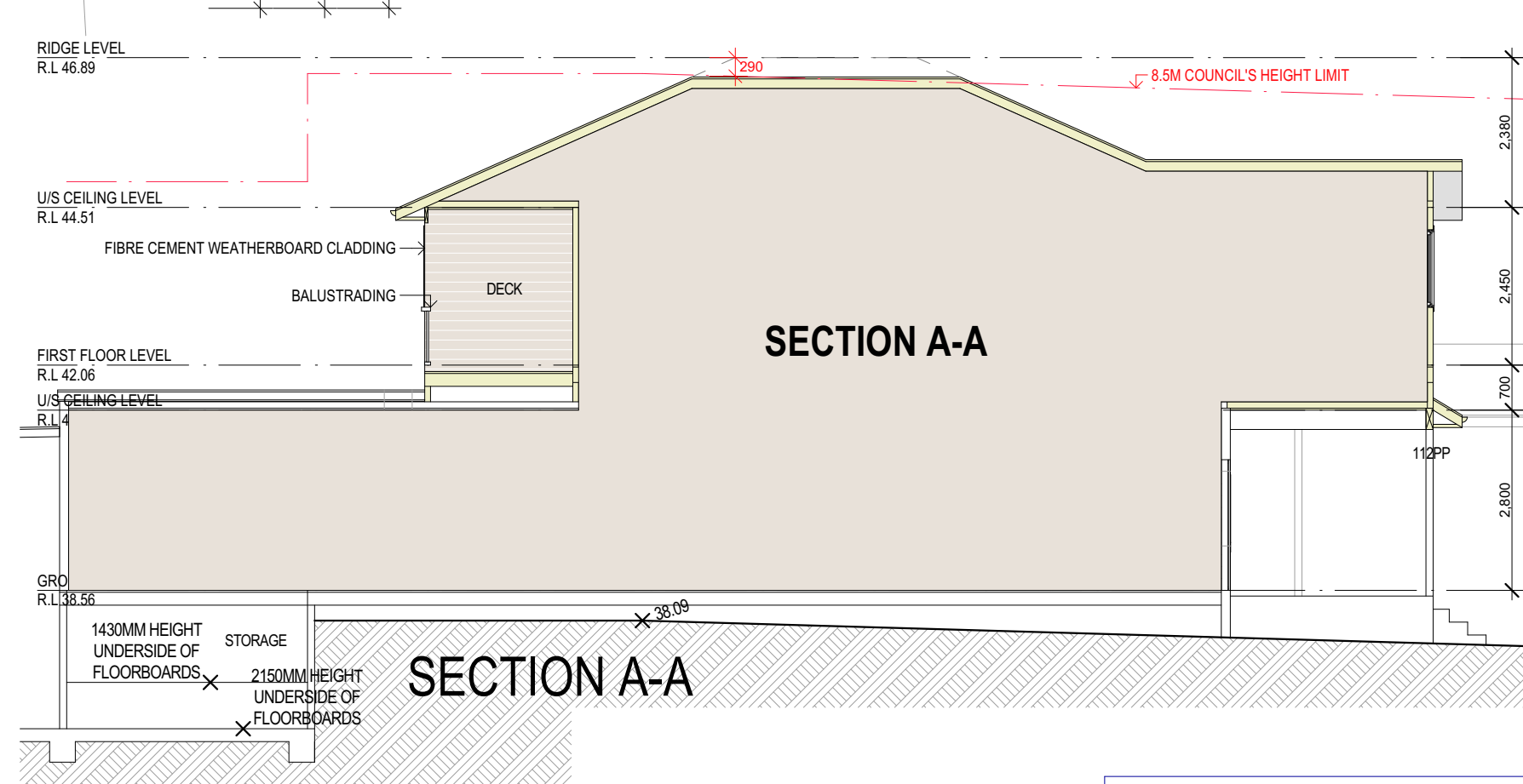
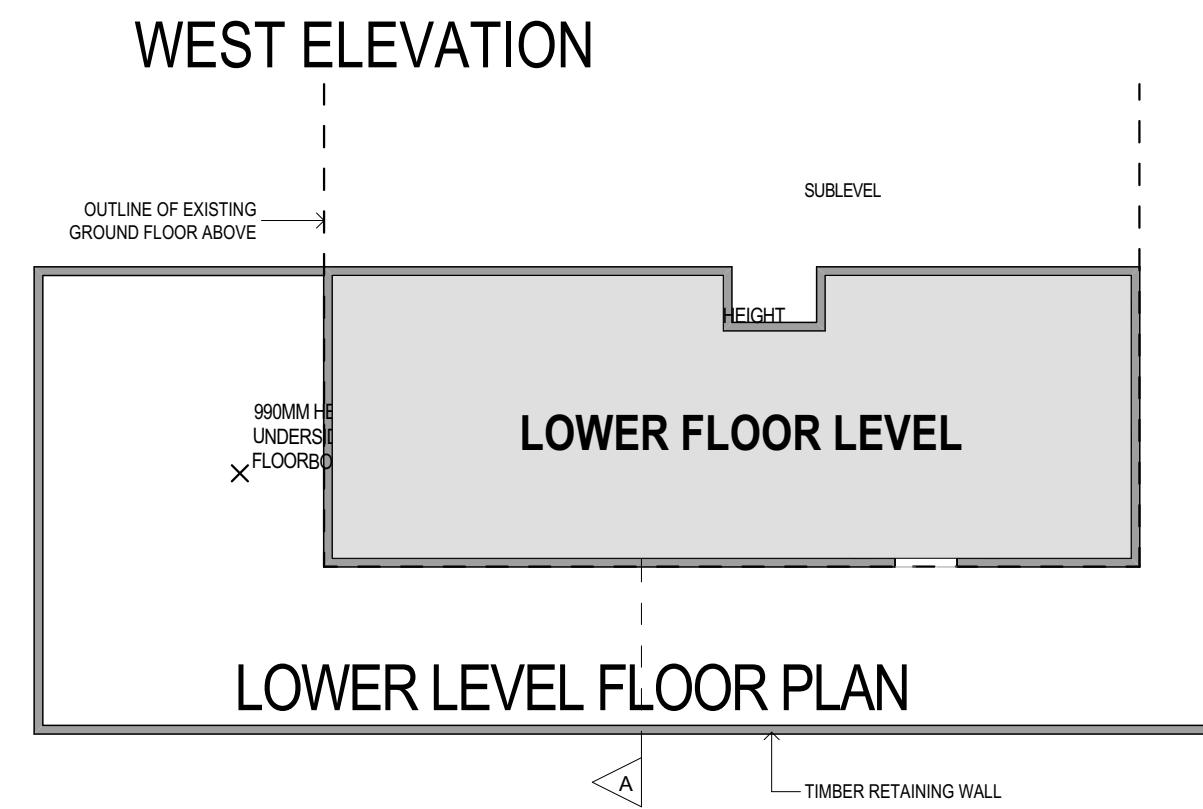
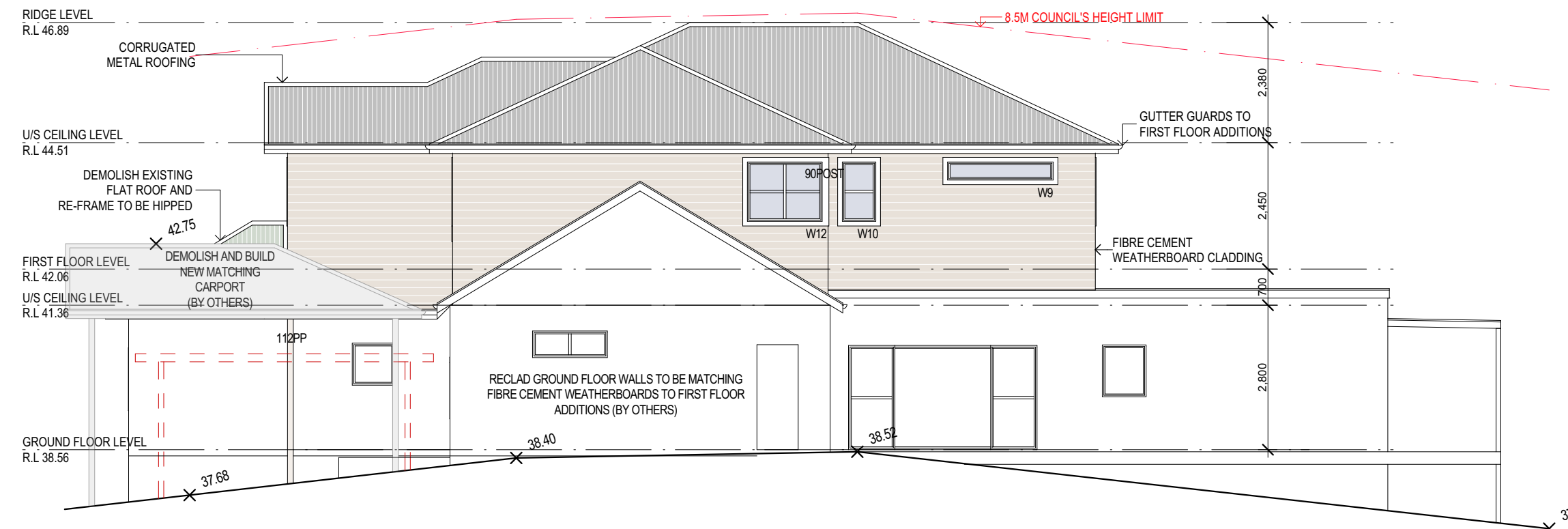
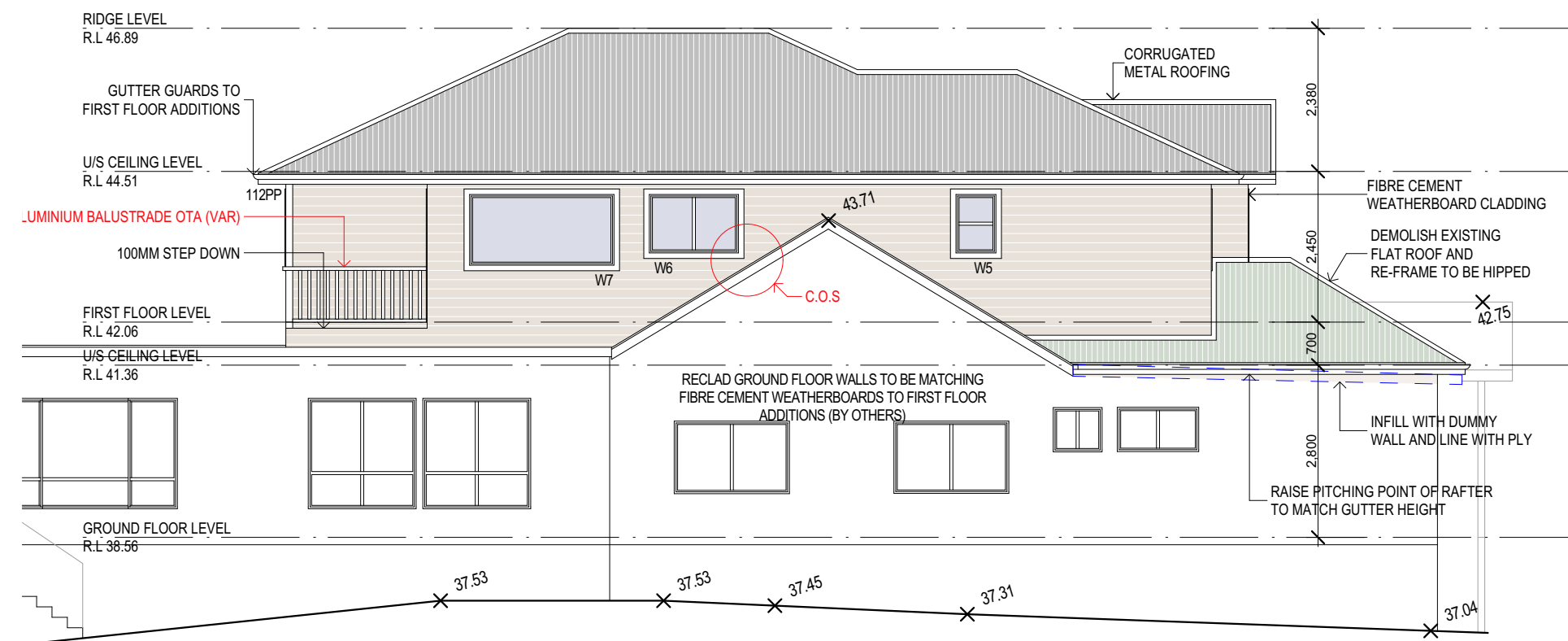
GROUND FLOOR PLAN

OPEN SPACE CALCULATIONS		
SITE AREA	1004 sqm	
GROSS FLOOR AREA	366.8 sqm	
EXIST. IMPERVIOUS AREA	581.5 sqm	58%
PROPOSED IMPERVIOUS AREA	581.5 sqm	58%
EXIST. LANDSCAPED AREA	422.5 sqm	42%
PROPOSED LANDSCAPED AREA	422.5 sqm	42%
NO CHANGE TO EXISTING FOOTPRINT OR LANDSCAPE		
EXIST FLOOR SPACE	244.1 sqm	0.24 : 1
PROPOSED FLOOR SPACE	366.8 sqm	0.37 : 1

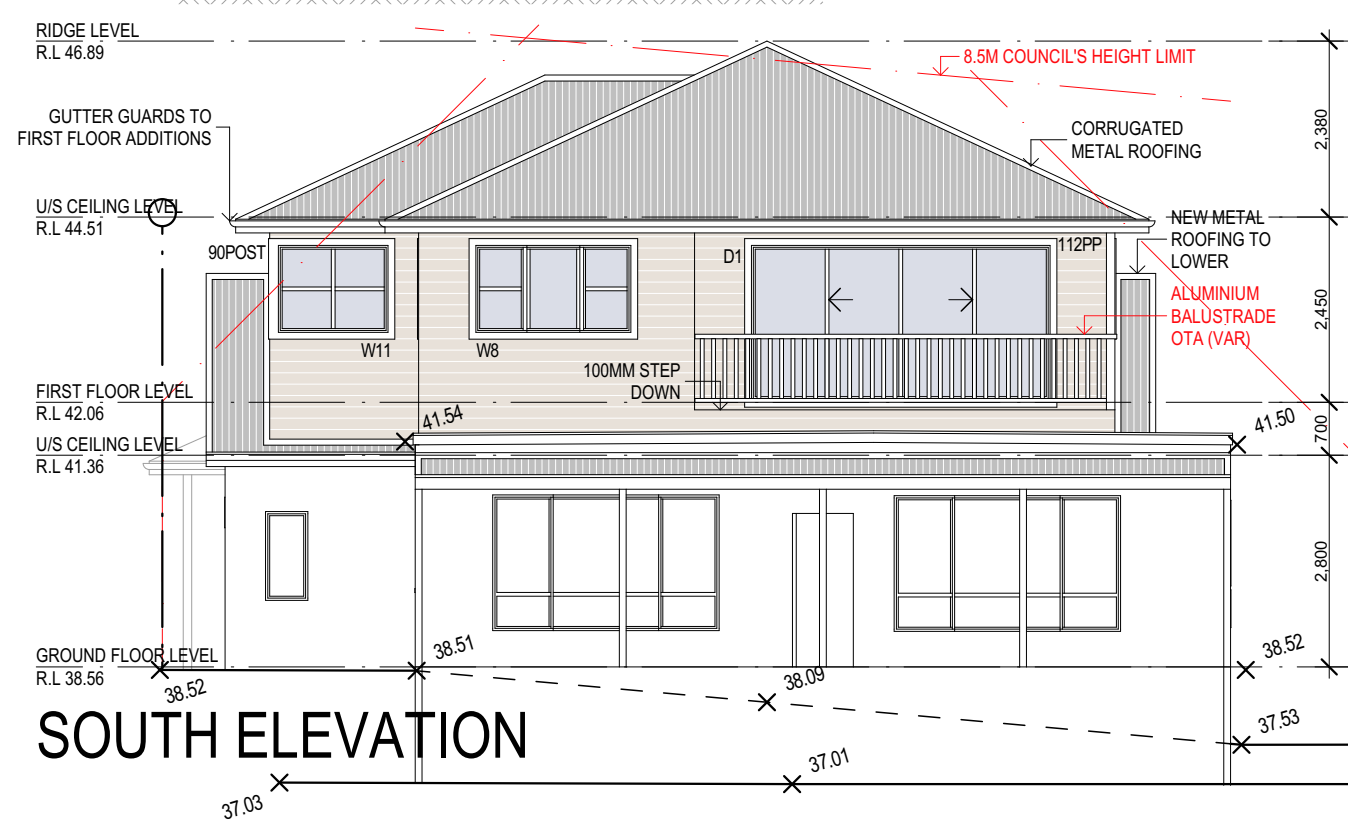
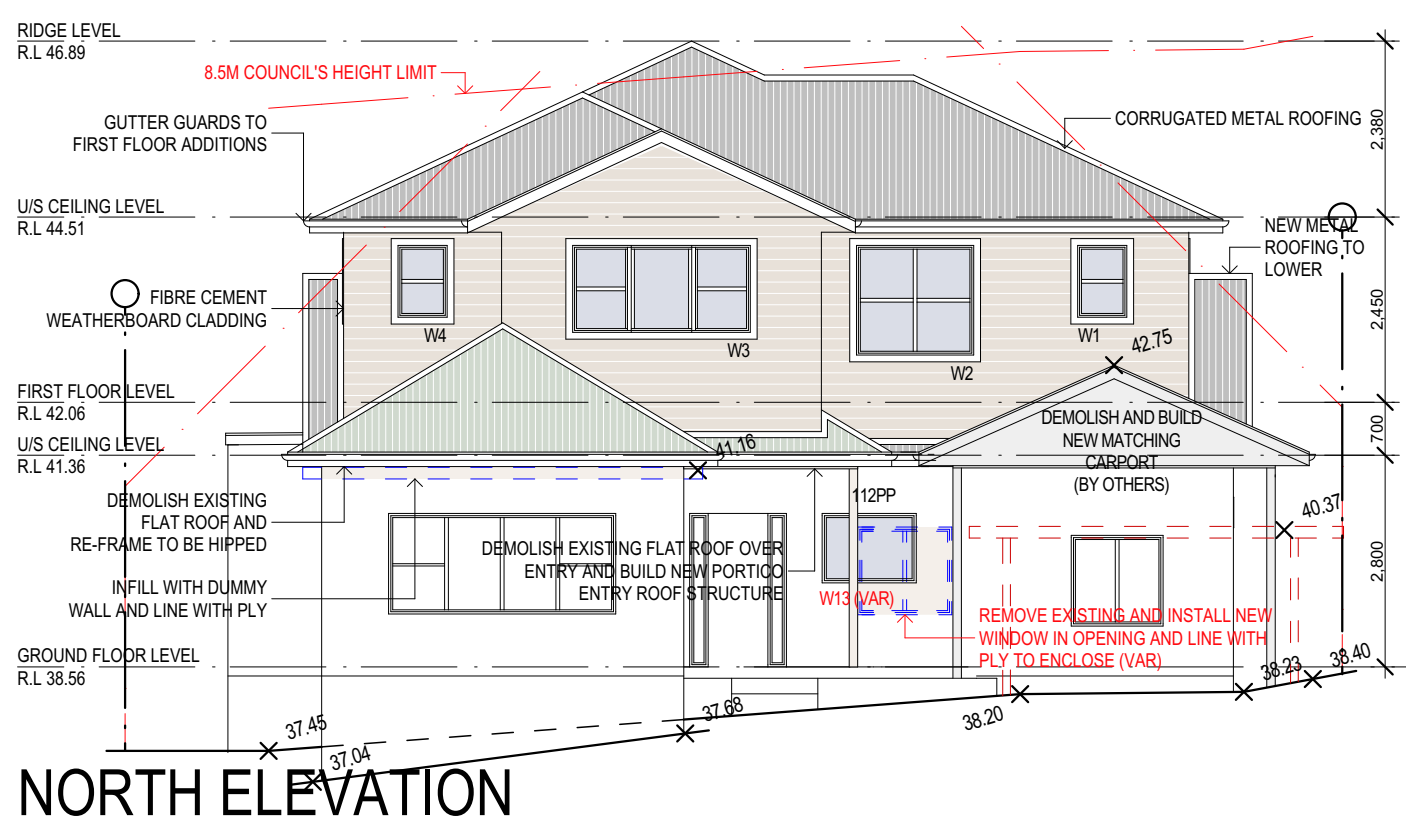
PROPOSED FIRST FLOOR PLAN

DETAIL A
CORNER WINDOW
SCALE 1:5

INTERIOR
BEDROOM 2



FRAMING NOTES.	
ROOF PITCH	NEW: 24° EXISTING 31°
FRAME HEIGHT	2450mm
ROOFING	NEW METAL
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT TO LINE UP	2130mm TO LINE UP
INTERNAL DOOR	2110mm
B.I.C DOOR OPENING HEAD HEIGHT	2110mm TO LINE UP
DOOR AND WINDOW NIBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	930mm WIDE FOR 870 DOORS AND 880mm FOR 820 DOOR



BASIX REQUIREMENTS	
40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.	
BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.	
EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION.	
FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).	
ALL WINDOWS TO HAVE IMPROVED ALUMINIUM WINDOWS	
W5,W8,W11, W13 AND D1 TO HAVE U-VALUE NO GREATER THAN 7.63 AND SHGC OF 0.75	
W1,W2,W4,W6 AND W7 TO HAVE U-VALUE NO GREATER THAN 7.57 AND SHGC OF 0.57	
W3,W9,W10 AND W12 TO HAVE U-VALUE NO GREATER THAN 5.7 AND SHGC OF 0.47	



FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

LEGEND & GENERAL NOTES	
(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
B.O	BY OTHERS
90PP	90 x 90 PRIMED POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W / C	TOILET SUITE (WATER CLOSET)
B I C	BUILT IN CUPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT. #	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP&S	DOWNPIPE AND SPREADER
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.	
SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC	
SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE	

JOB REVIEW 2	EMAIL DATE	00/00/00
JOB REVIEW 1	EMAIL DATE	04/10/23
PROJECT TITLE: Proposed Additions at: 19 Park Avenue, Avalon Beach NSW 2107		
C	For Council	06/10/23 GK
B	For Plan Meeting	04/10/23 GK
A	For review	03/10/23 KK
NO.	REVISION	DATE BY
	DRAWN BY: KK	CHECKED BY GK
	SCALE:	1:100
TITLE: PLANS, ELEVATIONS AND SECTIONS		
DRAWING NO. 3202 DA 1 ISSUE C		

**ADD-STYLE**
HOME ADDITIONS
Upstairs Specialists

5019 CONDOMINE ST MANLY VALE 2095
PHONE: (02) 9907 9055
EMAIL: info@addstyle.com.au

ADD-STYLE HOME ADDITIONS

LOT 41
DP 13325
1004 SQM