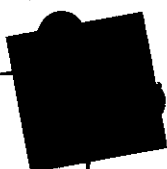


R176042



Anthony Protas Consulting Pty Ltd
BUILDING REGULATIONS CONSULTANTS

5 September 2005

Our Ref: 051753-1

The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

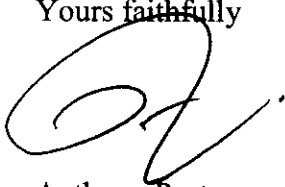
Dear Sir,

**Re: 24 Riverview Road, Avalon – Section 96 modification
Construction Certificate**

Pursuant to the requirements of the Environmental Planning and Assessment Act please find attached a copy of our Construction Certificate, plans and specifications to which the Construction Certificate has been issued and other relevant documents.

Should you have any questions, please do not hesitate to contact the undersigned.

Yours faithfully



Anthony Protas
Anthony Protas Consulting Pty Ltd



Anthony Protas Consulting Pty Ltd
CONSULTING ENGINEERS, ARCHITECTS, PLANNERS

Construction Certificate – 24 Riverview Road, Avalon

“Proposed changes as a result of Section 96 modification to the Consent”

1. Details of the applicant

Mr ☒ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name

Paul

Family name

Howlett

Flat/street no.

PO Box 877

Street name

Suburb or town

Newport Beach

State

NSW

Postcode

2106

Daytime telephone

9954 1200

Fax

9954 1195

Mobile

0412 500 702

Email

2. Details of the development consent

Development application no.

507/03

Date the consent was issued

13 November, 2003, modified on
20 July, 2005

3. Decision of the certifying authority

This certificate is issued:

- ☒ without any conditions
☐ subject to conditions of the kind referred to in clauses 187 or 188 of the Environmental Planning and Assessment Regulation 2000

Conditions have been placed on the certificate for the following reasons:

- ☒ the issue of this certificate has been endorsed on the plans and specifications that were lodged with the application.

Plan no.s approved

Architectural plan No's HO:01/B & HO:02/B dated 18/04/05,
prepared by Emiat Pty Ltd.

Date of this decision

5 September 2005

4. Information attached to this decision

- ☐ A fire safety schedule
☐ Schedule of approved plans & specifications

5. Certification**Anthony Protas**

certifies that

if the work is completed following the plans and specifications which have been approved, it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in section 81A(5) of the *Environmental Planning and Assessment Act 1979*.

Construction certificate no.

1753/05-1

Date of this certificate

5 September 2005**6. Signature**

For this certificate to be valid, it must be signed by the certifying authority.

Signature



Name

Anthony Protas

Flat/Street no.

Level 3, 84

Street name

Pitt Street

Suburb or town

Sydney

State

NSW

Postcode

2000

Telephone

9223 7158

Fax

9223 9492

If the certifier is an accredited certifier:

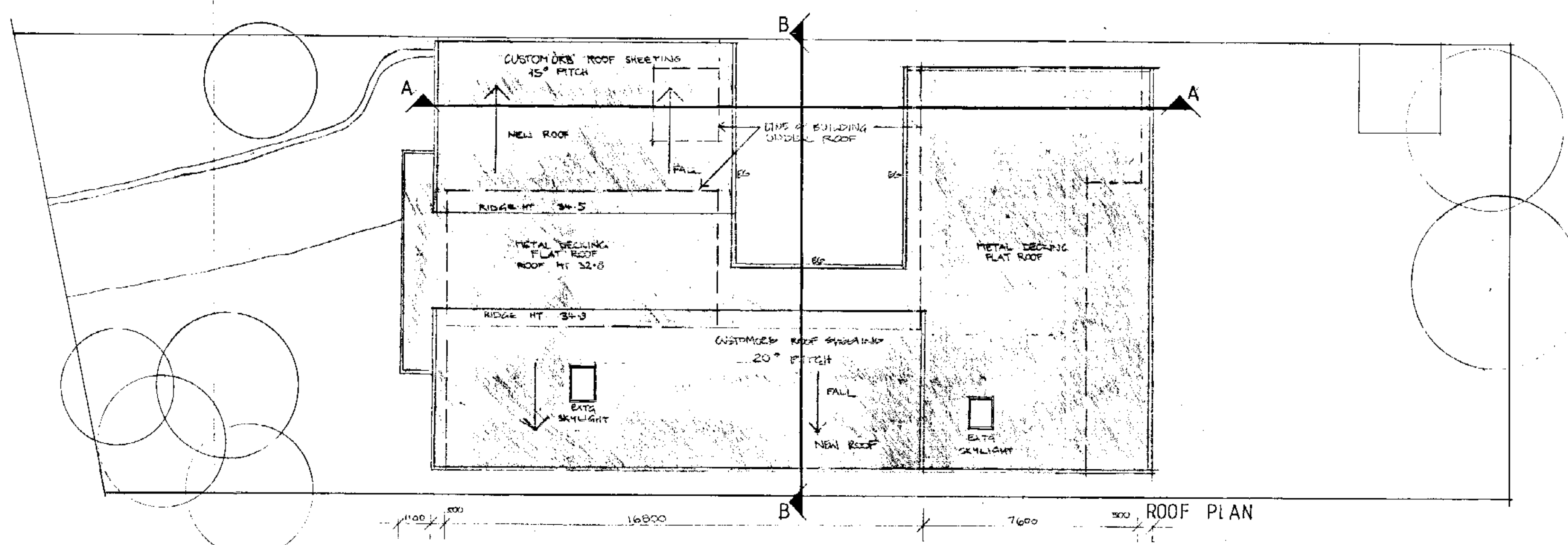
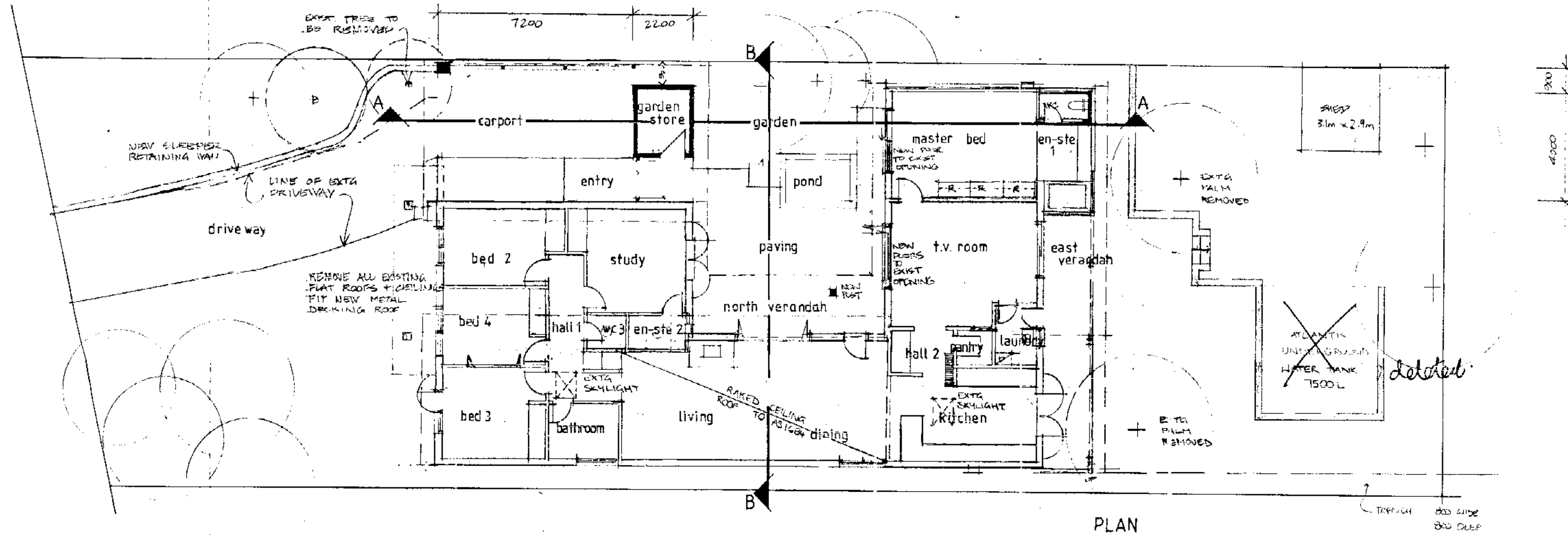
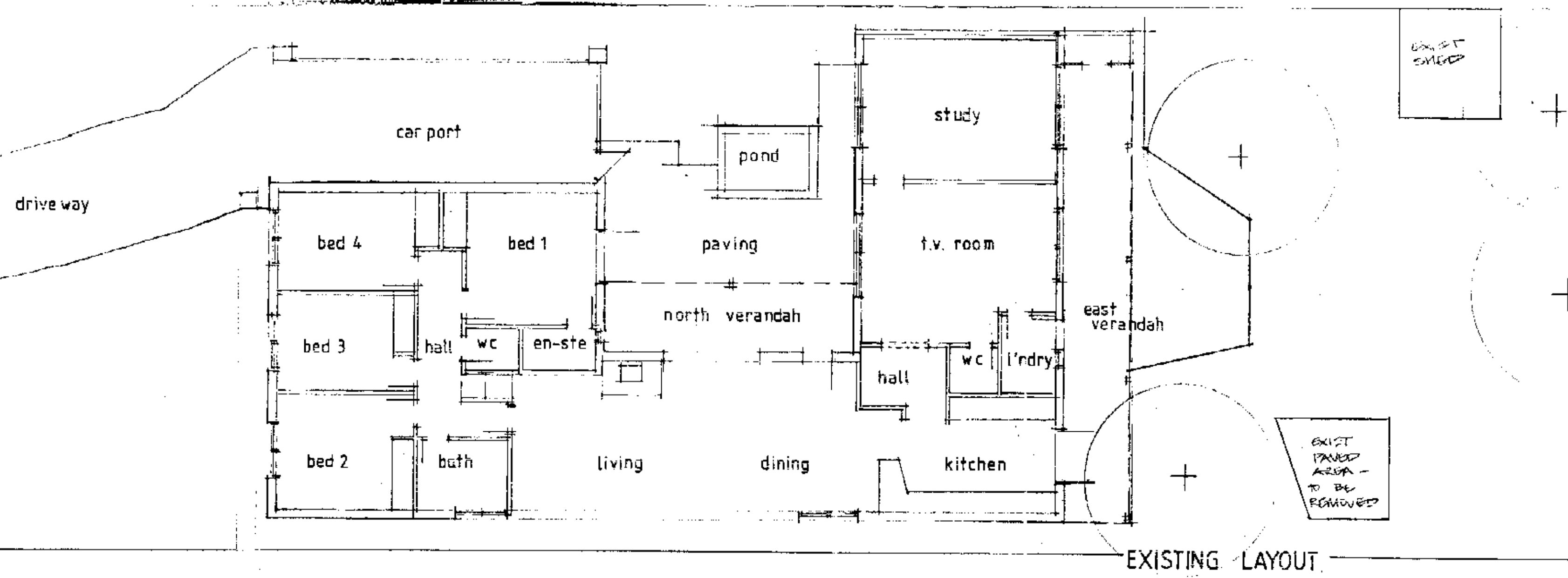
Accreditation body of the certifier

DIPNR

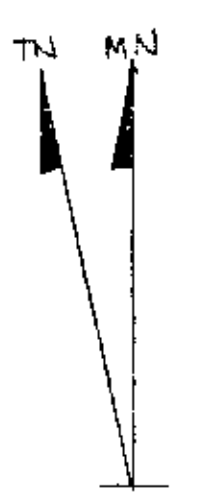
Accreditation no. of the certifier

2442**7. Applicant's right of appeal**

If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision.



REV	DATE	DETAILS
1	14.05	Alterations
2	14.05	Roofs changed
3	14.05	Skylight added in kitchen
4	14.05	Skylight made longer for size
5	14.05	New floors in Bed 4
6	14.05	New flooring in hall & bathroom
7	14.05	Back in kitchen & laundry
8	14.05	New door to Bed 3
9	14.05	
10	14.05	
11	14.05	
12	14.05	
13	14.05	
14	14.05	
15	14.05	
16	14.05	
17	14.05	
18	14.05	
19	14.05	
20	14.05	



APPROVED
5 SEP 2005
ANTHONY PROGRESS CONSULTING PTY LTD

CLIENT
PAUL & ROBYN HOWLETT

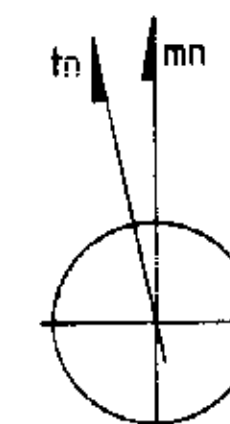
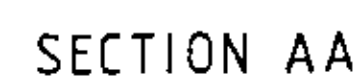
PROJECT
ALTERATIONS & ADDITIONS TO
EXISTING RESIDENCE AT
24 RIVERVIEW RD AVALON

TITLE
PLANS

Designer
Marjorie Gamble B Arch

DRAWN BY
Unit 5 - 181 High St
Wilmington NSW 2068
PH 61 2 9558 5260
FAX 61 2 9558 1558

DATE
1:100 / S
DWG NO
Drawn to scale as per drawings
on site and inform the Architect if there are any
discrepancies
ANTHONY PROGRESS CONSULTING PTY LTD



 ADDITIONAL FLOOR AREA
 ADDITIONAL OPEN ROOFED AREA
 REDUCTION IN OPEN ROOFED AREA

REV	DATE	DETAILS
A	10-05	- Amendement 110 - roots phantom - segregated address + kitchen - emissions 1 units former for a - new door in 2007 - reducing wall + rainwater 110.6 in barbed wire - new door 100 Barbed
B	10-05	- Amendement 110 - shadows removed from - Site Plan

CLIENT
PAUL & ROBYN HOWLETT

PROJECT
ALTERATIONS & ADDITIONS TO
EXISTING RESIDENCE AT
24 RIVERVIEW RD AVALON

TITLE
SITE PLAN
ELEVATIONS AND SECTIONS

LTD

Marjorie Gamble B. Arch
DIRECTOR

MIAT PTY
Unit 5 - 181 High St
Willoughby NSW 2068
PH. 61 2 9958 5260
FAX. 61 2 9958 1998
A.B.N. 87 002 93061

Date: APRIL, 2003
Scale: 1:100
Dwg No: HO.02 ✓ B
Do not scale off drawings. Verify all dimensions on site and inform the Architect if there are any discrepancies.
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APPROVED

- 5 SEP 2005

ANTHONY PROTAS CONSULTING PTY. LTD.