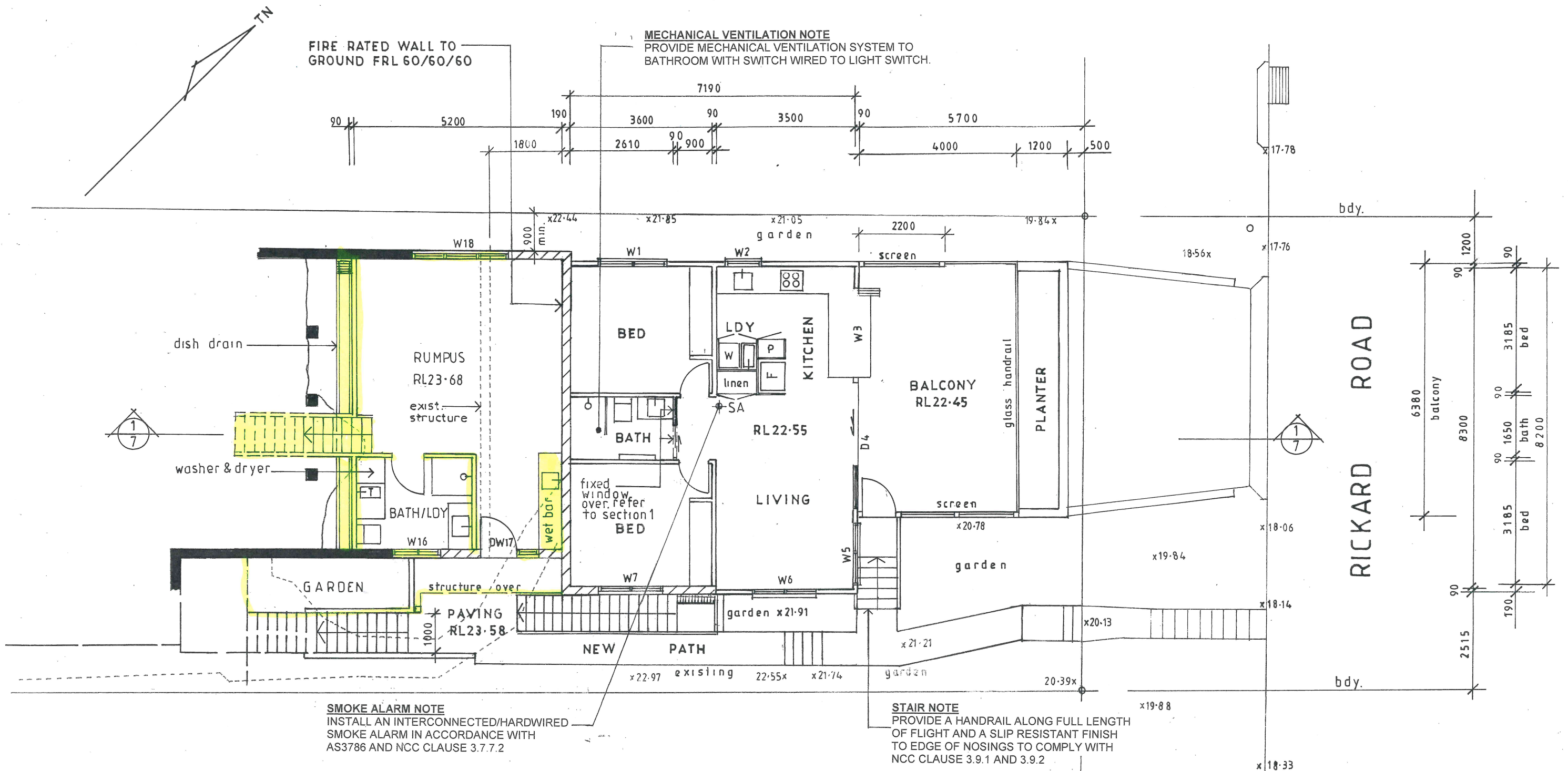




LEVEL 2 PLAN - SECONDARY DWELLING

Secondary Dwelling Window & Door Schedule

All windows and doors to be aluminium framed

Legend	Height x Width	Description	U-Value	SHGC
W1	1200 x 1800	Sliding window	5.4	0.522 - 0.638
W2	1200 x 900	Opaque awning window	5.4	0.441 - 0.539
W3	1500 x 2200	Bifold servery windows	5.4	0.441 - 0.539
D4	2400 x 3200	Stacking glass doors	5.4	0.522 - 0.638
W5	1200 x 1500	Sliding window	5.4	0.522 - 0.638
W6	750 x 1600	Opaque glass louvres	5.4	0.522 - 0.638
W7	1200 x 1800	Sliding window	5.4	0.522 - 0.638

Skylight Note

S01 to be 1m2 maximum in area & glazed to achieve a total system U-value:4.5,SHGC:0.61

Rumpus Room Window & Door Schedule

All windows and doors to be aluminium framed

Legend	Height x Width	Description	U-Value	SHGC
W16	1200 x 1200	Sliding window	6.44	0.75
DW17	2100 x 1500	Glass door & sidelite	6.44	0.75
W18	1200 x 2400	Sliding windows	6.44	0.75



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0274

Issue	Date	Revision
A	10-2-22	Garage access stairs relocated Secondary Dwelling moved 115mm to the northwest. Entry path and southwest border garden reduced in width.
B	3-5-23	Usage of approved storeroom changed to rumpus room with Bathroom/laundry and wet bar. Internal stair to upper floor level added. Windows and door revised to suit new layout.



John Wright

NETWORK DESIGN

a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

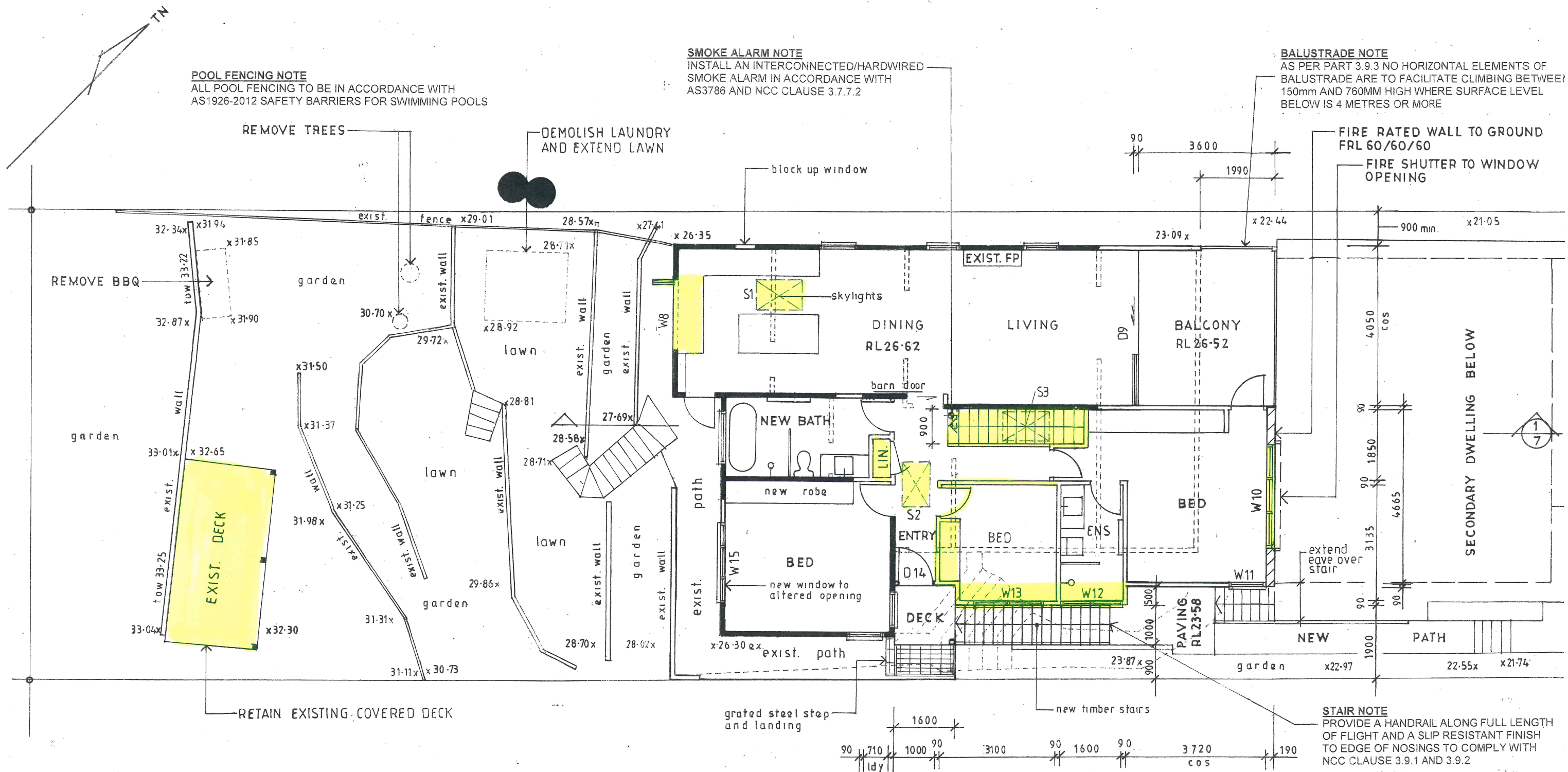
ALTERATIONS & ADDITIONS INCLUDING SECONDARY DWELLING

129 RICKARD ROAD
NORTH NARRABEEN LOT 71 DP16212

CLIENT
JACOB CHAPPLE AND SOPHIRE WRIGHT

LEVEL 2 PLAN - SECONDARY DWELLING

DATE	DRAWN	DRG. NO.
JULY 2021	J.WRIGHT	07-21-RIC
SCALE	ISSUE:	SHEET NO.
1:100	SECT. 4.55	2 B



LEVEL 3 PLAN-EXISTING RESIDENCE

Window & Door Schedule

All windows and doors to be aluminium framed unless noted otherwise

Legend	Height x Width	Description	U-Value	SHGC
W8	1500 x 1800	Bifold glass windows	6.44	0.75
D9	2400 x 4000	Stacking glass doors	6.44	0.75
W10	1400 x 2700	Awning windows	6.44	0.75
W11	1400 x 900	Awning window	6.44	0.75
W12	750 x 1600	Glass louvres	6.44	0.75
W13	1200 x 1800	Sliding window	6.44	0.75
D14	2100 x 900	Recycled timber entry door	6.44	0.75
W15	1500 x 2100	Sliding window	6.44	0.75

Skylight Note

S1-S3 to be 1.2m² maximum in area & glazed to achieve a total system U-value:4.3,SHGC:0.5



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0274



John Wright

NETWORK DESIGN

a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

ALTERATIONS & ADDITIONS INCLUDING SECONDARY DWELLING

129 RICKARD ROAD
NORTH NARRABEEN LOT 71 DP16212

CLIENT

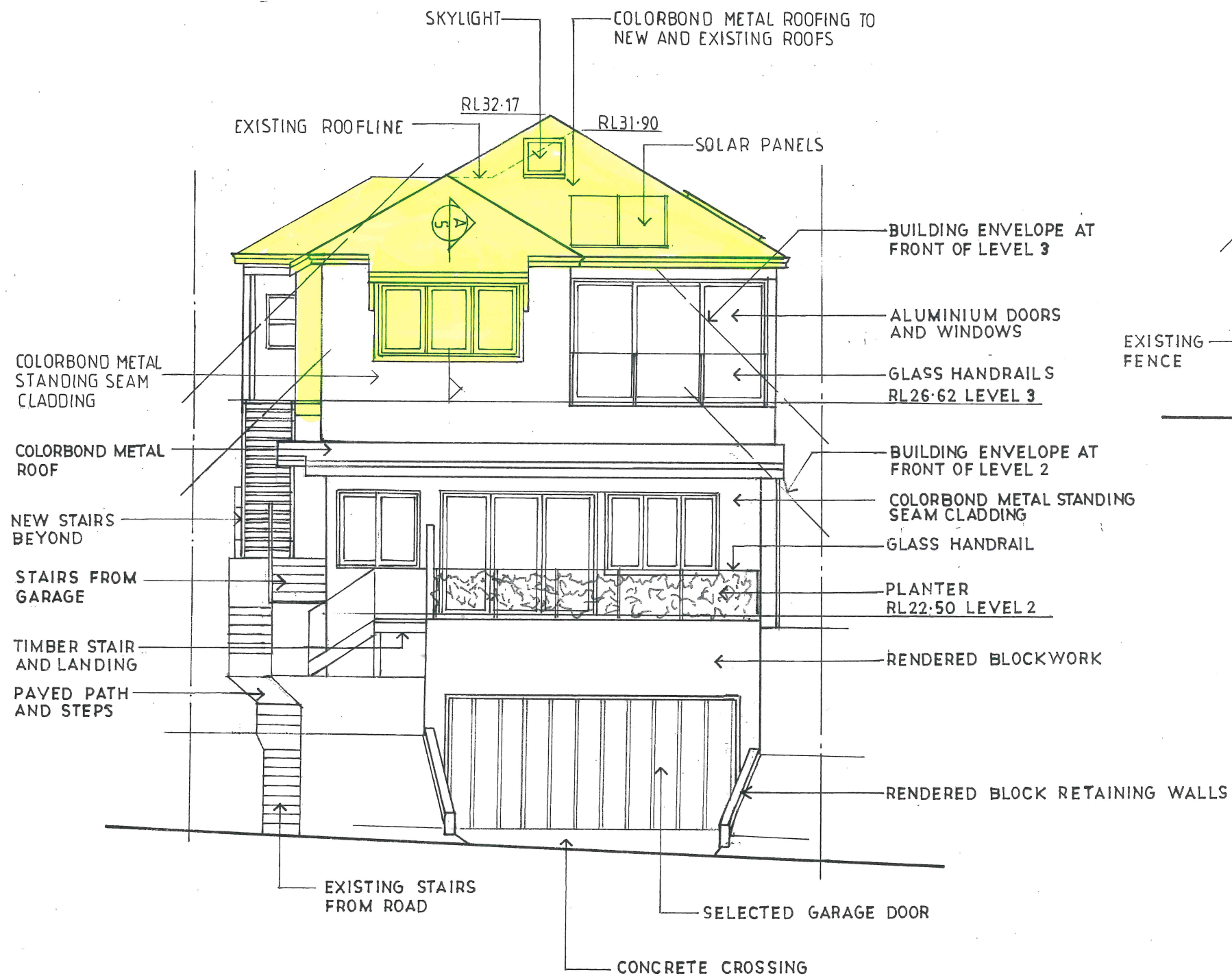
JACOB CHAPPLE AND SOPHIE WRIGHT

LEVEL 3 PLAN - EXISTING RESIDENCE

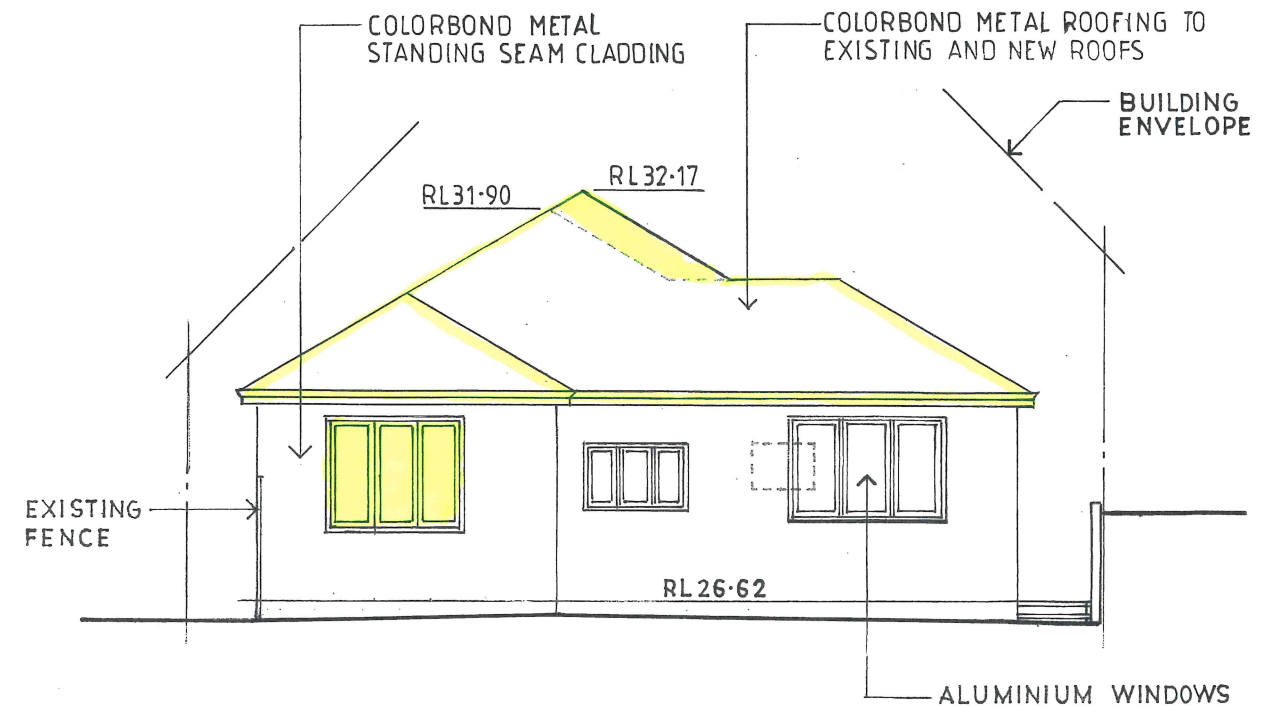
DATE	DRAWN	DRG. NO.
JULY 2021	J.WRIGHT	07-21-RIC
SCALE	ISSUE:	SHEET NO.
1:100	SECT. 4.55	3 B

Issue Date

Issue	Date	Revision
A	10-2-22	Approved earthworks and retaining walls to rear yard deleted. Stairs to rear yard revised. Pool relocated.
B	3-5-23	Internal stair to lower floor level added. Ensuite and adjoining small bedroom extended to new external entry stair. Kitchen revised and D9 changed to window W8. W10 relocated to centre of wall. Pool deleted and existing covered deck in rear yard retained.



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2023/0274

Issue	Date	Revision
A	10-2-22	Revised to suit changes noted on Sheet 1 and 2.
B	3-5-23	Existing hipped roof form to primary residence retained and extended to suit additions. Level 3 structure extended to new entry stair. Windows and doors revised to suit changes noted on Sheets 2 and 3.



John Wright

NETWORK DESIGN

a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

**ALTERATIONS & ADDITIONS INCLUDING
SECONDARY DWELLING**

129 RICKARD ROAD

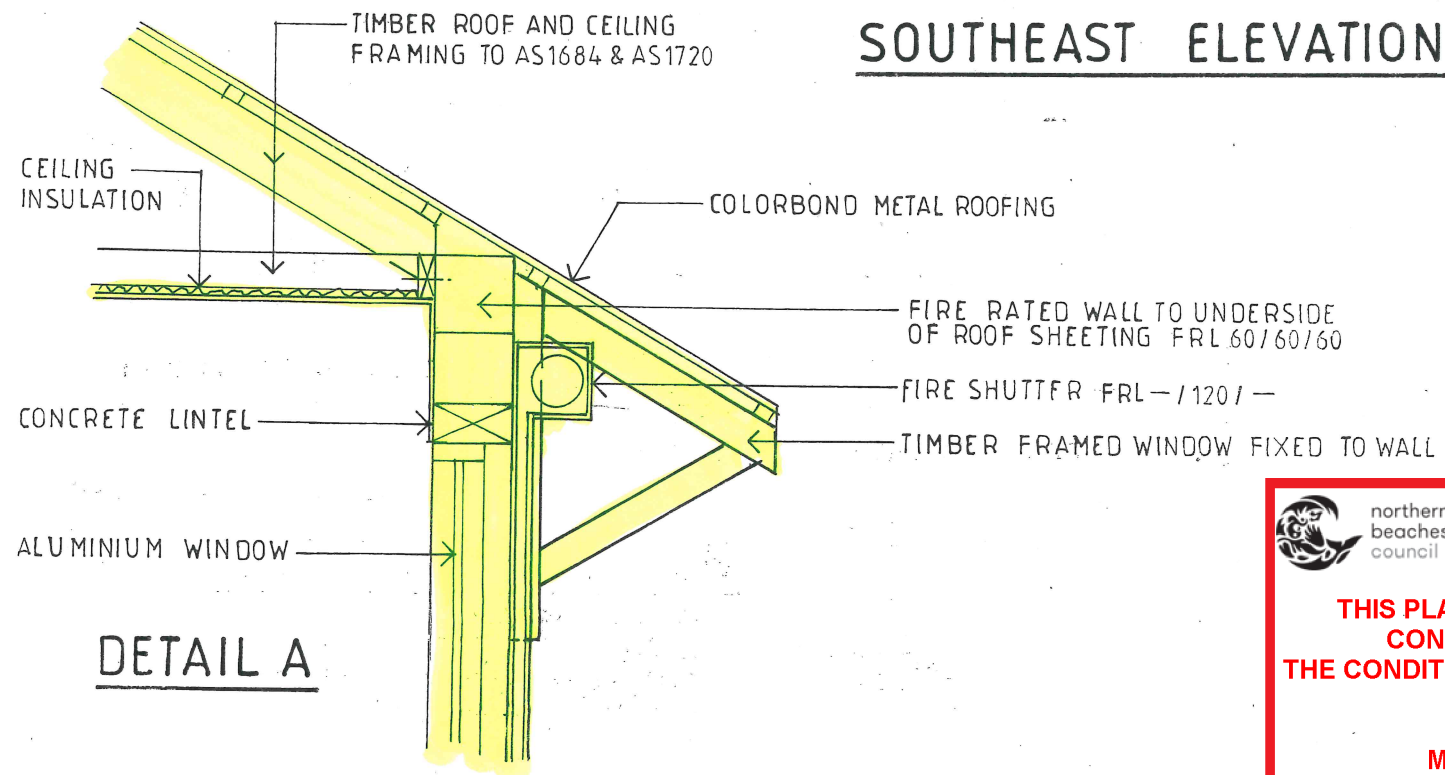
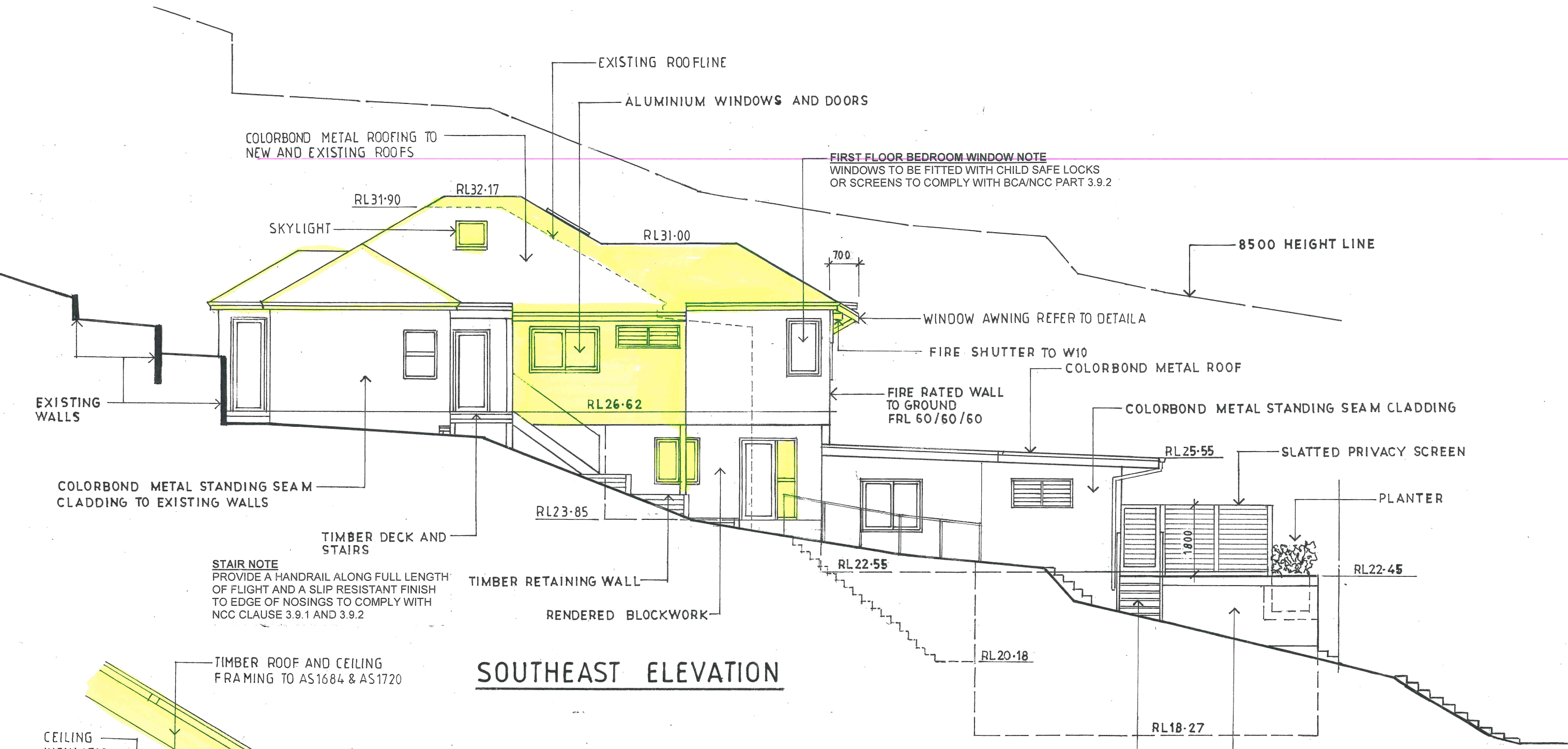
NORTH NARRABEEN LOT 71 DP16212

CLIENT

JACOB CHAPPLE AND SOPHIRE WRIGHT

NORTHEAST AND SOUTHWEST ELEVATION

DATE	DRAWN	DRG. NO.
JULY 2021	J.WRIGHT	07-21-RIC
SCALE	ISSUE:	SHEET NO.
1:100	SECT.4.55	4.B



SOUTHEAST ELEVATION

Issue	Date	Revision
A	10-2-22	Revised to suit changes noted on Sheets 1 - 3.
B	3-5-23	Existing hipped roof form to primary residence retained and extended to suit additions. Level 3 structure extended to new entry stair. Windows and doors revised to suit changes noted on Sheets 2 and 3. Detail A added.

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

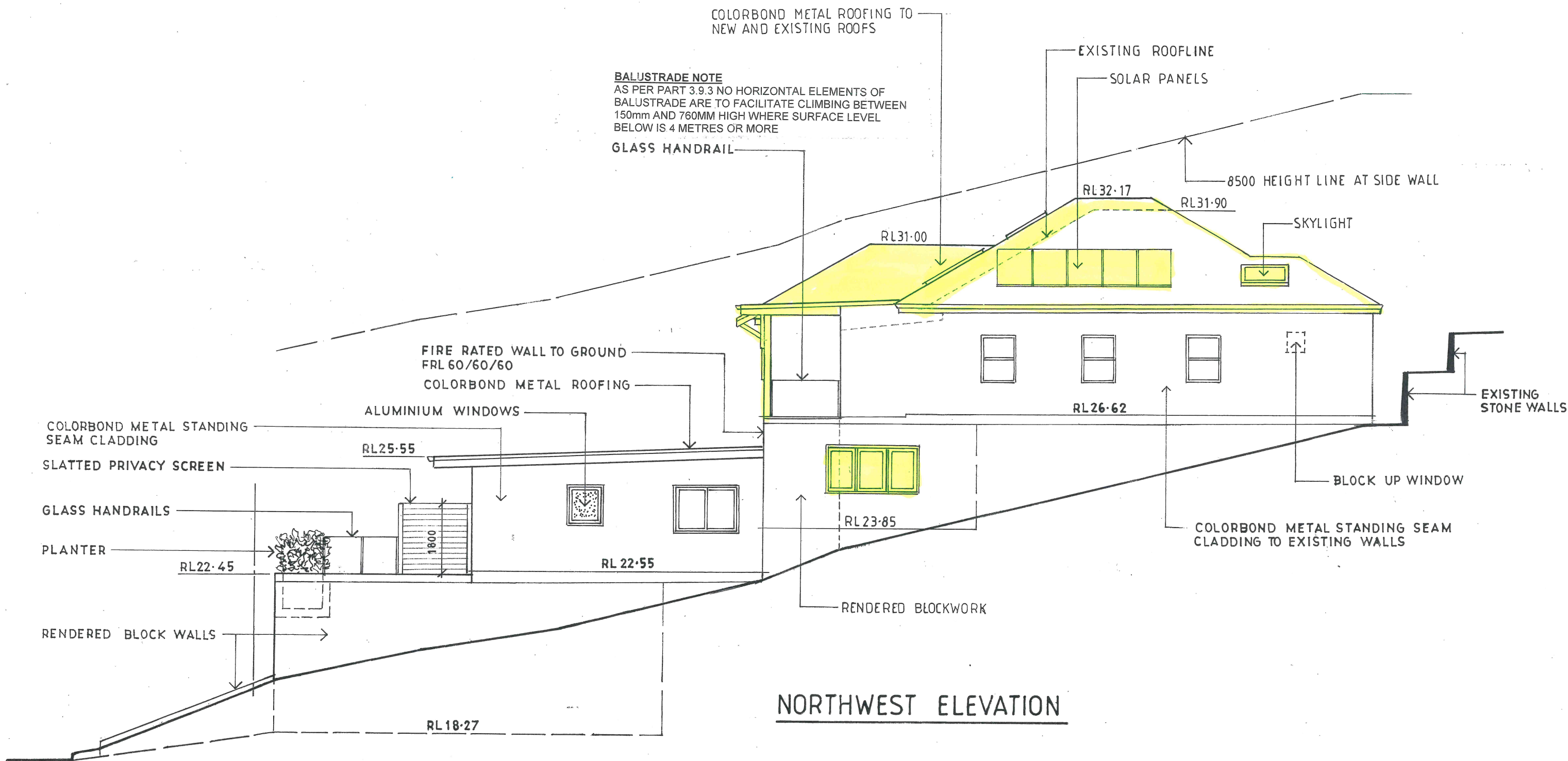
MOD2023/0274

 John Wright

NETWORK DESIGN
a.b.n.52 057 985 118
37 McKillop Road Beacon Hill 2100
M. 0417 459 596
alwayswright@optusnet.com.au

ALTERATIONS & ADDITIONS INCLUDING SECONDARY DWELLING
129 RICKARD ROAD
NORTH NARRABEEN LOT 71 DP16212
CLIENT
JACOB CHAPPLE AND SOPHIRE WRIGHT
SOUTHEAST ELEVATION

DATE JULY 2021	DRAWN J.WRIGHT	DRG. NO. 07-21-RIC
SCALE 1:100	ISSUE: SECT. 4.55	SHEET NO. 5 B.

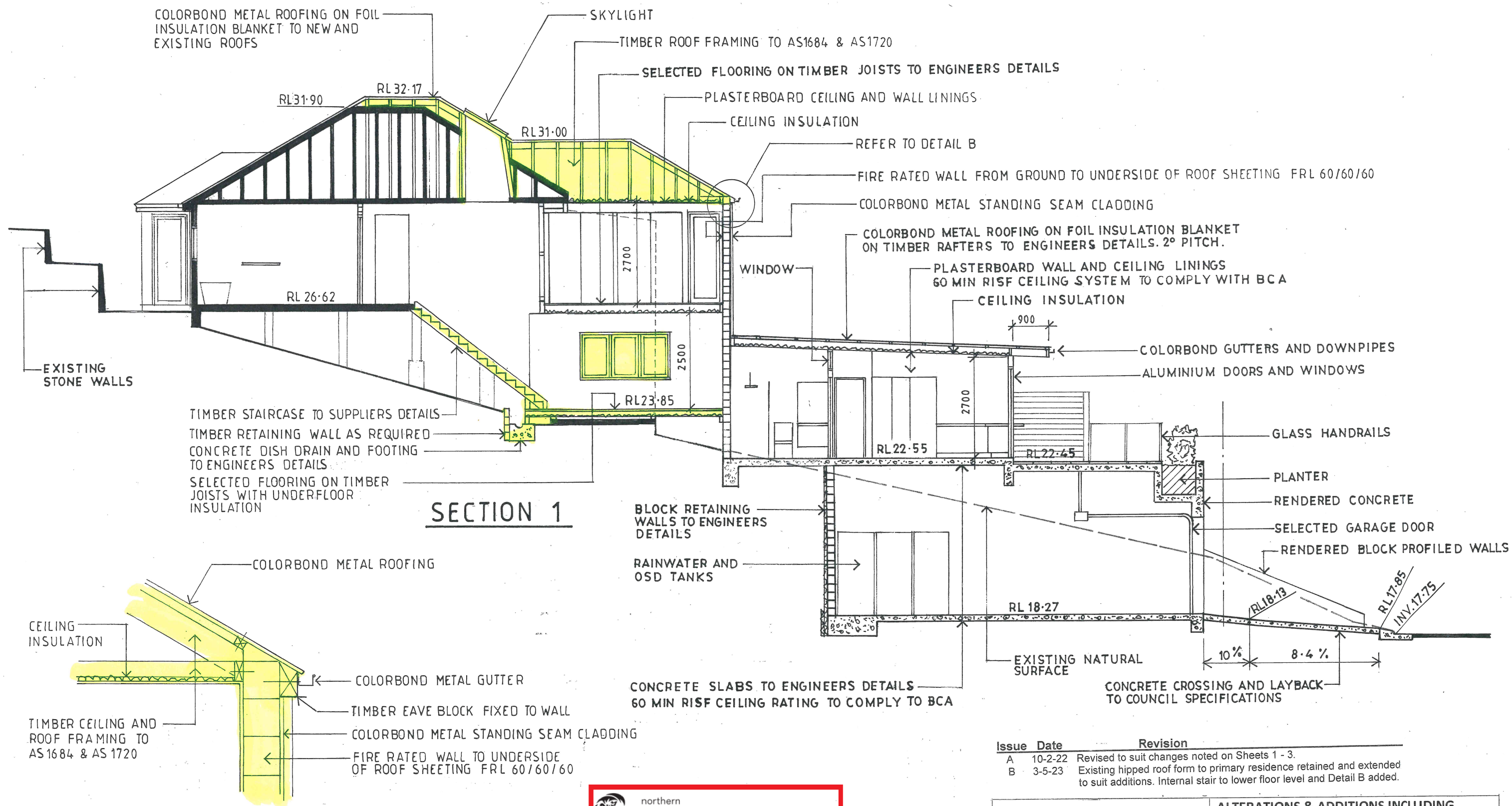


Issue	Date	Revision
A	10-2-22	Revised to suit changes noted on Sheets 1 - 3.
B	3-5-23	Existing hipped roof form to primary residence retained and extended to suit additions. Window at lower floor level revised to suit changes noted on Sheet 2.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0274

 John Wright NETWORK DESIGN a.b.n.52 057 985 118 37 McKillop Road Beacon Hill 2100 M. 0417 459 596 alwayswright@optusnet.com.au		
ALTERATIONS & ADDITIONS INCLUDING SECONDARY DWELLING 129 RICKARD ROAD NORTH NARRABEEN LOT 71 DP16212 CLIENT JACOB CHAPPLE AND SOPHIRE WRIGHT NORTHWEST ELEVATION		
DATE JULY 2021	DRAWN J.WRIGHT	DRG. NO. 07-21-RIC
SCALE 1:100	ISSUE: SECT.4.55	SHEET NO. 6-B



DETAIL B

SECTION 1



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2023/0274

Issue	Date	Revision
A	10-2-22	Revised to suit changes noted on Sheets 1 - 3.
B	3-5-23	Existing hipped roof form to primary residence retained and extended to suit additions. Internal stair to lower floor level and Detail B added.



John Wright

NETWORK DESIGN

a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

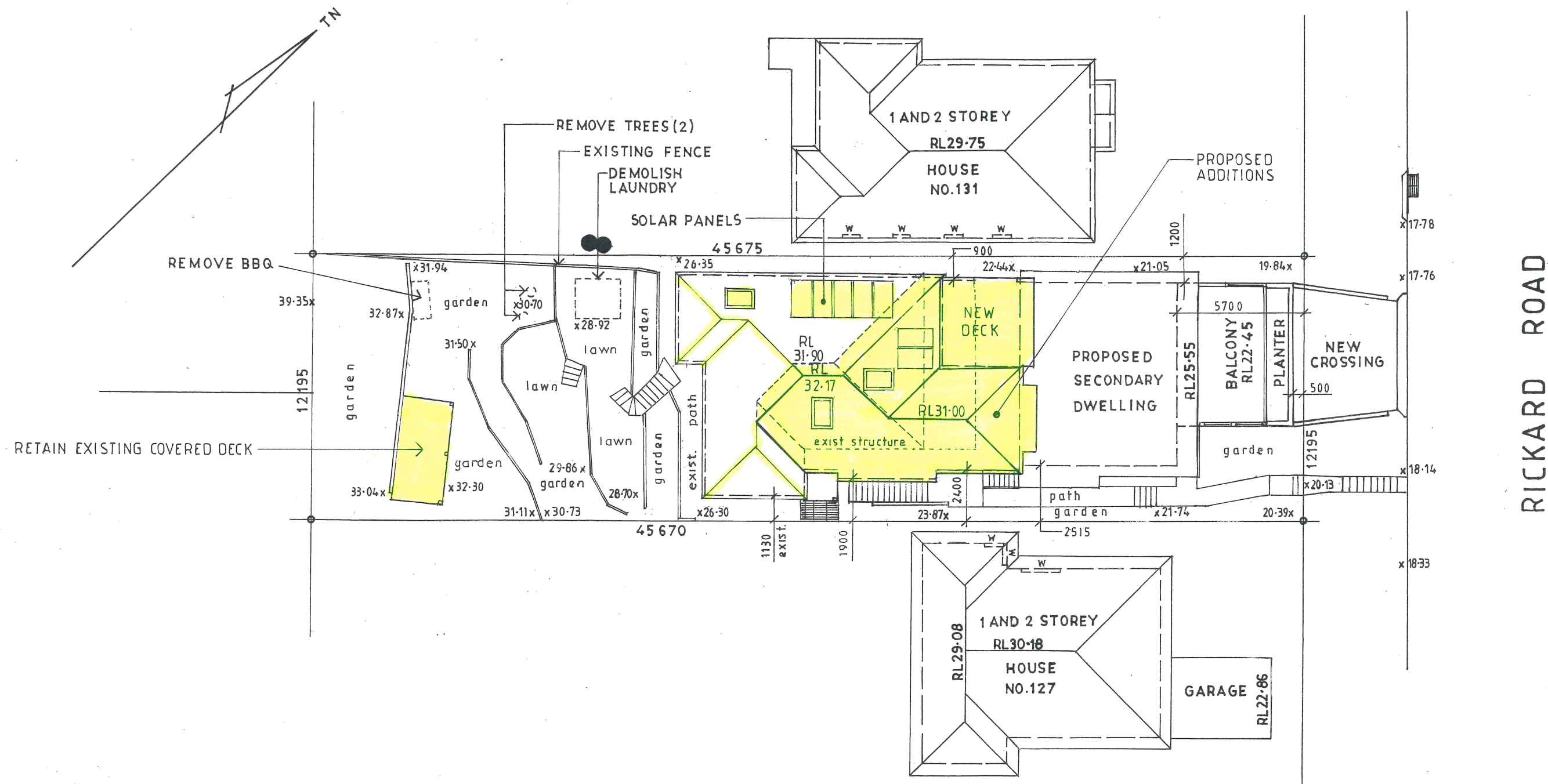
**ALTERATIONS & ADDITIONS INCLUDING
SECONDARY DWELLING**

129 RICKARD ROAD
NORTH NARRABEEN LOT 71 DP16212

CLIENT
JACOB CHAPPLE AND SOPHIRE WRIGHT

SECTION

DATE	DRAWN	DRG. NO.
JULY 2021	J.WRIGHT	07-21-RIC
SCALE	ISSUE:	SHEET NO.
1:100	SECT.4.55	7 B



SITE PLAN

Site Calculations m²

Site Area556.9

Floor Areas

Primary residence149.0
Rumpus Room (Level 2)38.0
Garage67.2
Secondary Dwelling59.3

Landscaped Area

Proposed302.7(54.4%)
Includes existing covered deck in rear yard,
stairs to rear yard, paths around rear and southeast
side of house and primary residence entry deck
as impervious landscape allowance
(31.1m² or 5.6% of site area)
Required (60%)334.0



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2023/0274

Issue	Date	Revision
A	10-2-22	Revised to suit changes noted on Sheets 1 - 3.
B	3-5-23	Existing hipped roof form to primary residence retained and extended to suit additions. Structure extended to new entry stair. Pool deleted and existing covered deck in rear yard retained.



John Wright

NETWORK DESIGN

a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

ALTERATIONS & ADDITIONS INCLUDING SECONDARY DWELLING

129 RICKARD ROAD
NORTH NARRABEEN LOT 71 DP16212

CLIENT
JACOB CHAPPLE AND SOPHIRE WRIGHT

SITE PLAN

DATE	DRAWN	DRG. NO.
JULY 2021	J.WRIGHT	07-21-RIC
SCALE	ISSUE:	SHEET NO.
1:200	SECT. 4.55	8-8