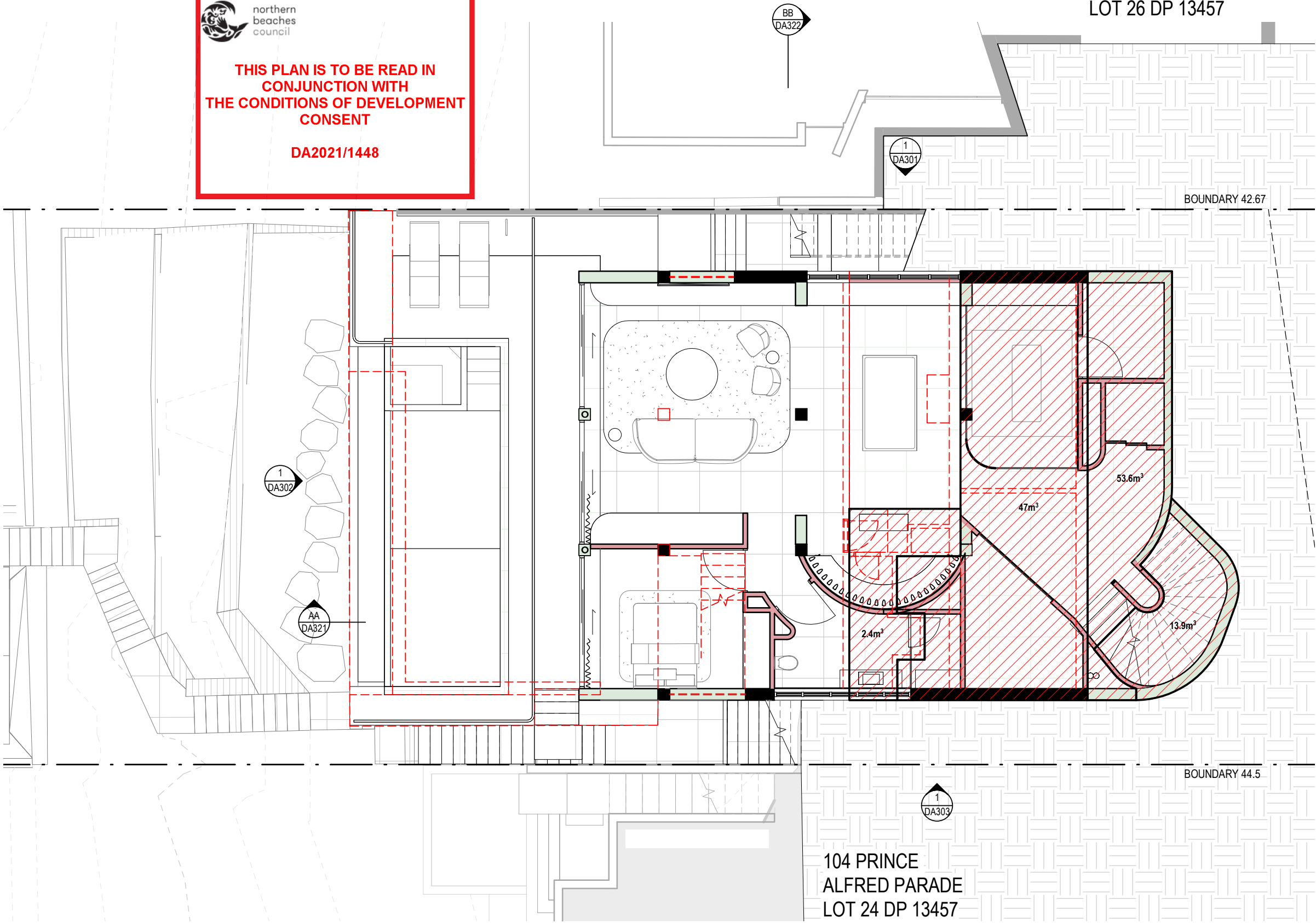


 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/1448**

108 PRINCE  
ALFRED PARADE  
LOT 26 DP 13457



**EXCAVATION KEY**

|                                                                                       |                        |
|---------------------------------------------------------------------------------------|------------------------|
|  | EXCAVATION             |
|  | DEMOLITION OF EXISTING |

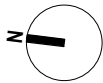
**EXCAVATION CALCULATION**

| EXCAVATION          |   |         |
|---------------------|---|---------|
| PROPOSED EXCAVATION |   |         |
| BASEMENT            |   | 116.9m³ |
| BACK FILL TOTAL     | = | Nil     |

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DEVELOPMENT APPLICATION  
EXCAVATION



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PROJECT

106 Prince Alfred Parade Newport - Lot  
25 DP13457

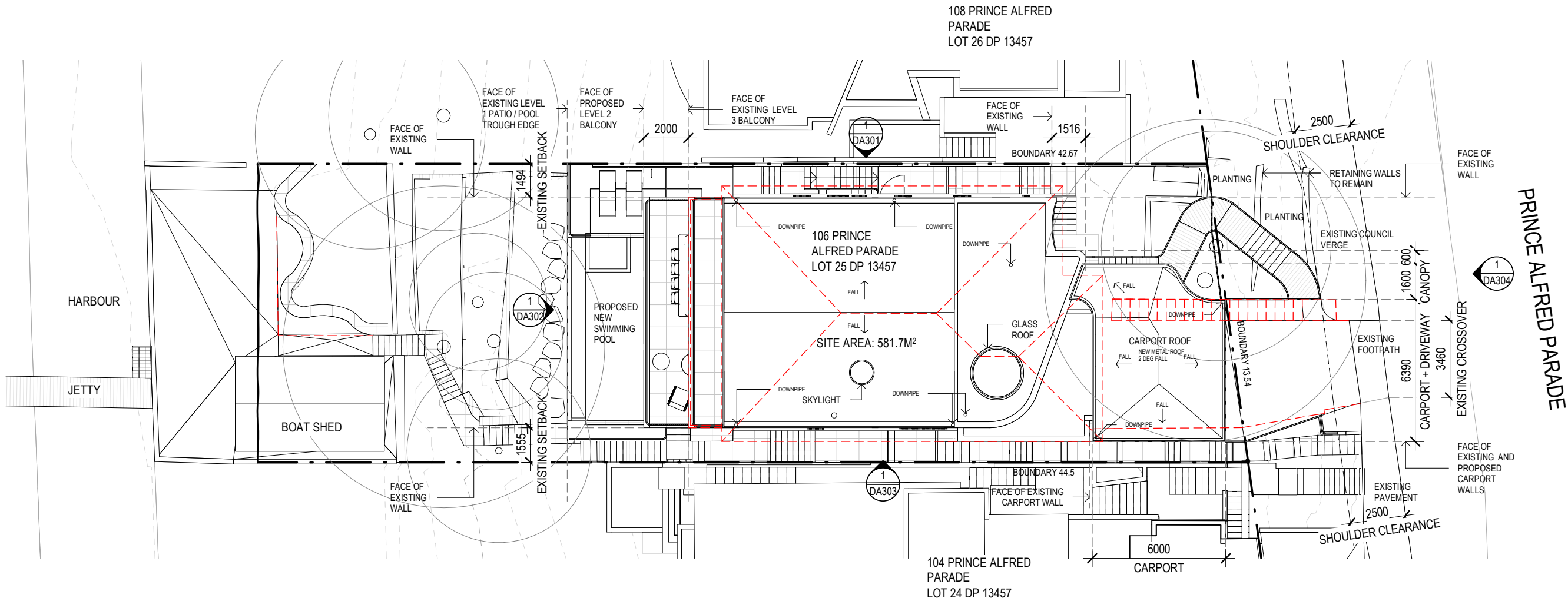
DRAWING

EXCAVATION

PROJECT NO. STAGE DWG NO. REV

196 DA002 A

Drawn: ES Scale: 1 : 100 @A3  
Checked: BS Date: 30.06.21



## BASIX

The applicant must install a rainwater tank of at least 1356 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The swimming pool must be outdoors  
The swimming pool must not have a capacity greater than 26 kilolitres  
The spa must not have a capacity greater than 2.3 kilolitres  
The applicant must install the following hot water system in the development: gas storage

**Insulation requirements**  
The applicant must construct the new or altered construction in accordance with the specification list below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists  
Concrete slab on ground floor – nil additional insulation required  
External wall: cavity brick – nil additional insulation required  
Flat ceiling, pitched roof – additional insulation ceiling: R2.50 (up), roof: foil/sarking  
- Other specifications medium (solar absorptance 0.475-0.70)  
Flat ceiling, flat roof: concrete/plasterboard internal – additional insulation ceiling: R2.50 (up), roof: none  
- Other specifications: light (solar absorptance <0.475)

**Windows and glazed doors glazing requirements**  
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table of page 6 of the BASIX report. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table of page 6 of the BASIX report.  
Overshadowing building or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.  
All windows to be improved aluminium, single clear (U-value: 6.44, SHGC: 0.75).  
Skylight 1 - timber frame, glass type - double clear/air fill (U-value: 4.3, SHGC: 0.5)  
Glazed Roof G1 - glass type improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)



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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/1448**

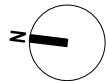
## KEY

--- BOUNDARY  
- - - DEMOLITION OF EXISTING

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## DEVELOPMENT APPLICATION SITE PLAN / ROOF PLAN



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### PROJECT

**106 Prince Alfred Parade Newport - Lot  
25 DP13457**

### DRAWING

**SITE PLAN / ROOF PLAN**

### PROJECT NO. STAGE DWG NO. REV

**196 DA101 A**

Drawn: ES Scale: 1:200 @A3  
Checked: BS Date: 30.06.21



northern  
beaches  
council

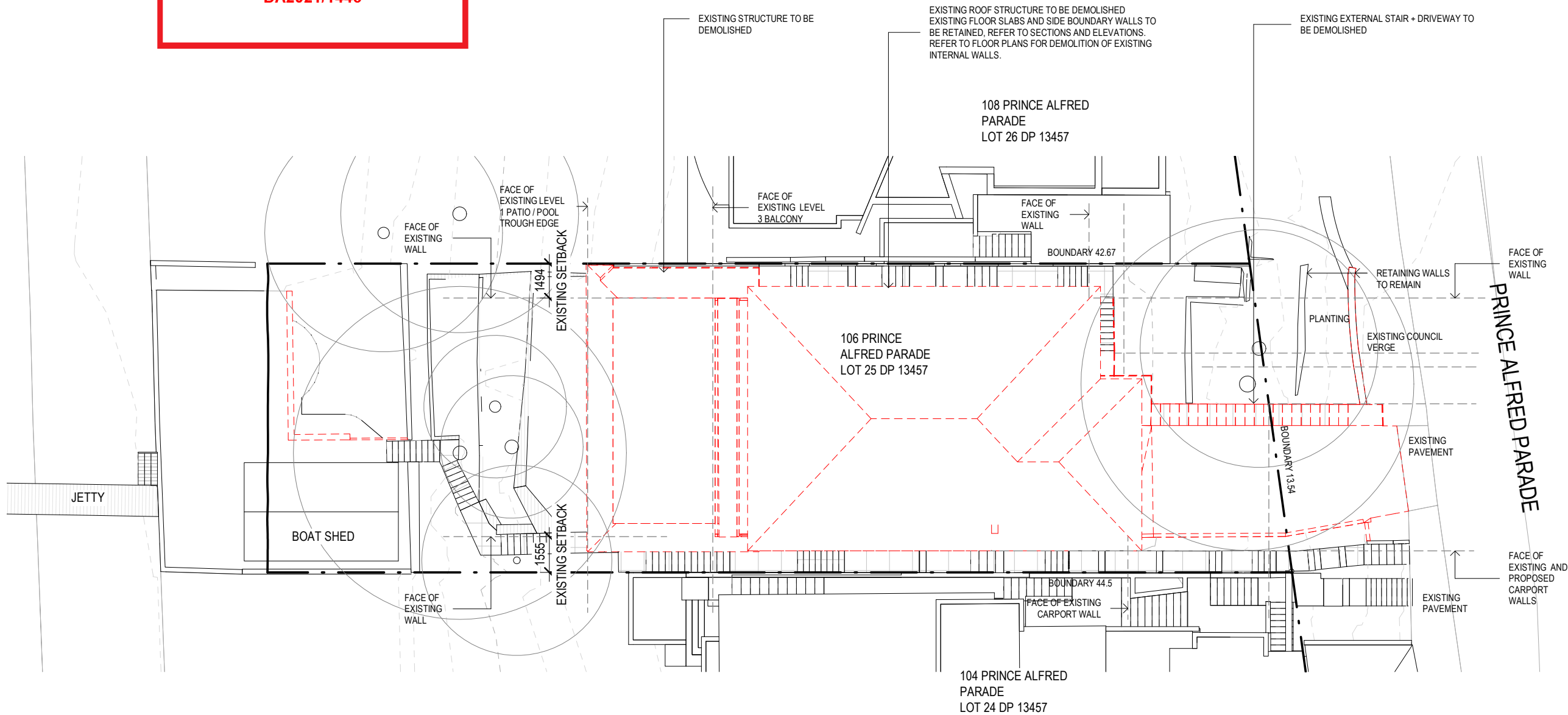
THIS PLAN IS TO BE READ IN  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2021/1448

LEGEND

---

EXISTING ELEMENT TO BE DEMOLISHED



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| DATE     | REV | AMENDMENT                       |
|----------|-----|---------------------------------|
| 21.11.09 | A   | REVISED AMENDMENTS FROM COUNCIL |

PROJECT

106 Prince Alfred Parade Newport - Lot 25 DP13457

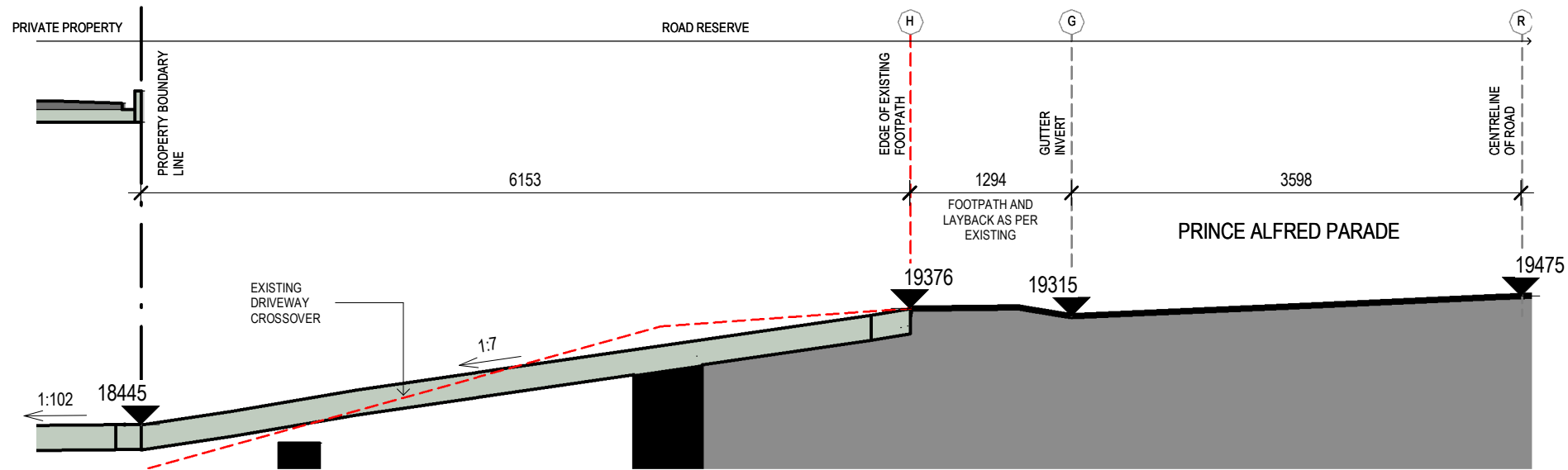
DRAWING

DEMOLITION GARAGE & ROOF

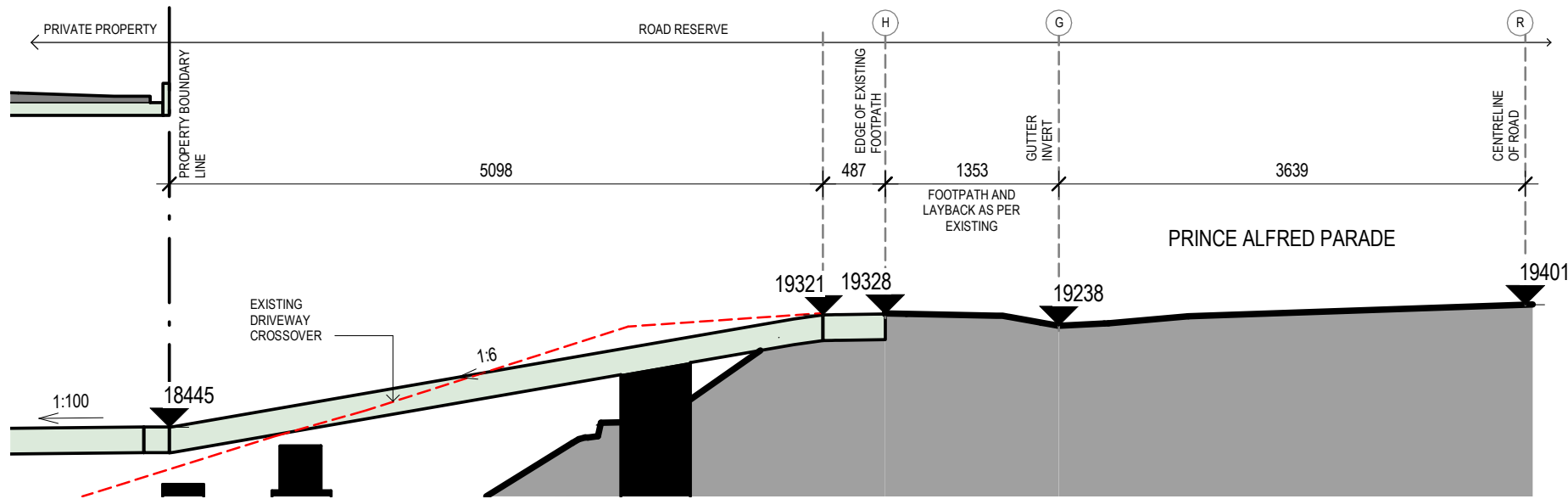
| PROJECT NO. | STAGE | DWG NO. | REV |
|-------------|-------|---------|-----|
| 196         | DA110 | A       |     |



|          |    |        |           |
|----------|----|--------|-----------|
| Drawn:   | ES | Scale: | 1:200 @A3 |
| Checked: | BS | Date:  | 30.06.21  |



1 DRIVEWAY SECTION 01 1:50



2 DRIVEWAY SECTION 02 1:50

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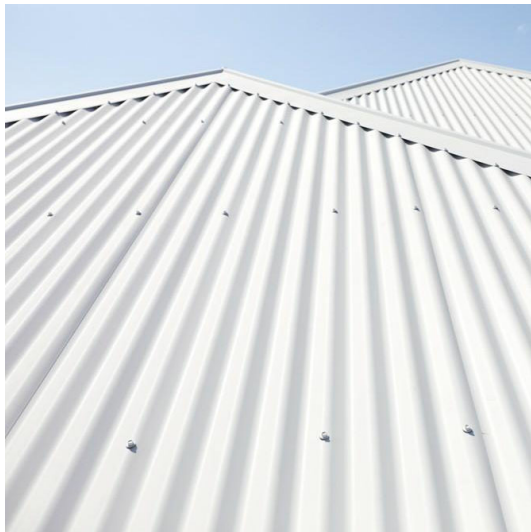
GENERAL NOTES

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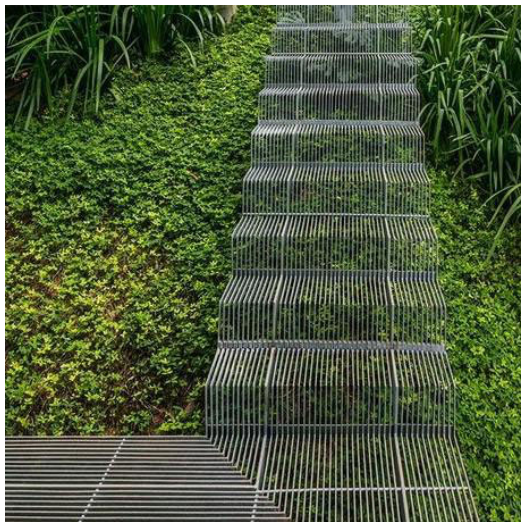
RIVERSTONE PEBBLE BALLAST  
TO CONCRETE ROOF



METAL DECK  
TO ROOF WHERE NOTED



BRICK  
TO CEILING + WALLS  
WHERE NOTED



OPEN METAL  
TO ENTRY PATH



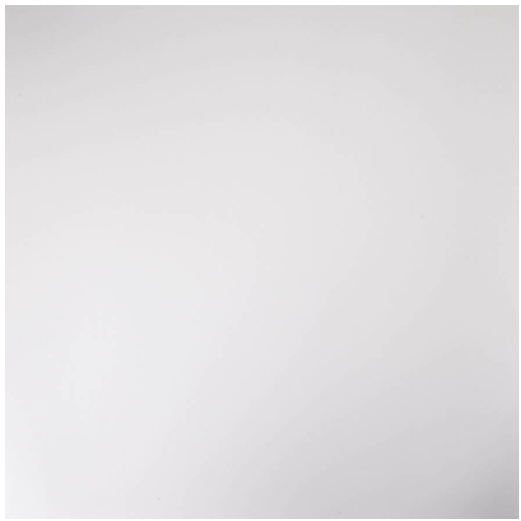
CRAZY PAVE  
FLOOR FINISH



STONE CLADDING  
RETAINING WALLS WHERE NOTED



CEMENT RENDER  
WALL FINISH WHERE NOTED



POWDERCOAT ALUMINIUM  
DOORS AND WINDOWS



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DEVELOPMENT APPLICATION  
MATERIAL BOARD

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PROJECT

106 Prince Alfred Parade Newport - Lot  
25 DP13457

DRAWING

MATERIAL BOARD

PROJECT NO. STAGE DWG NO. REV

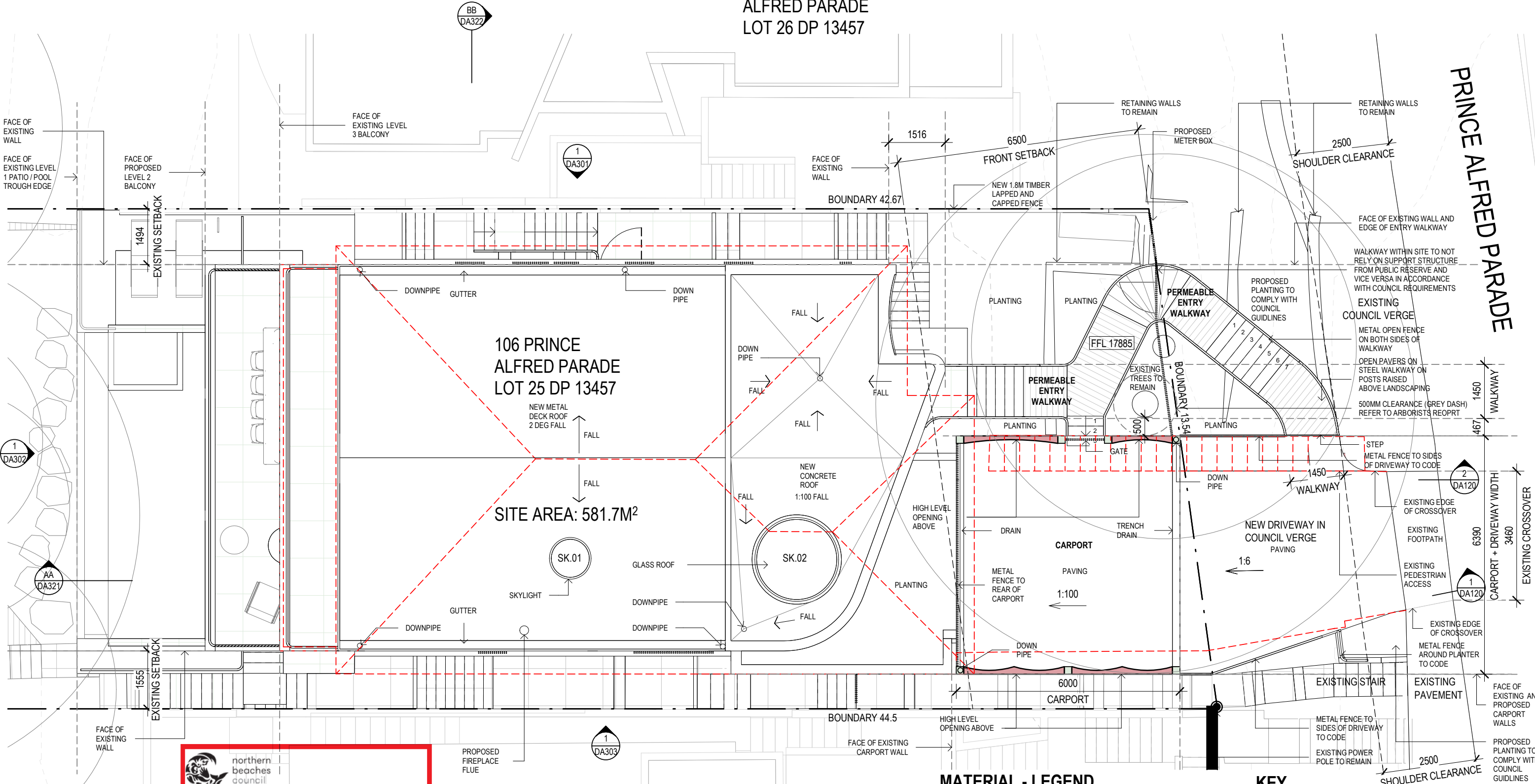
196 DA121 A

Drawn: ES Scale:  
Checked: BS Date: 30.06.21



108 PRINCE  
ALFRED PARADE  
LOT 26 DP 13457

PRINCE ALFRED PARADE



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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/1448**

104 PRINCE  
ALFRED PARADE  
LOT 24 DP 13457

**MATERIAL - LEGEND**

|  |               |  |               |
|--|---------------|--|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

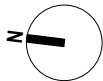
**KEY**

|  |                               |
|--|-------------------------------|
|  | BOUNDARY                      |
|  | DEMOLITION OF EXISTING        |
|  | EXISTING WALLS TO BE RETAINED |

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**DEVELOPMENT APPLICATION**  
LEVEL 4 CARPORT AND  
ROOF PLAN



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**PROJECT**

**106 Prince Alfred Parade Newport - Lot  
25 DP13457**

**DRAWING**

**LEVEL 4 CARPORT AND ROOF PLAN**

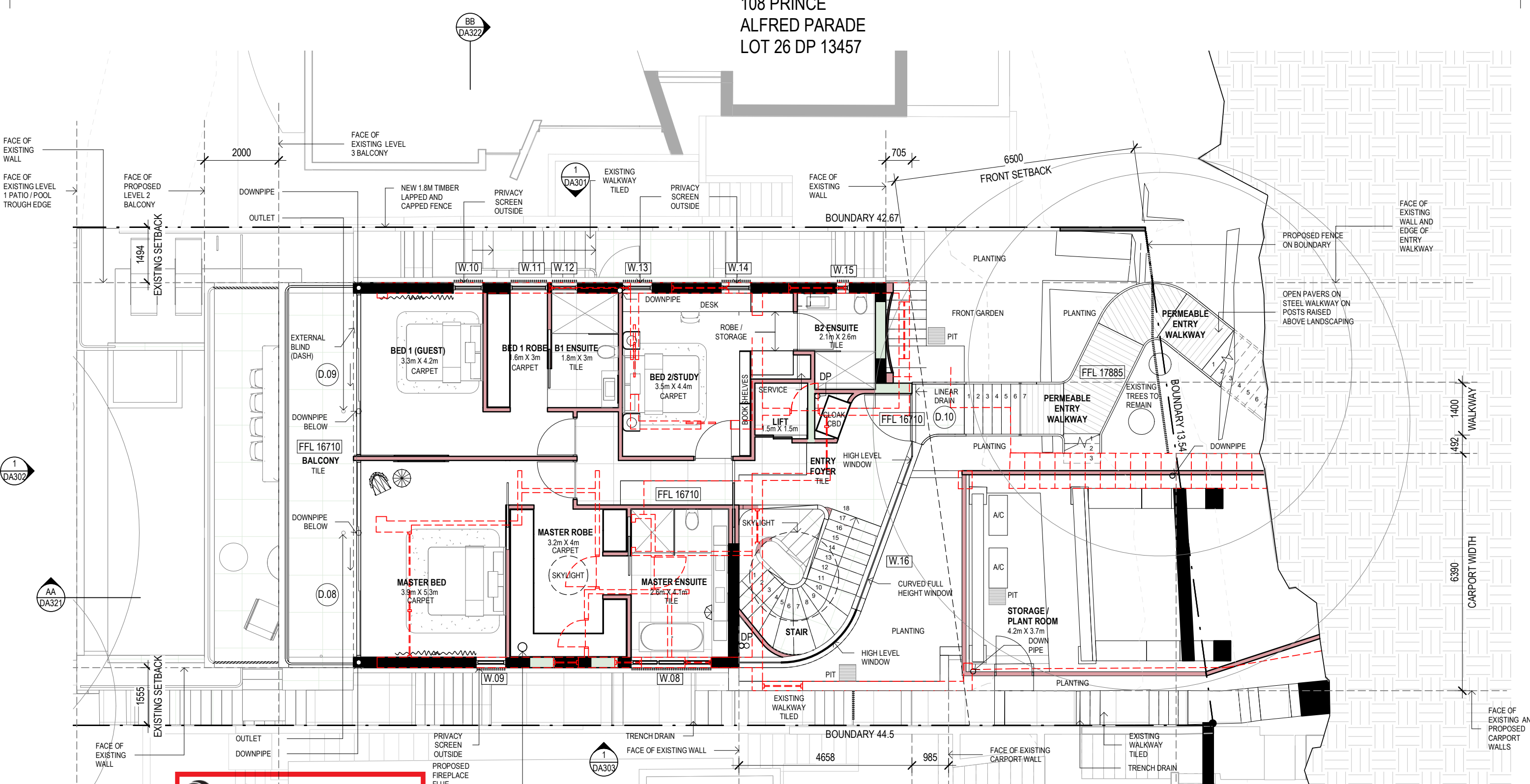
**PROJECT NO. STAGE DWG NO. REV**

**196 DA200 A**

Drawn: ES, AI Scale: 1 : 100 @A3

Checked: BS Date: 30.06.21

108 PRINCE  
ALFRED PARADE  
LOT 26 DP 13457



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**DA2021/1448**

104 PRINCE  
ALFRED PARADE  
LOT 24 DP 13457

**MATERIAL - LEGEND**

|  |               |  |               |
|--|---------------|--|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

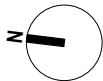
**KEY**

|  |                               |
|--|-------------------------------|
|  | BOUNDARY                      |
|  | DEMOLITION OF EXISTING        |
|  | EXISTING WALLS TO BE RETAINED |

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**DEVELOPMENT APPLICATION**  
LEVEL 3 BEDROOMS PLAN



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**PROJECT**

106 Prince Alfred Parade Newport - Lot 25 DP13457

**DRAWING**

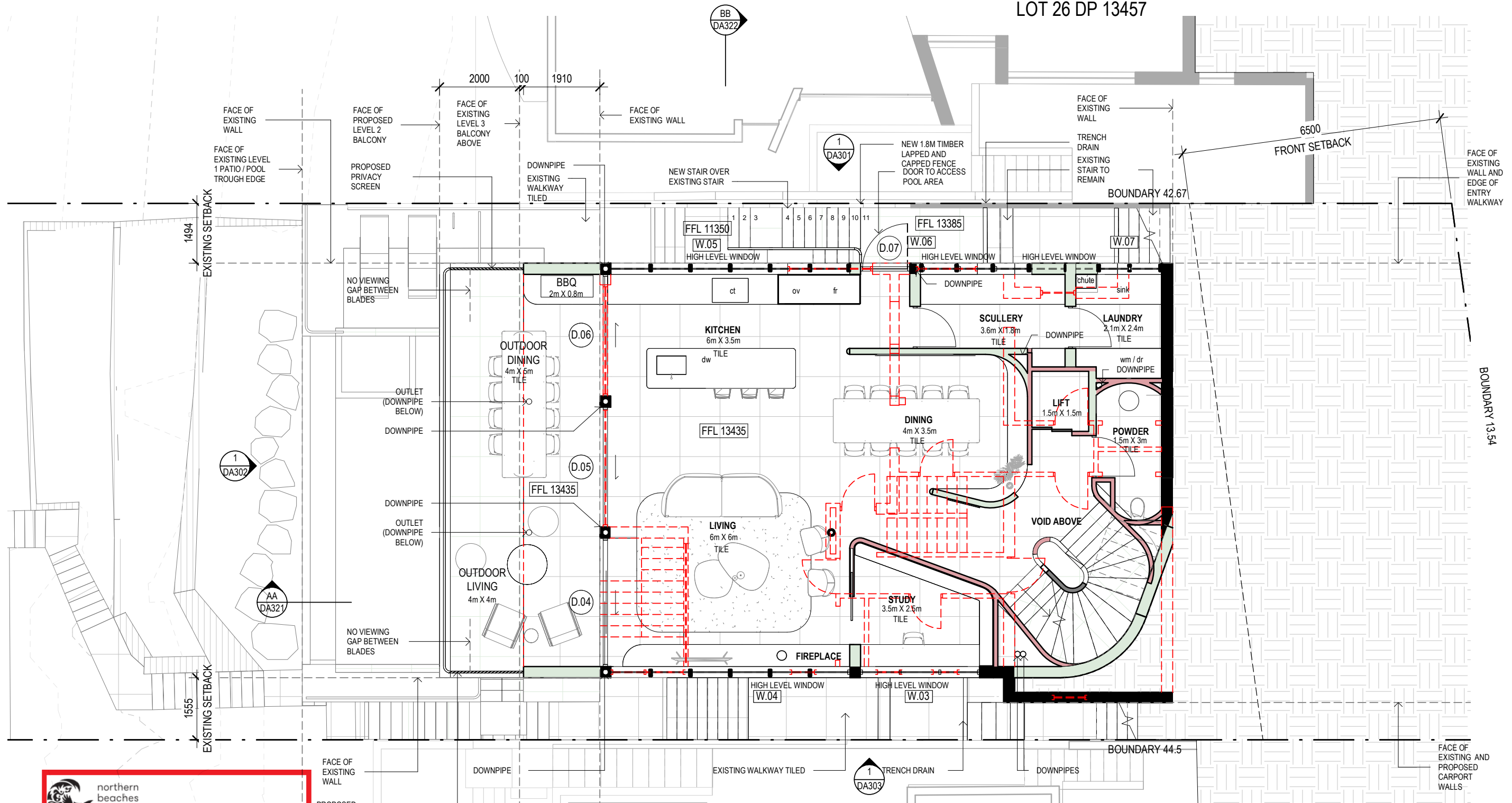
LEVEL 3 BEDROOMS PLAN

**PROJECT NO. STAGE DWG NO. REV**

196 DA201 A

Drawn: ES  
Checked: BS

Scale: 1 : 100 @A3  
Date: 30.06.21



MATERIAL - LEGEND

|  |               |  |               |
|--|---------------|--|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

KEY

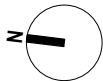
|  |                               |
|--|-------------------------------|
|  | BOUNDARY                      |
|  | DEMOLITION OF EXISTING        |
|  | EXISTING WALLS TO BE RETAINED |

northern beaches council

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**DA2021/1448**

104 PRINCE  
ALFRED PARADE  
LOT 24 DP 13457



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PROJECT

106 Prince Alfred Parade Newport - Lot 25 DP13457

DRAWING

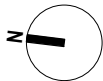
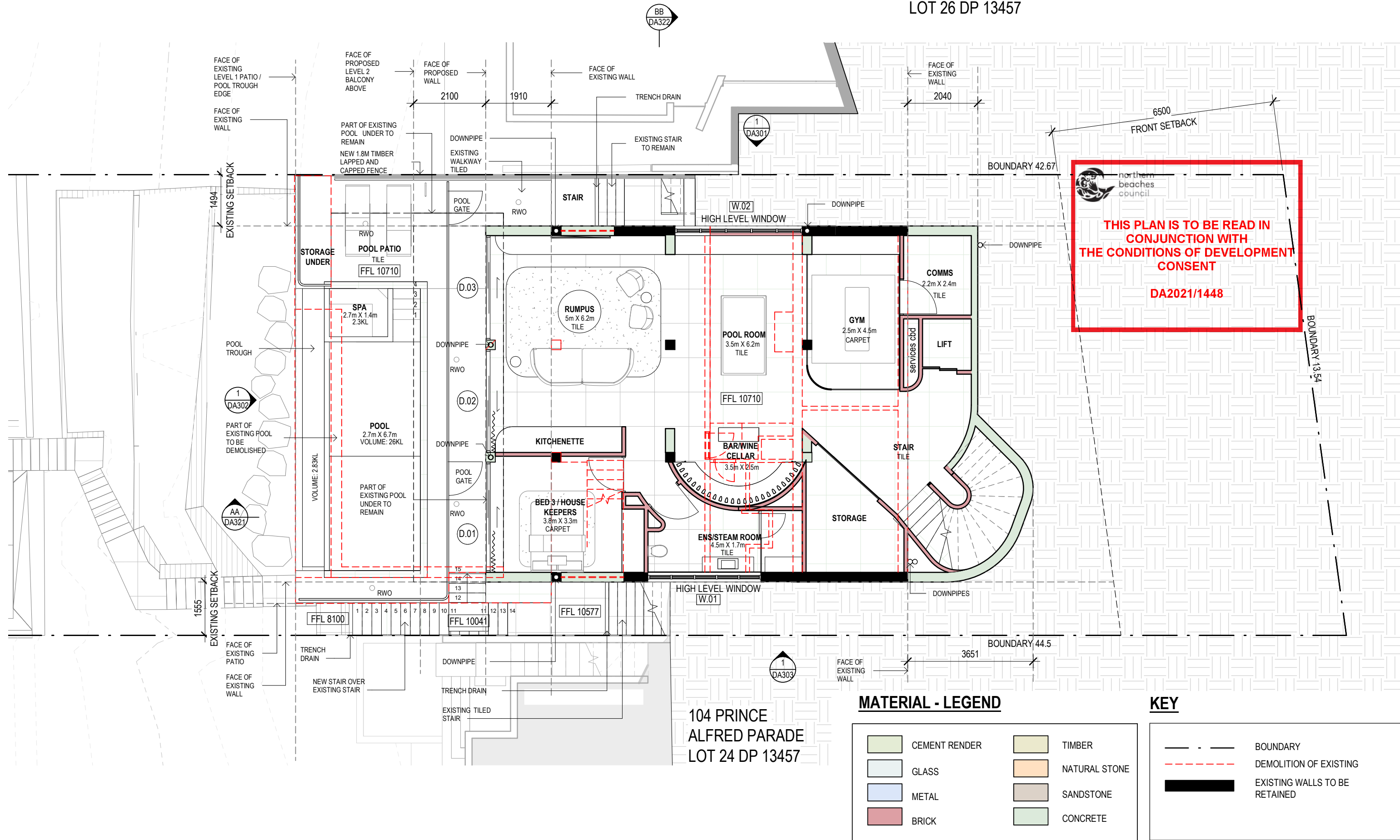
LEVEL 2 LIVING PLAN

PROJECT NO. STAGE DWG NO. REV

196 DA202 A

Drawn: ES Scale: 1:100 @A3  
Checked: BS Date: 30.06.21





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PROJECT

106 Prince Alfred Parade Newport - Lot  
25 DP13457

DRAWING

LEVEL 1 RUMPUS PLAN

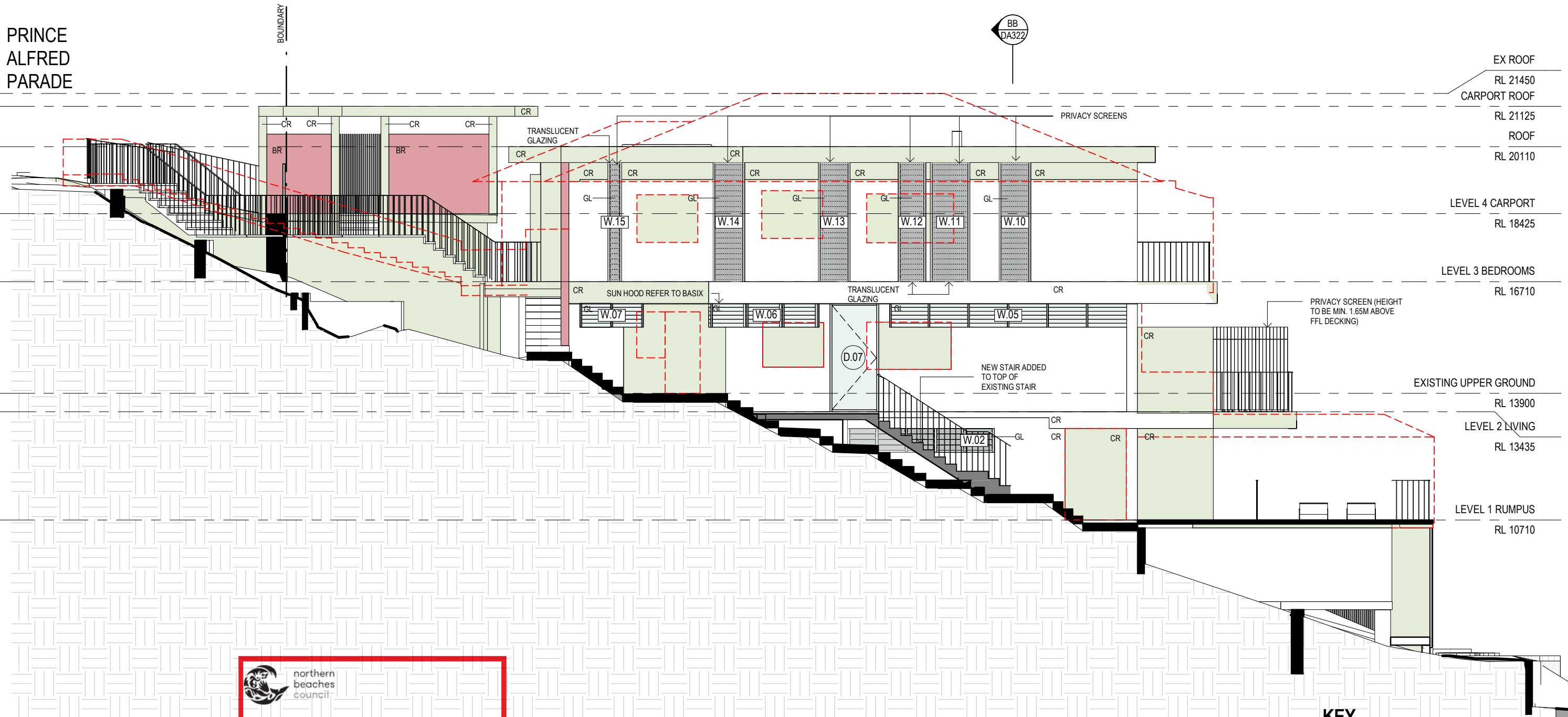
PROJECT NO. STAGE DWG NO. REV

196 DA203 A

Drawn: ES  
Checked: BS

Scale: 1 : 100 @A3  
Date: 30.06.21

PRINCE  
ALFRED  
PARADE



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beaches  
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CONSENT**

**DA2021/1448**

**KEY**

|                                                                                       |                        |
|---------------------------------------------------------------------------------------|------------------------|
|  | BOUNDARY               |
|  | DEMOLITION OF EXISTING |

**MATERIAL - LEGEND**

CR - CEMENT RENDER  
GL - GLASS  
BR - BRICK WALL  
MT - METAL  
TM - TIMBER  
ST - STONE  
CN - CONCRETE

|                                                                                       |               |                                                                                       |               |
|---------------------------------------------------------------------------------------|---------------|---------------------------------------------------------------------------------------|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

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**DEVELOPMENT APPLICATION  
EAST ELEVATION**

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**PROJECT**

**106 Prince Alfred Parade Newport - Lot  
25 DP13457**

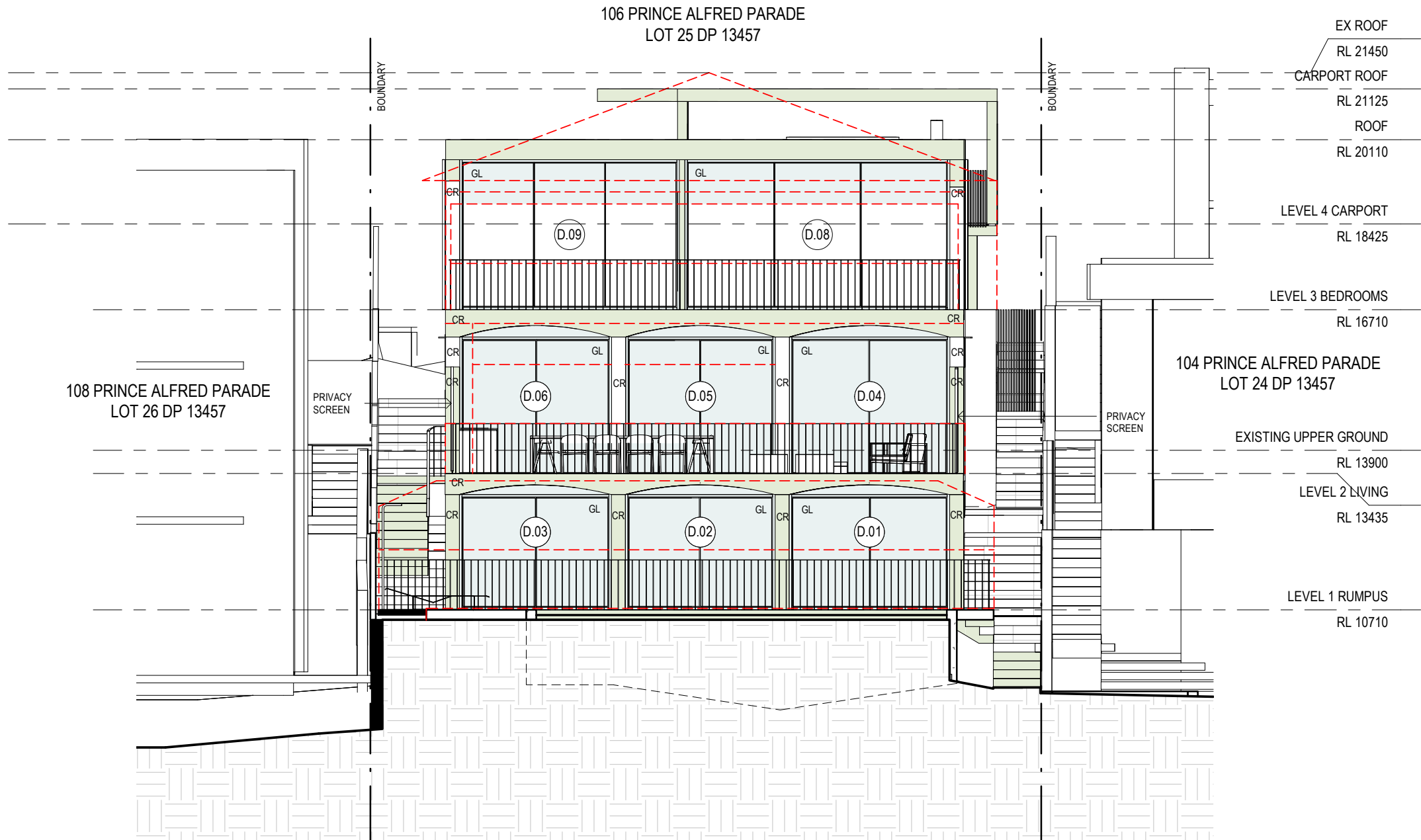
**DRAWING**

**EAST ELEVATION**

**PROJECT NO. STAGE DWG NO. REV**

**196 DA301 A**

Drawn: ES Scale: 1 : 100 @A3  
Checked: BS Date: 11.06.21



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DEVELOPMENT APPLICATION  
NORTH ELEVATION

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PROJECT

106 Prince Alfred Parade Newport - Lot  
25 DP13457

DRAWING

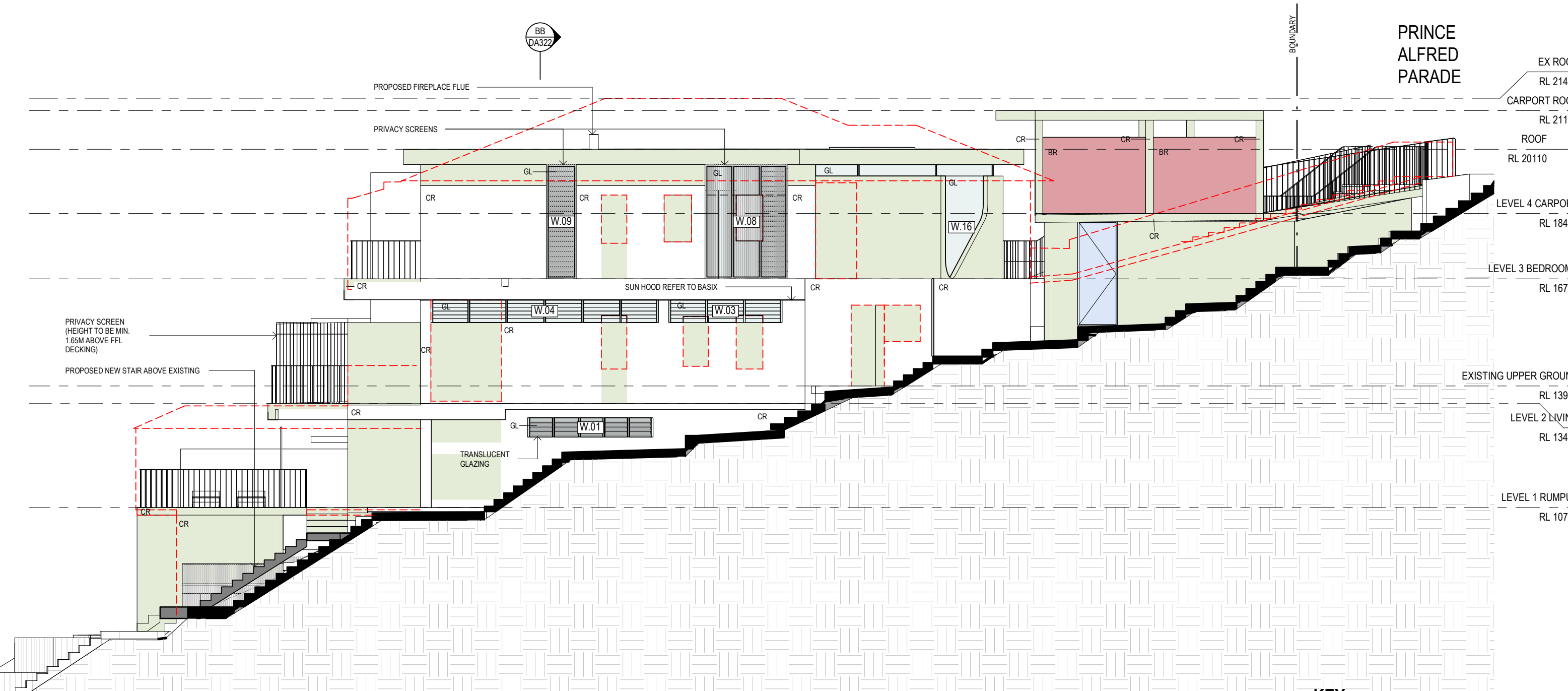
NORTH ELEVATION

PROJECT NO. STAGE DWG NO. REV

196 DA302 A

Drawn: ES Scale: 1 : 100 @A3  
Checked: BS Date: 30.06.21





 northern  
beaches  
council

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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/1448**

#### KEY

- BOUNDARY
- - - DEMOLITION OF EXISTING

#### MATERIAL - LEGEND

CR - CEMENT RENDER  
GL - GLASS  
BR - BRICK WALL  
MT - METAL  
TM - TIMBER  
ST - STONE  
CN - CONCRETE

|                                                                                       |               |                                                                                       |               |
|---------------------------------------------------------------------------------------|---------------|---------------------------------------------------------------------------------------|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

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#### DEVELOPMENT APPLICATION WEST ELEVATION

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#### PROJECT

**106 Prince Alfred Parade Newport - Lot  
25 DP13457**

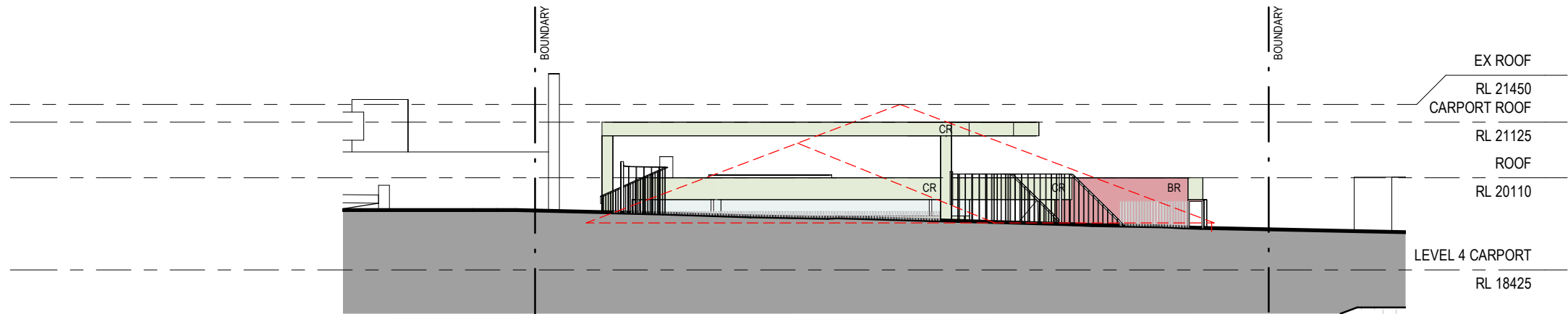
#### DRAWING

**WEST ELEVATION**

#### PROJECT NO. STAGE DWG NO. REV

**196 DA303 A**

Drawn: ES Scale: 1 : 100 @A3  
Checked: BS Date: 11.06.21



1 SOUTH ELEVATION - STREET  
1:100

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beaches  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/1448**

#### KEY

|                                                                                       |                        |
|---------------------------------------------------------------------------------------|------------------------|
|  | BOUNDARY               |
|  | DEMOLITION OF EXISTING |

#### MATERIAL - LEGEND

CR - CEMENT RENDER  
GL - GLASS  
BR - BRICK WALL  
MT - METAL  
TM - TIMBER  
ST - STONE  
CN - CONCRETE

|                                                                                       |               |                                                                                       |               |
|---------------------------------------------------------------------------------------|---------------|---------------------------------------------------------------------------------------|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

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#### DEVELOPMENT APPLICATION SOUTH ELEVATION

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#### PROJECT

**106 Prince Alfred Parade Newport - Lot  
25 DP13457**

#### DRAWING

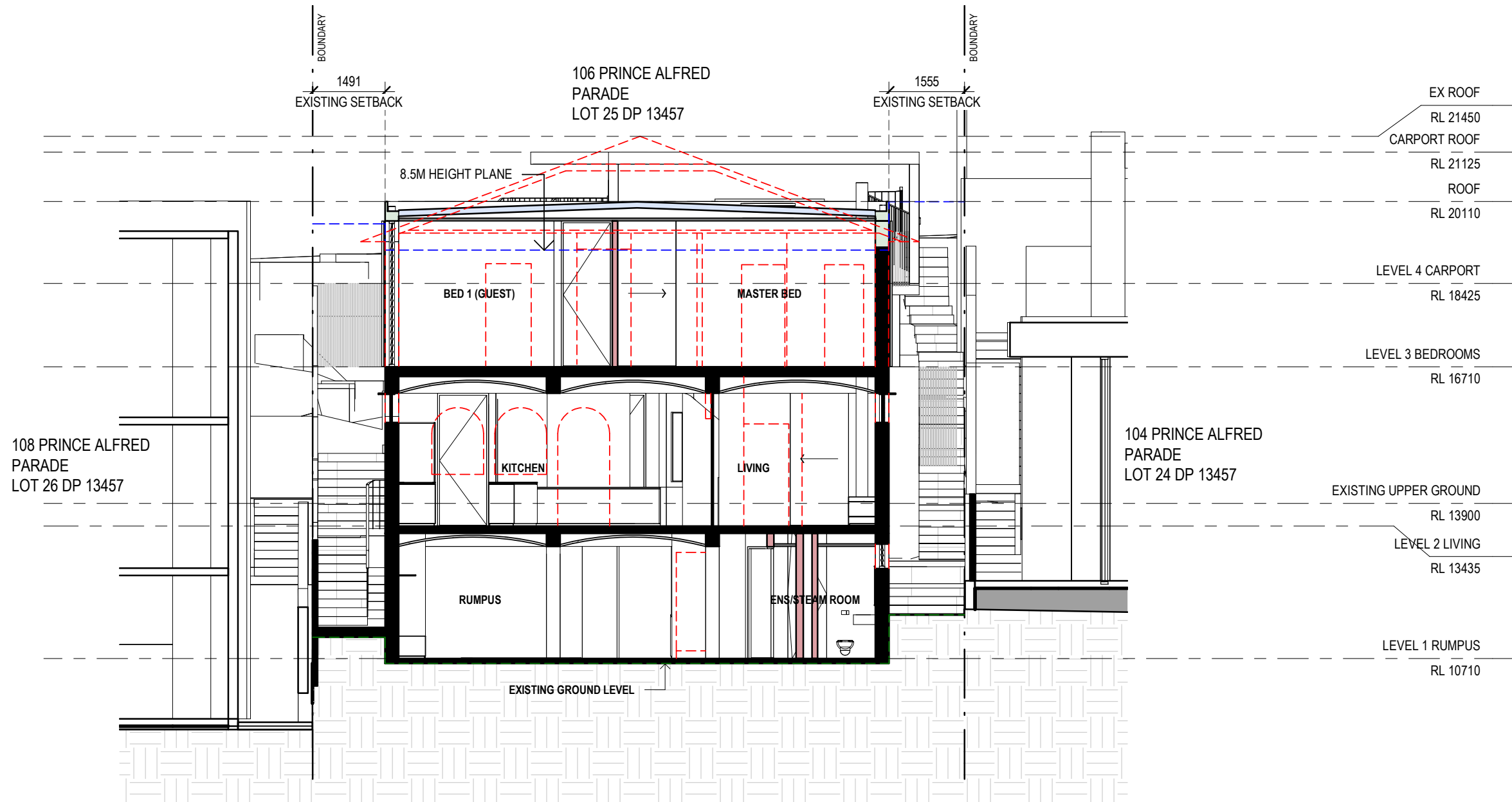
**SOUTH ELEVATION**

#### PROJECT NO. STAGE DWG NO. REV

**196 DA304 A**

Drawn: ES Scale: 1:100 @A3  
Checked: BS Date: 30.06.21





 northern  
beaches  
council

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CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/1448**

### MATERIAL - LEGEND

CR - CEMENT RENDER  
GL - GLASS  
BR - BRICK WALL  
MT - METAL  
TM - TIMBER  
ST - STONE  
CN - CONCRETE

|                                                                                       |               |                                                                                       |               |
|---------------------------------------------------------------------------------------|---------------|---------------------------------------------------------------------------------------|---------------|
|  | CEMENT RENDER |  | TIMBER        |
|  | GLASS         |  | NATURAL STONE |
|  | METAL         |  | SANDSTONE     |
|  | BRICK         |  | CONCRETE      |

### KEY

|                                                                                       |                         |
|---------------------------------------------------------------------------------------|-------------------------|
|  | DEMOLITION OF EXISTING  |
|  | LEP HEIGHT PLANE        |
|  | EXISTING GROUND LEVEL   |
|  | BOUNDARY                |
|  | EXISTING TO BE RETAINED |

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**DEVELOPMENT APPLICATION**  
SECTION - BB - PROPOSED

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#### PROJECT

**106 Prince Alfred Parade Newport - Lot 25 DP13457**

#### DRAWING

**SECTION - BB - PROPOSED**

#### PROJECT NO. STAGE DWG NO. REV

**196 DA322 A**

Drawn: ES Scale: 1 : 100 @A3  
Checked: BS Date: 30.06.21