



R/81092

Occupation Certificate

Section 109C(1)(c) of the Environmental Planning and Assessment Act 1979

PCA, Applicant & Site Details

\$ 30.00

1. Location and Title Description of the Property/Land:

Street No & Street: 29 Grevillea Avenue
Suburb: Warriewood
Lot(s): 319
Section:
Deposited Plan(s): 1065723
Strata Plan:
Other:

2. Applicant:

Family/Company Name: Maincom Pty Limited
Given Names/ACN: 080 619 174
Postal Address: Locked Bag 89
Penrith NSW 2751

3. Principal Certifying Authority:

Name: Mr Warrick B. Norris, Urban Approvals Pty Limited ACN 096 508 842
Accreditation No.: # 6328
Accreditation Body: Department of Infrastructure Planning and Natural Resources (NSW)

PCA's Signature:

Certification Details

4. Particulars

Determination: ☒ Approved ☐ Refused ☐ Pending (other)
Occupation Certificate
Determination Date: 16 November 2005
Certificate Type: ☒ Final ☐ Interim

Occupation Certificate No.: PC25104
Building Code of Australia classif'n: 1a & 10a
DA Consent No. and Date: NO191/04 – 20 May 2004
CC No. and Endorsement Date: PC25104 – 2 November 2004
Building Details: Two storey dwelling

5. PCA's Certification Statement

I, Warrick Norris, certify with respect to the building the subject of the Occupation Certificate Application made by the abovenamed Applicant that:

- (a) to the extent this certificate relates to an interim occupation certificate, the health and safety of the occupants of the building have been taken into consideration;
- (b) a current development consent or complying development certificate is in force for the building;
- (c) if any building work has been carried out, a current construction certificate (or complying development certificate) has been issued with respect to the plans and specifications for the building; and
- (d) the building is suitable for occupation or use in accordance with its classification under the Building Code of Australia.

PCA's Signature & Date:

..... 

16 November 2005

6. Occupation Certificate Attachments

- ☐ Signed Urban Approvals Pty Ltd Occupation Certificate Application forms
- ☐ Inspection Report
- ☐ Engineers Certificate
- ☐ Survey certificate
- ☐ Termite Protection Certificate
- ☐ Smoke Detector Installation Certificate
- ☐ Photographic recording of council assets



URBAN

APPROVALS

PC25104

1

Occupation Certificate Application

Section 109C(1)(c) of the Environmental Planning and Assessment Act 1979

Receipt of Application

(Urban Approvals to complete)

Date:

21/10/05

Delivery by:

☒ Hand☐ Post☐ Electronic Transmission

(Must not be by facsimile)

Signed by Urban Approvals:

Application & Site Details

Purpose of Application:

- ☒ To enable occupation of a new building, or new additions to an existing building

☐ DA Consent☐ Complying Development Cert.☐ Construction Cert.How was the building work authorised?
(copies of each MUST be attached)

No.:

Date:

No.:

Date:

No.: PC 25104

Date: 2/11/04

- ☐ To enable change of use of an exiting building

How was the change authorised?
(copies of each MUST be attached)

DA Consent No.:

Date:

Date of SEPP No. 4 Notification:

2. Location and Title Description of the Property/Land:

Street No & Street:

29 Gravellea Ave

Suburb:

Warriewood NSW 2002

Lot(s):

Lot 319

Section:

Deposited Plan(s):

1065723

Strata Plan:

Other:

3. Applicant:

Family/Company Name:

Maincom Pty Limited

Given Names/ACN:

080 619 174

Postal Address:

Locked Bag 89

Penrith NSW 2751

Phone:

47225900

Facsimile:

47223200

Contact Person:

Peter Stuart

4. Owner(s) of Property:

Family/Company Name:

STOCKLAND DEVELOPMENT PTY LIMITED

Given Names/ACN:

090 064 835

Postal Address:

L16, 157 Liverpool St
SYDNEY NSW 2000

Phone:

5. What type of building is it:

☒ Dwelling☐ Outbuilding☐ Office☐ Factory☐ Shop☐ Other (please specify)For residential flat buildings of 3 or more
storeys and 4 or more dwellings

Design Verification Statement provided?

☐ Yes☐ No

6. Building Code of Australia Classifications

(As identified in the Development Consent)

New / existing classifications of

the building under the Building

Code of Australia:

7. Interim or Final Certificate required?

☐ Interim☒ Final

If final, has an interim Occupation Certificate already been issued?

☐ YesCertificate No.: Date: ☐ No

8. Certificate for Whole or Part of Building:

☒ Whole☐ Part

Which part:

9. Identification Survey attached?

(Required for new buildings or
additions to existing buildings)☒ Yes☐ Not Applicable

10. Compliance Certificates attached?

☐ Yes☒ Not Applicable

11. Fire Safety Certificates attached?

(Required for Class 2 to 9
buildings)☐ Yes☒ Not Applicable

12. BASIX Certificate attached?

☐ Yes☒ Not Applicable**Payment of Fees**

13. Fees and Charges:

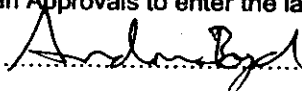
The Owner/Applicant agrees to pay Urban Approvals the fees and charges set out in the Fee Schedule, as updated and/or amended from time to time.

Execution

14. Owner's Consent:

(Must be signed by the owner of the land. If more than one owner, every owner must sign. If the owner is a company, must be signed by a director of the company)

As owner of the land to which this application relates, I consent to this application. I also give consent for authorised officers of Urban Approvals to enter the land to carry out inspections.

Signature of Owner/s:  Date: 22/9/05

If you are signing on the owner's behalf as the owner's legal representative, please state the nature of your legal authority and attach documentary evidence (eg power of attorney, executor, trustee, director).

Signature on behalf of Owner/s: Date:

15. Applicant's Declaration

DECLARATION

I declare that all the information given is true and correct. I also understand that:

(a) If incomplete, the application may be delayed or rejected, and

(b) More information may be requested within 21 days of lodgement.

Signature of Applicant: 

PITTWATER COUNCIL

SA-1
Component Certificate
For
Smoke Alarms

Property Lot 3A at 29 GREVILLEA AVE WARRIEWOOD NSW 2102.

D/A No. NOM/104 CC No PC 25104

I MICHAEL O'CONNOR of MYJEN ELECTRIC'S PTY LTD.
(Name) (Business)

at 4/51 YORK RD PERRITH 2750.
(Mailing Address)

being a qualified electrician, my qualifications being:

ELECTRICAL CONTRACTOR LIC N° 157789C
" SUPERVISOR " N° 15682S
" AUTHORISED SERVICE PROVIDER LIC N° - 1470

hereby certify that the **smoke alarms** have been located, installed and connected to the mains electrical supply in accordance with Part 3.7.2 "Smoke Alarms" of the Building Code of Australia Housing Provisions, AS 3786-1993 "Smoke Alarms", and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature Michael O'Connor Date 9/8/05

RECEIVED

26 AUG 2005

PITTWATER COUNCIL

FN-1
Component Certificate
For
Footings/Slabs/Piers/Retaining Walls

Property Lot 319 at 29 Grevillea Av, Warriewood, NSW 2102

D/A No. 191/04 CC No. PC 25104

I, Lalitha S. Wijesena or Lalitha S. Wijesena & Ass P/L
(Name) (Business)

at 36 Doulton Drive - Cherrybrook, NSW 2126
(Mailing Address)

being an:

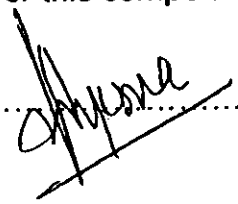
- ☒ accredited certifier
☒ practising structural engineer

with corporate membership of the Institute of Engineers Australia (MIE), or eligible to become a Corporate member and having appropriate experience and competence in the related field, my qualifications being:

BSc (Eng), C Peng, MIE (Aust), NPER, MICE (UK)

hereby certify that the footings/slabs/piers/retaining walls/other have been constructed in accordance with the engineers details nominated on the Construction Certificate or where not nominated, Part 3.2 "Footings and Slabs" of the Building Code of Australia Housing Provisions, AS 2870-1996 "Residential Slabs and Footings", AS 3600-1994 "Concrete Structures" and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature 

Date 24 August 2005

PITTWATER COUNCIL

LS-1
Component Certificate
For
Landscaping

Property lot 317 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. NO 191/04 CC No PC 25104

Carlos Herreros of Hunt Landscapes
(Name) (Business)

at P.O. Box 6322, Business Dc, Jamisontown 2750
(Mailing Address)

being a:

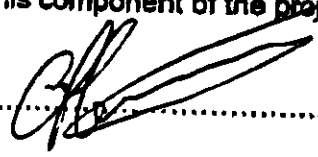
- ☒ qualified horticulturist
☐ landscape architect

my qualifications being:

Certificate of Horticulture (Ryde)

hereby certify that the site landscaping has been completed in accordance with the details shown on the approved plans or as required by any condition of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 26.8.05

PITTWATER COUNCIL

BJ-1
Component Certificate
For
Bearers and Joists and Sub-floor Ventilation

Property lot 319 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. No 191/04 CC No PC 25104

I Warren Bale of Maincom Pty limited
(Name) (Business)

at 6/119 Loreen Ave Penrith NSW 2750
(Mailing Address)

being an:

☐ accredited certifier

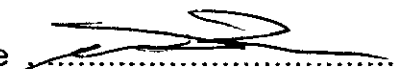
☒ licensed builder

my qualifications being:

Qualified Supervisor Certificate

hereby certify that the **timber/steel bearers and joists and subfloor ventilation** have been designed and constructed in accordance with Part 3.4 "Framing" of the Building Code of Australia Housing Provisions, relevant Australian Standards i.e. Steel framing – AS 3623-1993 "Domestic metal framing" or AS 4100-1998 "Steel structures" or AS/NZS 4600 "Cold formed Steel Structures" or Timber framing – AS 1684-1992 "National timber framing code" and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

FM-1
Component Certificate
For
Wall, Rood Frames and Window Location

Property Lot 319 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. N2191/04 CC No PC 25104

I Warren Bale of Maincom Pty Limited
(Name) (Business)

at 6/119 Green Ave Penrith NSW 2750
(Mailing Address)

being an:

☐ accredited certifier

☒ licensed builder

my qualifications being:

Qualified Supervisor Certificate

hereby certify that the **timber/steel wall and roof frames** have been designed and constructed in accordance with Part 3.4 "Framing" of the Building Code of Australia Housing Provisions, relevant Australian Standards i.e. Steel framing – AS 3623-1993 "Domestic metal framing" or AS 4100-1998 "Steel structures" or AS/NZS 4600 "Cold formed Steel Structures" or Timber framing – AS 1684-1992 "National timber framing code", the relevant conditions of Development Consent and that the window locations are in accordance with those shown on the approved Development Consent plans.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

MC-1
Component Certificate
For
Masonry Construction, Accessories & Weatherproofing

Property Lot 319 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. No 191 /04 CC No PC25104

I Warren Bale of Maincom Pty limited
(Name) (Business)

at 6/119 Green Ave Penrith NSW 2750
(Mailing Address)

being an:

☐ accredited certifier

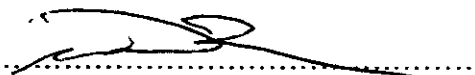
☒ licensed builder

my qualifications being:

Qualified Supervisor Certificate

hereby certify that the masonry construction (including articulation joints), masonry accessories (including wall ties, tie down systems and lintels) and weatherproofing of masonry (including damp proof courses, flashings and ventilation), have been designed and constructed in accordance with Part 3.3 "Masonry", Part 3.3.3 "Masonry Accessories" and Part 3.3.4 "Weatherproofing of Masonry" of the Building Code of Australia Housing Provisions, AS 3700-1998 "Masonry structures", and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

ST-1
Component Certificate
For
Stair Construction

Property Lot 319 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. N0191/04 CC No. PC25104

I Warren Bale of Maincom Pty Limited
(Name) (Business)

at 6/119 Coreen Ave Penrith NSW 2750
(Mailing Address)

being an:

☐ accredited certifier

☒ licensed builder

my qualifications being:

Qualified Supervisor Certificate
.....
.....

hereby certify that the **stairs** have been designed and constructed in accordance with Part 3.9.1 "Stair Construction" of the Building Code of Australia Housing Provisions, AS 1657-1992 "Fixed platforms, walkways, stairways and ladders", and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

GL-1
Component Certificate
For
Glazing

Property lot 319 at 29 CREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. NO 191/04 CC No PC 25104

I Warren Bale of Maincom Pty limited
(Name) (Business)

at 6/119 Green Ave Penrith NSW 2750
(Mailing Address)

being an:

- ☐ accredited certifier
- ☒ licensed builder
- ☐ structural engineer

with corporate membership of the Institute of Engineers Australia (MIE), or eligible to become a Corporate member and having appropriate experience and competence in the related field, my qualifications being:

Qualified Supervisor Certificate
.....
.....

hereby certify that the **glazing (including shower doors, shower screens, and bath enclosures where provided)**, has been designed and installed in accordance with Part 3.6 "Glazing" of the Building Code of Australia Housing Provisions, AS 1288-1994 "Glass in buildings – Selection and Installation", AS 2047-1999 "Windows in buildings – Selection and Installation" and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

LV-1
Component Certificate
For
Artificial Lighting and Mechanical Ventilation

Property lot 319 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. No R1/04 CC No PC 25104

I Warren Bale of Maincom Pty Limited
(Name) (Business)

at 6/119 Creen Ave Penrith NSW 2750
(Mailing Address)

being an:

- ☐ accredited certifier
☒ licensed builder

my qualifications being:

Qualified Supervisor Certificate
.....
.....

hereby certify that the **artificial lighting and mechanical ventilation** has been provided to the sanitary compartment/bathroom/laundry in accordance with Part 3.8.4 "Light" and Part 3.8.5 "Ventilation" of the Building Code of Australia Housing Provisions, and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

RC-1
Component Certificate
For
Roof Cladding

Property Lot 319 at 29 CREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. NO 191/04 CC No PL 25104

I Warren Bale of Maincom Pty Limited
(Name) (Business)

at 6/119 Carcen Ave Penrith NSW 2750
(Mailing Address)

being an:

- ☐ accredited certifier
☒ licensed builder
☐ licensed roofer

my qualifications being:

Qualified Supervisor Certificate

hereby certify that the **roof cladding** has been installed, fixed and flashed in accordance with Part 3.5.1 "Roof cladding" of the Building Code of Australia Housing Provisions, relevant Australian Standards and the relevant conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 28.9.05

PITTWATER COUNCIL

PST - 1
Component Certificate
For
Termite Control Measures

Property lot 319 at 29 GREVILLEA AVE WARRIEWOOD NSW 2102

D/A No. No 191/04 CC No. PC 25104

I P NIES of TERMGUARD (SYDNEY) PTY LTD
(Name) (Company name)

being a qualified Installer my qualifications being an accredited
TERMGUARD Installer

hereby certify that the works have been inspected and have been completed in accordance with the appropriate standards and conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this project.

Council Use Only

Records Officer: Received by Date.....

And placed on file.

PITTWATER COUNCIL

RL-1
Component Certificate
For
Roof Ridge Levels

Property ... N° 29 GREVILLEA AVE WARRIEWOOD (LOT 319)

D/A No. N 0191/04 CC No

I PETER WARWICK of VINCE MORGAN (SURVEYORS) P/L.
(Name) (Business)

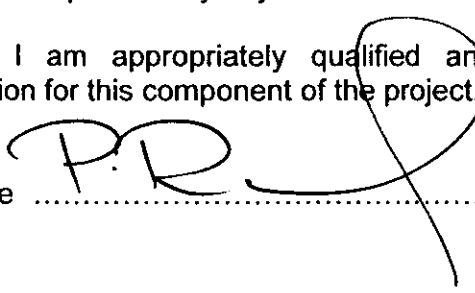
at P.O. Box 227 PENRITH NSW 2751
(Mailing Address)

being a qualified surveyor, my qualifications being:

(B. Sc.) UNSW REGISTERED LAND
SURVEYOR.
.....
.....

hereby certify that the **roof ridge levels** comply with the levels nominated on the approved plans or by any condition of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature  Date 23/8/05

PITTWATER COUNCIL

EX-1
Component Certificate
For
Excavation and/or Filling

Property .. N°29 GREVILLEA AVE WARRIEWOOD (LOT 319)

D/A No. N 0191/04 .. CC No ..

I PETER WARWICK .. of VINCE MORCAN (SURVEYORS) P/L.
(Name) .. (Business)

at P.O. Box 227 PENRITH NSW 2751
(Mailing Address)

being registered surveyor, my qualifications being:

(B. Surv) UNSW REGISTERED LAND SURVEYOR.
.....

hereby certify that the **site excavation and/or filling (including around those trees nominated on the approved plan as being retained)** has been carried out in accordance with the levels shown on the approved plans or as nominated by and conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature .. P.D. .. Date 19/8/05 ..

PITTWATER COUNCIL

FL-1
Component Certificate
For
Ground Floor Levels

Property N°29 GREVILLEA AVE WARRIEWOOD (LOT 319)

D/A No. N 0191 / 04 CC No.

I PETER WARWICK of VINCE MORGAN (SURVEYORS) P/L.
(Name) (Business)

at P.O. Box 227 PENRITH NSW 2751
(Mailing Address)

being a qualified surveyor, my qualifications being:

(B. SURV.) UNSW REGISTERED LAND SURVEYOR
.....
.....

hereby certify that the **ground floor levels** comply with the levels nominated on the approved plans or by any condition of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this component of the project.

Signature P.R. Date 19/8/05

PITTWATER COUNCIL

FL - 2
Building Component Certificate
For
Establishment of Second Floor Levels

Property Nº 29 GREVILLEA AVE WARRIEWOOD (LOT 319)

D/A No. N 0191/04 CC No.

PETER WARWICK of VINCE MORGAN (SURVEYORS) P/L.
(Name) (Company name)

being a qualified SURVEYOR my qualifications being (B.Surv) UNSW

REGISTERED LAND SURVEYOR.

hereby certify that the works have been inspected and have been completed in accordance with the appropriate standards and conditions of Development Consent.

Further, I am appropriately qualified and experienced to provide the certification for this project.

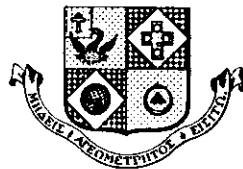
P. R. [Signature] 19/8/05.

Council Use Only

Records Officer: Received by Date.....

And placed on file.

VINCE MORGAN SURVEYORS PTY. LTD.



Re: Lot 319 DP1065723 - Grevillea Avenue, Warriewood

VINCE MORGAN SURVEYORS PTY. LTD.

P.O. Box 227,
Penrith N.S.W. 2751
1/77 Union Road,
Penrith N.S.W. 2750
Email: vmsurvey@telpacific.com.au
DX 8032 PENRITH

CONSULTING SURVEYORS



Phone: (02) 4721 5293
Fax: (02) 4731 2821

A.B.N. 52 065 060 808

Our Ref: PRW:nm R14876_03

23 August, 2005

Maincom
Locked Bag 89
PENRITH NSW 2751

SURVEY REPORT

Dear Sirs,

Re: Lot 319 DP1065723 - Grevillea Avenue, Warriewood

In accordance with your instructions I have surveyed for identification purposes only the land comprised in Certificate of Title Folio Identifier 319/1065723 being Lot 319 on Deposited Plan 1065723 situated in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland.

The subject land shown edged red on the accompanying sketch has a frontage of 25.0 metres to Grevillea Avenue, Warriewood, 7.095 metres across a splay corner and 10.95 metres to Orchard Street. The remaining dimensions are as shown on the sketch. Erected thereon and indicated by hatching is a cement rendered and hardboard residence with metal roof which stands wholly within the block. The location of the residence in relation to the boundaries of the subject land is as shown on the sketch; such location is generally in accordance with the Council approved building plans. The ground floor and roof ridge levels of the residence related to Australian Height Datum are as shown on the sketch.

The land is affected by (i) Restrictions on the Use of Land created by the registration of Deposited Plan 1065723; (ii) an Easement for Maintenance 0.7 metres wide created by the registration of Deposited Plan 1065723 as shown on the sketch; and (iii) an Easement for Overhang 0.3 metres wide created by the registration of Deposited Plan 1065723 as shown on the sketch.

The relationship between the fencing and the boundaries is as shown on the sketch.

There are no apparent encroachments by or upon the subject land.


PETER ROBERT WARWICK
Registered Land Surveyor

TERMguard (Sydney) Pty Ltd

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141

Phone: 9643 8300 Fax: 9643 8388

A.C.N. 003 295 663

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, LOT 319 ORCHARD STREET

BUILDER OR OWNER: MAINCOM PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

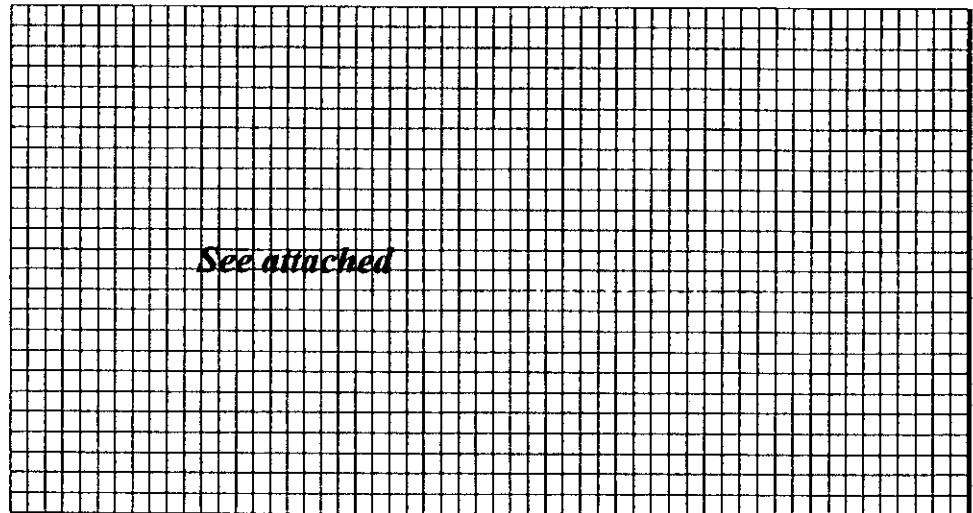
Perimeter Chemical Treatment

Ref. 26617006

LEGEND

Treated area	
Plumbing line	
Pier	
Steps	

Rough sketch only -
refer builder's plans for
true dimensions.



DATE OF TREATMENT: 14-6-2005

SPECIAL CONDITIONS:

Volume of Concentrate: 0.65 litres

Volume of Emulsion: 260 litres

Application Rate: 5 litres / sq. metre

Linear Metres: 52 metres

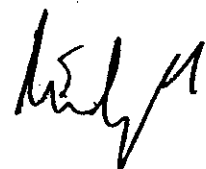
Materials Applied: 0.25% BIFENTHRIN

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf

Applied by: C Goodwin

Signature:



Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

20171

targets termites - safeguards you

termguard (SYDNEY) PTY LTD

reticulation system

Unit 11, 12-18 Victoria St Lidcombe NSW 2141

INSTALLATION SHEET

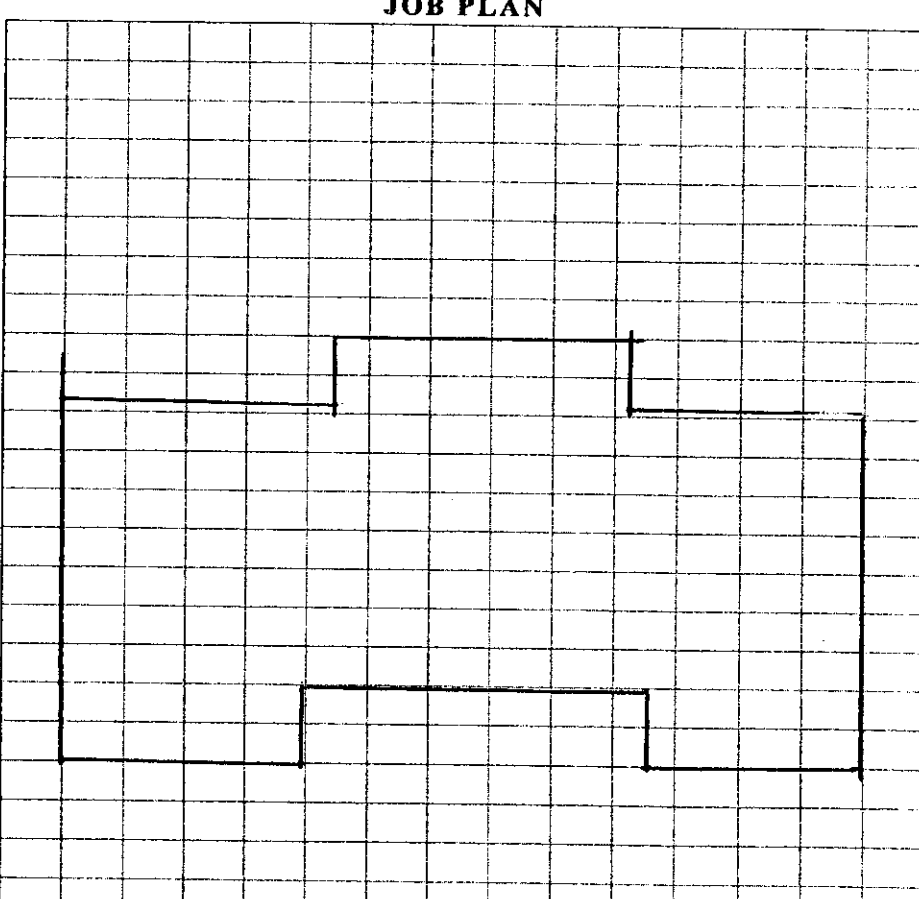
Builder: Manicom Date: 14/6/05

Site Address: Lot 319 Orchard St

Warriewood Job Sheet No.: 036741

Installer: Chris Coodun

SIGNED: Chris Coodun Ref No.: 26617006

Environmental Information		JOB PLAN
External	Chemical Name <u>2Penthrin</u>	
	Vol of Concentration <u>650ml</u>	
	Vol of Emulsion <u>260L</u>	
	Equipment: Hand held spray ☐ Truck mounted spray ☒	
	Other	
Internal	Chemical Name	
	Vol of Concentration	
	Vol of Emulsion	
	Equipment: Hand held spray ☐ Truck mounted spray ☐	
	Other	
Wind Speed Wind Direction		
Time Start Time Finish		
Area Protected		
Under Slab M2 Perimeter L/m <u>52</u>		
Subfloor M2 Penetrations Qty		
Cure M2 Ringline L/m		
Slab ☐ Monolithic slab on ground		
☐ In-fill slab ☒ Waffle pod		
☐ B/I Timber floor ☐ Ultra floor		
Method of Protection		
☐ Physical Barrier ☒ Chemical Barrier		
Termguard Legend		
Path trap ☒ Drilled pipe Penetration ☒		
Undrilled pipe - - - - End cap - - - -		

TERMguard (Sydney) Pty Ltd

RECEIVED
- 9 MAR 2005

P.C. Licence No: 611

Unit 11/12 Victoria Street, LIDCOMBE NSW 2141
Phone: 9643 8300 Fax: 9643 8388

BY: A.C.N. 003 295 663-

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by TERMguard (Sydney) Pty Ltd to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS: WARRIEWOOD, LOT 319 ORCHARD STREET

BUILDER OR OWNER: MAINCOM PTY LTD

ATTENTION: Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the TERMguard barrier ineffective.

Slab Penetrations

Ref. 26617000

LEGEND

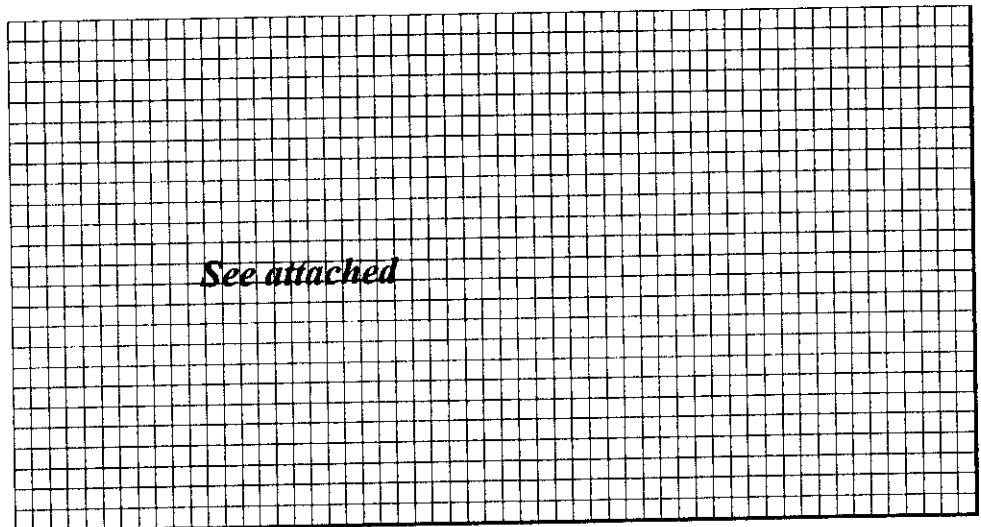
Treated area 

Plumbing line 

Pier 

Steps 

Rough sketch only -
refer builder's plans for
true dimensions.



DATE OF TREATMENT: 26-11-2004

SPECIAL CONDITIONS:

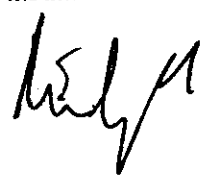
Number of Penetrations: 8

Materials Applied: Termishields

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf

Applied by: P Nies

Signature: 

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf.

TERMguard (Sydney) Pty Ltd

TERMS & CONDITIONS

DISCLAIMER OF LIABILITY TO THIRD PARTIES:- This Certificate is made solely for the benefit of the owner/builder named on the face of this Certificate and no liability or responsibility whatsoever is accepted to any third party who may rely on the Certificate either wholly or in part. Any third party acting or relying on this Certificate whether in whole or in part does so at their own risk.

1. This Termite Protection Program is dependant upon the provision of a complete, treated soil barrier around the structures using approved Termite Control Agents. If this treated soil barrier is in any way disturbed then re-entry to subterranean termites is possible.
2. With Pre-Construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared in accordance with AS2870 and AS3600.1-2000 before the treatment is commenced.
3. The Australian Standard AS3660.1-2000 highly recommends that regular competent inspections take place. Termguard warrants for timber replacement only when the property is inspected annually or as recommended by AS3660.1-2000. Where the termite risk is high or the building type is susceptible to termite attack, more frequent competent inspection (3-6months) must be undertaken, as recommended in AS3660-2000. Termites may build around barriers but they can be detected more readily during routine inspections.
4. Limited liability is accepted for any treatment failure in line with Termguard's Warranty Protection Package.
5. This treatment only applies to the protection of the structure(s) as detailed on the face of this Certificate against attack by subterranean termites. It does not provide for protection against any other pest/s. In particular it does not provide any protection against "drywood termites". FAMILY KALOTERMITIDAE.
6. Responsibility for timber damage is limited as per the Termguard's Warranty Protection Package.
7. This termite protection program can be rendered ineffective due to building alterations, renovations, additions (including pergolas, awnings, verandahs etc). introducing infested materials, offcuts and formwork left on site, materials stored against the building, disturbing external gardens, pathways etc. adjacent to the areas protected and through establishing lawns &/or garden beds adjacent to the protected areas. (Such changes to the property are likely to breach the termite protection barrier). Where such changes occur further treatment is essential. Precautions must be taken to ensure that the soil barrier is not damaged in any way.
8. With a concrete slab on ground structure it is important that the edge of the slab remains exposed and is not covered up by garden materials eg soil, pine bark or similar. Also air vents or weep holes must never be blocked or covered.
9. Do not use untreated timbers for garden beds or retaining walls as they may attract termites. Increased moisture or poor ventilation will also provide conditions for increased risk of termite attack.
10. In the event of any controversy or claim arising out of, or relating to this Certificate, it will be settled by arbitration, in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

VERY IMPORTANT

This Certificate is in two parts, a Certificate of Installation and a Certificate of Application and Completion. The completion of the Certificate of Installation does not in itself certify the structure treated overleaf has been protected in compliance with BCA 96 Vol 1-10 and 2-9. The Certificate of Application and Completion must be provided confirming that all elements of the Termite Treatment Program in accord with the Building Codes of Australia or Australian Standards have been completed.

If you become aware of any breaches to the barrier or changes to the structure such as those detailed above you should immediately contact Termguard Sydney P/L.

It is your responsibility to ensure that the inspections set out as a condition of the warranty as per the recommendations of Australian Standard AS 3660,1-2000 are performed. Please contact Termguard Sydney P/L for further details.

Modern termite control agents give a limited period of protection and further treatment will be necessary. Such need for treatment can only be determined by regular, competent inspections by a licensed Pest Management Firm.

IMPORTANT INFORMATION: The Australian Standard AS3660.1-2000 Protection of Buildings from Subterranean Termites provides details for minimising the risks to buildings from termite attack and methods for treatment to control termite infestations. The provision for a complete termite barrier will impede and discourage termite entry into buildings. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections.



TERMGUARD JOB SHEET

20171

JOB SHEET # 032951

Builder/Owner: Maincom

Name of Installer: Paul & Helen Nies

Termguard Lic #:

Job Address: lot 319 orchard st
warriewood

Date: 26/11/04

Ref #: 26617000

Systems

Ultimate M2 _____

Perimeter L/m _____

Ringline L/m _____

Subfloor M2 _____

Penetrations Qty 8

Cure M2 _____

Legend

Path trap

Drilled pipe _____

Undrilled pipe - - - - -

End cap

Penetration

40mm pipe

Slab [circle]

In-fill slab

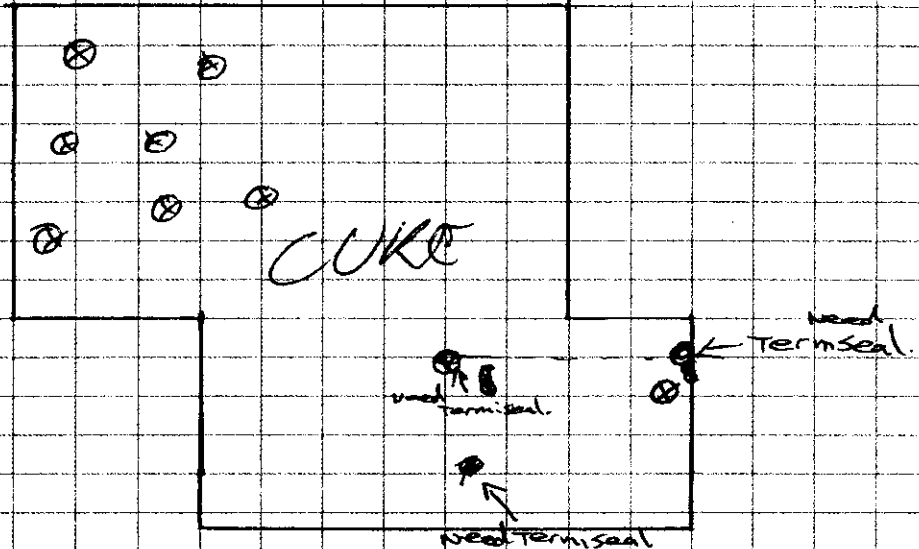
Monolithic slab on ground

Waffle pod

Ultra floor

B/J Timber floor

JOB PLAN



Special notes:

SHOULD'S + CURE + TERMS SEAL