

Statement of Environmental Effects (SEE)

Date: October 20, 2022

Owners: Mr. & Mrs. Evanian

Subject Property: 9 Haigh Avenue, Belrose 2085
Lot 5, DP 222115

1. Site suitability

The subject site known as 9 Haigh Avenue, Belrose 2085 is a corner block with the eastern side boundary facing onto Castle Crescent. The subject site is relatively flat with a gentle slope from the rear of the property to the street frontage. The site is a regular shaped block with the house sitting towards the middle of the block, there is an existing garage to the rear boundary which is also a side boundary onto Castle Crescent. The site is 695.6m² in size being an average size block within the Northern Beaches Council area. The block has a frontage to the Northern Boundary of 16.91m onto Haigh Avenue. The Eastern side boundary facing onto Castle Crescent is 35.05m in length. The rear Southern boundary is 20.575m, with the remaining Western side boundary being 35.05m in length. The adjoining property on Haigh Avenue known as 11 Haigh Avenue is a one storey residence that sits level with the subject site. The adjoining property located to the south known as 16 Castle Crescent is slightly elevated above the subject site and is of single storey. Currently erected on the subject site is a two-storey family residence with a separate garage facing onto Castle Crescent.

We believe the proposed alterations and additions have been designed to be compatible with the surrounding development and streetscape and be in accordance with the aims and objectives of the WLEP2011 and the WDCP2011.

2. Present and previous uses

The subject site and adjoining properties are currently used as residential dwellings. This will remain unchanged for the subject site.

We are not aware of any previous potentially contaminating activity within the subject site. No testing or assessment has been completed for contamination on the subject site.

3. Development compliance

The subject site is located zoned R2 Low Density Residential under WLEP2011. Under this Category, the proposed use is permissible with consent.

The proposed works include alterations to the existing garage to the rear of the property. This garage provides access onto Castle Crescent as the subject site is a corner block. The proposal seeks to create loft storage within the garage by removing the existing roof and

extending the walls up to create more height within. Within the garage space a separate toilet and shower are proposed to allow for easy access from the exterior existing pool area. A new carport structure is to replace the existing sail's providing for better weather protection for a second car space. The proposed roof over the garage and loft space are to be constructed of timber frame with Colorbond roof.

The proposed carport is behind the required 3.5m secondary front boundary setback, however due to the angle of the side boundary the required 900mm side setback is only achievable for half the length of the carport and it reduces down to 190mm at the very front of the carport and is 1.67m at the rear of the carport. As such we seek Councils favourable consideration for this non-compliance. The changes to the existing garage creating the storage loft comply with the side boundary setback requirements and sits under the required 4m & 45° building envelope.

The proposal will result in 347.80m² or 50% soft landscape space which is in excess of the 40% minimum landscape requirements and is therefore compliant to council controls. The site allows for 62.29m² of private open space and as such complies to the 60m² minimum DCP requirement.

Please see site plan, floor plans and elevations for further information.

4. Access and traffic

Existing access to and from the subject site is via a driveway off Castle Crescent. This access will remain in the same location under the proposal. The existing car space and garage will be altered to allow for a slightly bigger and more level car space. The existing garage walls are to remain intact with an increase in height while the roof to the garage is to be replaced maintaining the form and integrity of the structure.

Pedestrian amenity, bicycle facilities, public transport facilities and general traffic flow will not be affected by the development. All these aspects comply with Part C2 of WDCP2011.

5. Privacy, views and overshadowing

Visual privacy:

The proposed development has been designed to have minimal effect on the private open space of the subject property and adjoining properties. While the proposal does include loft storage and therefore an increase to the height of the existing garage roof, to maintain privacy to adjoining property's there are no windows above ground level facing towards toward either property. The design itself would allow for privacy to both adjoining properties and the subject site with its windows and external doors all being thoughtfully placed.

Acoustic privacy:

The proposed alterations and additions will not affect acoustic privacy as the residence remains a private family dwelling.

Views:

The impact of the proposed development on views from adjoining and nearby properties has been considered. The proposed alterations and additions do not take away from any significant views afforded to the surrounding properties.

Overshadowing:

Shadow diagrams accompany this application and provide evidence of minimal overshadowing to adjoining properties, with the proposed addition of loft storage remaining within councils DCP building envelope.

6. Air and noise

Air quality and noise projected from the site shall not change as the proposed use of the site will remain residential dwelling.

7. Soil and water

The proposal will have minimal impact on soil and water management issues as the proposed use of the property remains unchanged.

8. Energy efficiency

A BASIX Certificate is not required for this application as the space is classified as non-habitable.

9. Known Risks

We have studied the subject site and have determined the following potential risks to the site. The subject site is located in Landslip A and therefore does not pose any landslip risk. There are no other known risks to the subject site.

10. Waste management

Existing council waste collection will remain in place for the subject site.

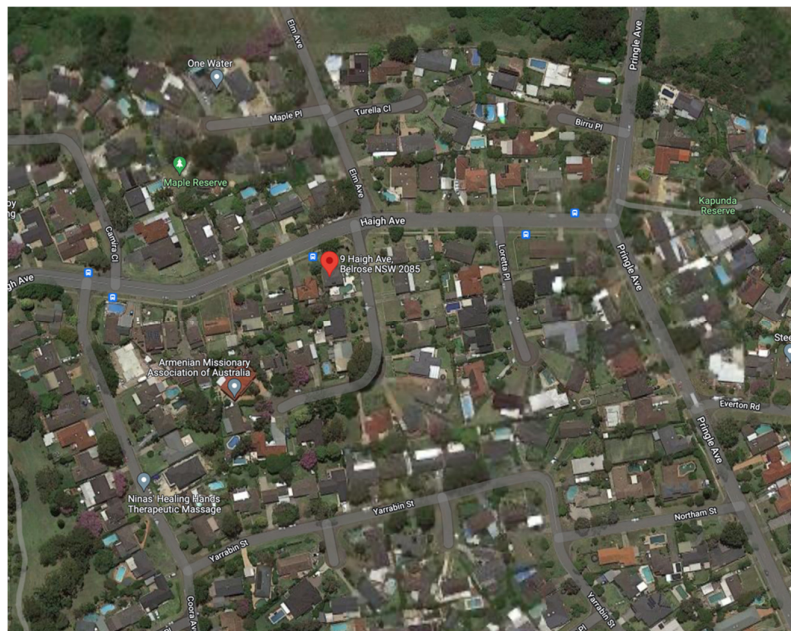
11. Conclusion

Having regard for all the above mentioned, we believe that this development will not have any adverse effect on the built or natural environment, is in accordance with the aims and objectives of WLEP2011 and WDCP2011, and therefore Council's favorable consideration is sought.

Statement of Environmental Effects Checklist for Buildings Class 1 and 10

	Proposed	Compliance with Planning Controls? Y/N	Additional Comments
Site area m ²	695.60m ²	Y	
Housing Density dwelling/m ²	1/600m ²	Y	
Max ceiling height above natural ground level	6.12m	Y	
Impervious area m ²	347.80m ²	Y	
Maximum building height m	8.12m	Y	
Front building setback m	9.16m(<i>unchanged</i>)	Y	
Rear building setback m	N/A		
Minimum side boundary setback	190mm	N	Carport
Building envelope	4m at 45°	Y	
Private open space m ²	62.29m ²	Y	
% of landscape open space %	347.80m ² or 50%	Y	
Maximum cut into ground m	150mm	Y	
Maximum depth of fill m	Nil	Y	
Number of car spaces provided	2	Y	

Site Photos



Satellite image of 9 Haigh Avenue Belrose



Subject property from the street located at 9 Haigh Avenue



View of vehicle access for subject property known as 9 Haigh Avenue from Castle Crescent



Adjoining property known as 11 Haigh Avenue Belrose



Adjoining property known as 16 Castle Crescent Belrose