

PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 2103
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 7222



9/01/04

Office Use Only:

C/C NO: CC0006/04

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

TARGET DATE: _____

APPROVAL NO: _____

POST OUT ☐ or PICK UP ☐

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.



THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No N0068/03 Date 20 Nov 2003

A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____



SITE DETAILS: (please print)

House No 975 Street/Road Barrenjoey Rd. Suburb Palm Beach
Postcode 2109 Lot 1 Section D.P. 2058/10 Deposited Plan _____
Description of Proposal INCLINATOR

VALUE OF DEVELOPMENT: \$ 40K

Nominated Building Classification: Class(es).....

CC - 244.75
LSL - \$80
BS - \$198

total = \$522.75

RECEIVED

- 9 JAN 2004

PITTWATER COUNCIL

SCANNED

12 JAN 2004

PITTWATER COUNCIL

**S
C
H
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D
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L
E**

CONSTRUCTION MATERIALS/DETAILS: (please print) (must by law be accurate)

Construction materials

External walls N/A

Roof N/A

Floor N/A

Wall frames N/A

Details

Current use of the land/building(s) N/A

Site area N/A m²

Floor area - existing N/A m²

- proposed N/A 4 fittings only m²

Total N/A m²

Number of Storeys N/A

Number of dwellings to be demolished None

Number of dwellings proposed None inclinator only

YOUR USE		STAFF USE
E	SECTIONS A cut through view of the building and site. Minimum scale 1:100	
	The outline of the existing and/or proposed building showing all dimensions including roof pitch. All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients). Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any). Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size Provisions made for Fire Safety and Fire Resistance.	
F	LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
	Details of driveways, vehicle crossing profiles and transitions. Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.	
G	FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
	North point shown. Room dimensions and use shown. The location and dimension of all windows, doors and walls (including wall thickness). Provisions made for Fire Safety and Fire Resistance	
H	BUILDING SPECIFICATION Details of construction.	
	Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length. Whether the material will be new or second hand. Give particulars of second hand materials. Details of drainage, effluent disposal, water supply, ventilation arrangements etc.	
Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.		
I	FIRE SAFETY PROVISIONS Class 2-9 buildings only	
	Details of the fire safety measures to be implemented.	
	Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.	
J	DETAILED ENGINEERING DRAWINGS Detailed plans which have been certified by a qualified consultant for the following where relevant	
	Earthworks, erosion control measures, elevations of retaining walls, etc.	
	Roadworks, road pavement details.	
	Stormwater drainage (including stormwater management details).	
	Water supply, effluent disposal.	
	Landscape construction works.	
Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.		
		Checked by:

certificate

of insurance

P R King & Sons Pty Ltd
P O Box 20
MARRICKVILLE NSW 2204

FORM 1

HOME BUILDING ACT 1989

Section 92

Certificate in respect of insurance

CONTRACT WORK

A contract of insurance complying with Section 92 of the Home Building Act 1989 has been issued by: Vero Insurance Limited ABN 48 005 297 807

In Respect Of: Improvement
At: Lot No: Unit No: House No: 975
Barrenjday Rd
Palm Beach NSW 4221

Carried Out By: P R King & Sons Pty Ltd
Licence No: 22942
ABN: 850001345547

Subject to the Act and the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

Signed for and on behalf of the insurer:

AON *Marrickville* **HIA INSURANCE SERVICES**
Tailormade
for the trade

HIA INSURANCE SERVICES P/L
ABN 84 076 460 967
An associated company of
Aon Risk Services Australia Ltd
PO Box 241
Ryde NSW 2112
Telephone (02) 9808 7222
Facsimile (02) 9808 7233
CLAIMS ENQUIRY LINE
1800 554 255

Certificate No: 298066
Local Authority Copy
Issue Date 24/11/2003

Please note that Aon Risk Services Australia Ltd ABN 17 000 434 720 is arranging the insurance policy as agent of the insurer below.

They also act as agent of the insurer below and not as agent of the insured in dealing with or settling any claim.

Between this and the policy

insured must read the policy

attached with this certificate

and the conditions of the policy

which are incorporated into the policy

and the conditions of the policy

which are incorporated into the policy

and the conditions of the policy

which are incorporated into the policy

and the conditions of the policy

Total includes Policy Fees, Stamp Duty and GST.

Insurer:

- Vero Insurance Limited
ABN 48 005 297 807

certificate

of insurance

P R King & Sons Pty Ltd
P O Box 20
MARRICKVILLE NSW 2204

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TAX INVOICE

Premium:	\$239.55
GST:	\$23.95
Stamp Duty:	\$13.17
Admin Chg:	\$55.75
Chg GST:	\$5.58
Total:	\$338.00

Total Includes Policy Fees, Stamp Duty and GST.

Insurer:

- Vero Insurance Limited
ABN 48 005 297 807



Douglas Partners
Geotechnics • Environment • Groundwater

Douglas Partners Pty Ltd
ABN 75 053 980 117
96 Hermitage Road
West Ryde NSW 2114
Australia

PO Box 472
West Ryde NSW 1685
Phone (02) 9809 0666
Fax: (02) 9809 4095
sydney@douglaspartners.com.au

GRW:pc
Project 29670-8
8 January 2004

Mr & Mrs R Gilman
975 Barrenjoey Road
PALM BEACH NSW 2108

Dear Robert and Denise

**GEOTECHNICAL ASSESSMENT – PROPOSED ADDITIONS
975 BARRENJOEY ROAD, PALM BEACH**

Please find attached signed copies of drawings reviewed during the completion of Form 2 (supplied 16 December 2003) as required by the Pittwater Council Geotechnical Risk Management Policy.

It is understood that the Condition B29 of the Construction Certificate requires the provision of an Erosion and Sediment Management Plan. The completion of the construction of the proposed inclinor will include the positioning of the two lower pier footings directly on exposed bedrock of low and medium strength. The third footing has been already constructed as part of a completed retaining wall.

It is considered that there will be no additional disturbance of soil during the completion of these footings. As such, it is considered appropriate that dispensation be requested from Council with respect to the requirement for provision of a management plan.

We trust that the above information is as required at this time. Please do not hesitate to contact the undersigned if additional assistance is required.

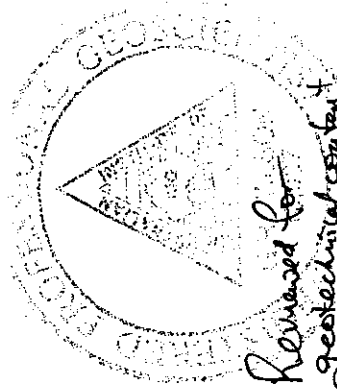
Yours faithfully
DOUGLAS PARTNERS PTY LTD

Grahame Wilson
Principal

Attachments: Copies of Drawings



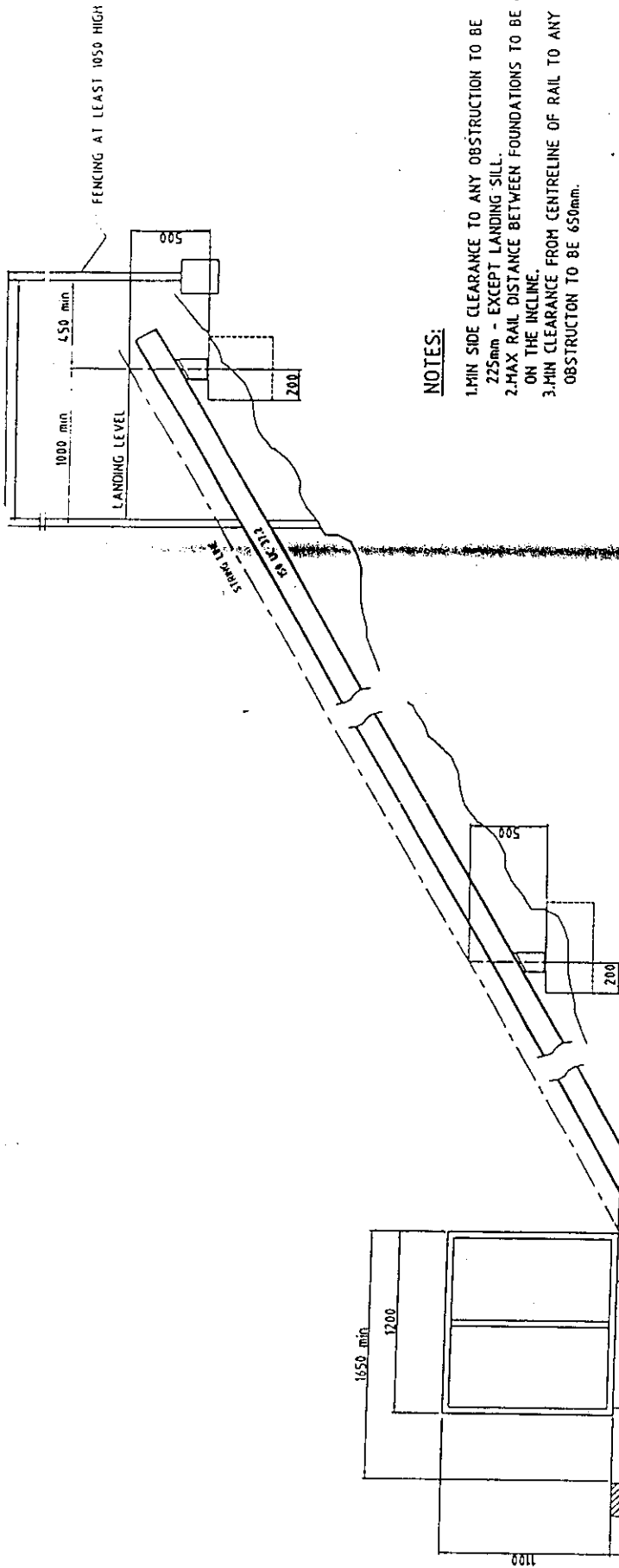
Offices: Sydney, Newcastle, Brisbane, Melbourne, Perth, Wyong, Campbelltown, Townsville, Cairns, Wollongong, Darwin
Principals: K A Boddie, J C Braybrooke, G Eastwood, J P Harvey, S R Jones, R W Lumsdaine, F MacGregor, P McDonald, G W McIntosh, J M Nash, A J Taylor, M J Thom, R Tong, C A Waterton, T J Wiesner, A J Wilson, G R Wilson, G S Young
Senior Associates: M Y Broise, G C Hawkins, B W Ims, J Lean, A N Lee, C S Marais, B J McPherson, I G Piper, K M Preston, B F Rippingale
Associates: C Bell, C Bozinovski, A Castrissios, C M Deegan, G S W Earle, R K Lloyd, D Martin, D McLintock, D E Murray, D L Qualishefski, K Schultz, B D Stewart, C J Stewart, N P Weimann



P. R. KING & SONS PTY. LTD.

"INCLINATOR" SETOUT DETAILS

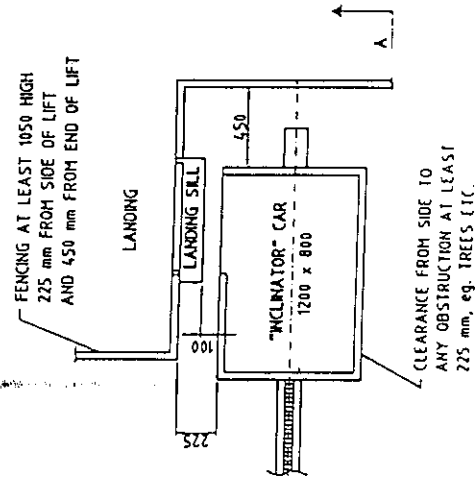
SCALE: METS
DRAWING NUMBER: 71017202
DATE: 12/72



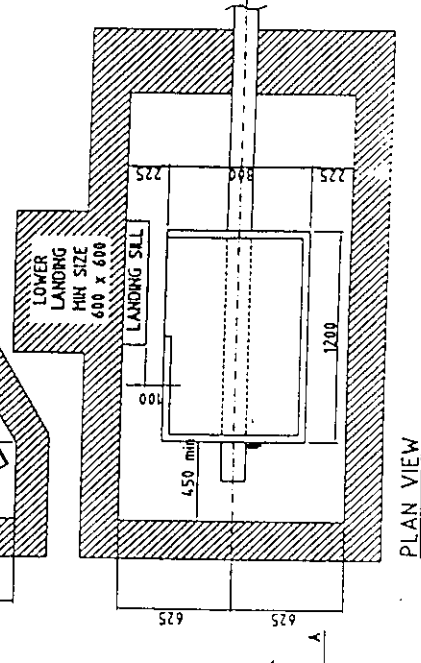
NOTES:

1. MIN SIDE CLEARANCE TO ANY OBSTRUCTION TO BE 225mm - EXCEPT LANDING SILL.
2. MAX RAIL DISTANCE BETWEEN FOUNDATIONS TO BE 4500mm ON THE INCLINE.
3. MIN CLEARANCE FROM CENTRELINE OF RAIL TO ANY OBSTRUCTION TO BE 650mm.

SECTION A-A



NOTE : X = 1000 TO 1500
DEPENDENT ON
ANGLE



PLAN VIEW

NOTES:-

- ANCHOR BLOCK DESIGNED FOR MAXIMUM TRACK LENGTH = 60000
- MINIMUM STOPPING DISTANCE = 50
- RAIL SIZE = 150UC37
- MAXIMUM SLOPE SPAN OF TRACK = 4500
- MAXIMUM OPERATING SPEED = 0.4 M/S
- MAX. SLOPE FOR 272 KG CARRIAGE = 38°
- MAX. SLOPE FOR 160 KG CARRIAGE = 45°
- ASSUMED WIND VELOCITY DURING OPERATION = 100 KM/H
- FOOTING DIMENSIONS FOR HEIGHT 'H' UP TO 2000
- FOR HEIGHT 'H' > 2001 AND UP TO 3500
- FOR HEIGHT 'H' > 3501 AND UP TO 5000

A = 600 MIN.
B = 600 MIN.
D = 300 MIN.

A = 800 MIN.
B = 800 MIN.
D = 400 MIN.

A = 900 MIN.
B = 900 MIN.
D = 600 MIN.

10. CONCRETE QUALITY CHARACTERISTIC COMPRESSIVE STRENGTH @ 28 DAYS $f'c$ = COLUMNS N32 MPa.

CONCRETE SLUMP = 75 MAX.

11. MIN. FOUNDATION BEARING PRESSURE TO BE 120 MPa. APPROVED ON SITE BY *La* BUILDER OR GEOTECHNICAL ENGINEER/EMPLOYEE

12. ROCK FOUNDATIONS

a. WHERE PIERS ARE FOUNDED ON SOLID SANDSTONE OR IGNEOUS ROCK DELETE FOOTING BUT CONSTRUCT NOTES 12a,b AND 12c

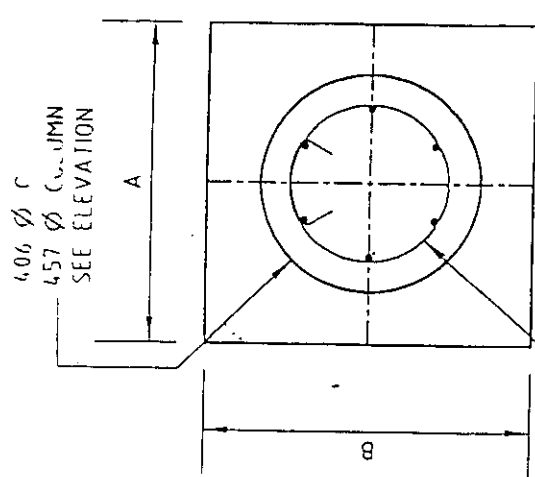
ROCK SURFACE SHALL BE LEVELLED AND SCABBLED BACK TO HARD SOUND MATERIALS

12a - 3200 HOLE TO RECEIVE STARTER BARS SHALL BE DRILLED 500 DEEP INTO ROCK

STARTER BARS SHALL BE GROUTED WITH GEMENT SAND GROUT WITH A COMPRESSIVE STRENGTH $f'c$ = 25 MPa.

13. ALL DIMENSIONS ARE IN MILLIMETRES (mm).

14. FOUNDATION DESIGN IS SHOWN ON DRAWINGS 4356 - SK1 AND SK2.



R6 TIES AT 200 FOR 'H' 0 TO 3500
R10 TIES AT 300 FOR 'H' 3501 TO 5000
50 COVER, LAPS STAGGERED

PLAN

COLUMN PAD TYPE 'A'

NOTE:-

THE BUILDER IS RESPONSIBLE FOR DETERMINING THIS FOUNDATION DEPTH TO ENSURE THAT NOTES A, B, C AND D ARE COMPLIED WITH

Revised for geotechnical consult
La
La
La

NOTE D:-
NATURAL GROUND LEVEL MUST NOT UNDERCUT THE 45° FOUNDATION SUPPORT LINE

FOUNDATION BOLTS AND SUPPORT CHAIRS SUPPLIED BY P.R.KING AND SONS PTY LTD

6 Y16 BARS FOR 'H' 0 TO 3500
6 Y20 BARS FOR 'H' 3501 TO 5000

NOTE A:-
FOUNDATION DEPTH TO BE 600 OR GREATER FOR CLAY AND SAND, 800 FOR ROCK

1000 MIN. CLAY
2000 MIN. SAND
(TYPICAL ALL FOOTINGS)

F82 TOP AND BOTTOM, 50 COVER

NOTE B:-

SEE NOTES 11 AND 12

NOTE C:-

FOOTING TO BE FOUNDED ON HARD NATURAL UNDISTURBED GROUND NEVER FOUND ON FILLING INCREASE FOUNDATION DEPTH TO ACHIEVE THE CORRECT FOUNDATION MATERIAL

FOR TIES SEE PLAN

406 Ø FROM 0 TO 3500

457 Ø FROM 3501 TO 5000

600 LAP FOR Y20

1400 LAP FOR Y16

2 R6 TIES LAP 300

ELEVATION

DESIGNER

La

PROJECT 2 BUILDING 1111

PREPARED BY THE BSA

CONSULTING CIVIL & STRUCTURAL ENGINEERS SUITE 2, LEVEL 7, 621 PACIFIC HWY, ST LEONARDS N.S.W. 1503 814 184 113 9438 404 FAX: 9437 5883

CLIENT
P.R.KING & SONS PTY LTD
155 VICTORIA ROAD
MARRICKVILLE
TELEPHONE NO. 9560 7344

DATE OF ISSUE
DATE OF REVISION
DATE OF APPROVAL
DATE OF CANCELLATION

THIS DRAWING HAS BEEN DRAWN TO ACCORD WITH THE DRAWING MANUAL

DO NOT AMEND THIS DRAWING

REFERENCE DRAWINGS

DRAWING TITLE
STANDARD DETAILS
FOR INCLINATOR
FOOTINGS SHEET 1

DRAWING NO.
4356 - SK1 OF 2

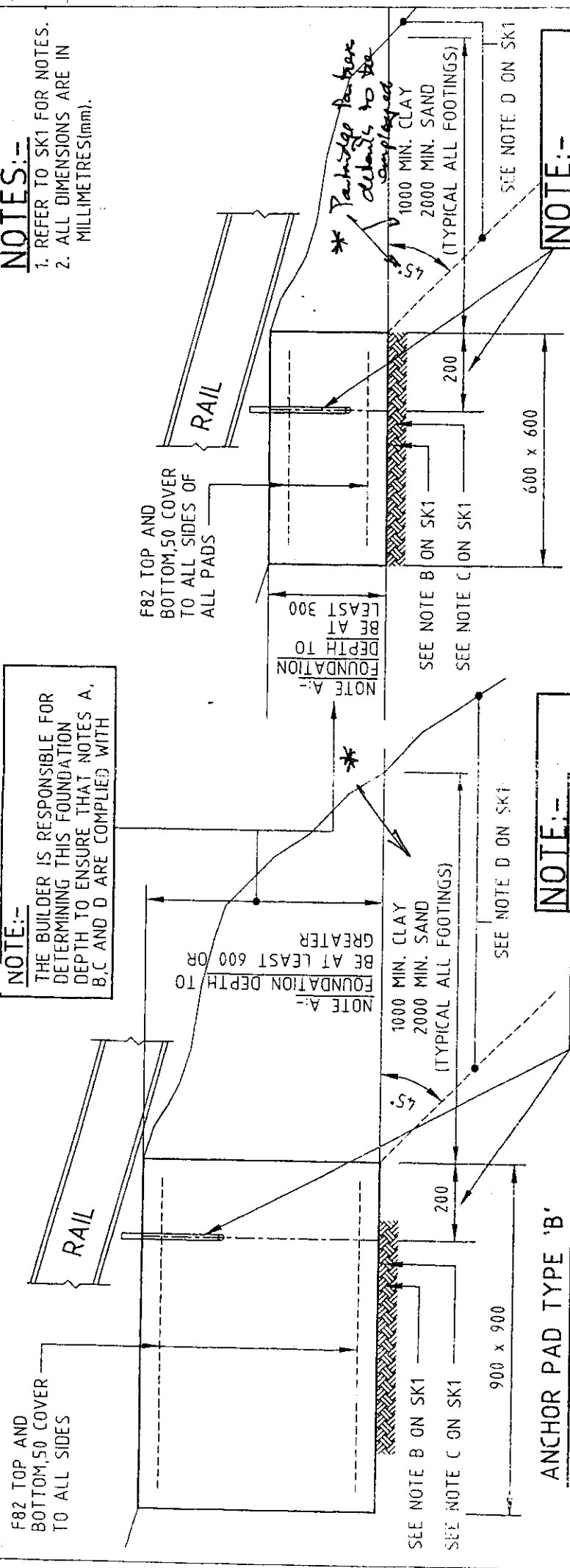
REVISION
B

NOTE:-

THE BUILDER IS RESPONSIBLE FOR DETERMINING THIS FOUNDATION DEPTH TO ENSURE THAT NOTES A, B, C AND D ARE COMPLIED WITH

NOTES:-

1. REFER TO SK1 FOR NOTES.
2. ALL DIMENSIONS ARE IN MILLIMETRES(mm).

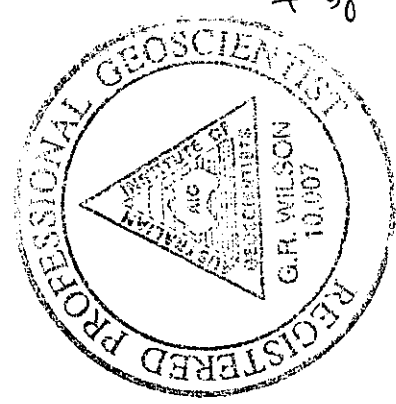


NOTE:-

FOUNDATION BOLT MUST BE LOCATED 200 FROM EDGE OF FOOTING.

NOTE:-

FOUNDATION BOLT MUST BE LOCATED 200 FROM EDGE OF FOOTING.



Reviewed for
Geotechnical content
L. J. Wilson
Geotechnical Engineer P/L

FOUNDATION BOLT DETAIL SCALE 1 : 5

DESIGNER: <i>P. D. Atkinson</i> PHILIP J. BUTCHER F.E. (AUST.) MEMBERSHIP NO. 58 866	Rooney & Bye (AUSTRALIA) PTY. LIMITED CONSULTING CIVIL & STRUCTURAL ENGINEERS SUITE 2, LEVEL 7, 621 PACIFIC HWY, ST. LEONARDS A.C.N. 001 814 384 TEL: 9438 4044 FAX: 9437 5885	CLIENT P.R. KING & SONS PTY LTD 155 VICTORIA ROAD MARRICKVILLE TELEPHONE NO. 9560 7344	DRAWING TITLE STANDARD DETAILS FOR INCLINATOR FOOTINGS SHEET 2 DRAWING No. 4356 - SK2 OF 2 REVISION B
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PROPOSED ALTERATIONS & ADJUSTMENTS
at 975 BARRENJOEY ROAD, PALM BEACH
for R. & D. GILMAN

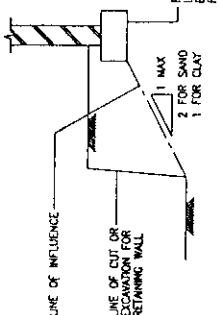
CONSTRUCTION NOTES
GENERAL

01. These drawings shall be read in conjunction with all architectural and other working drawings, specifications and with such other written instructions as may be issued during the course of the contract.
02. All workmanship and materials shall be in accordance with the Ordinances of the relevant Building Authority, the SAK Codes and the By-Laws and Ordinances of the relevant Building Authority.
03. Any conflict between these notes, the drawings or any other relevant documents shall be referred to the Engineer for decision prior to proceeding with the work.
04. Dimensions shall not be obtained by scaling the drawings. For setting out dimensions shall be obtained by the use of theodolite.
05. The Builder shall be responsible for the provision of all staking to maintain the stability and integrity of the foundations and adjacent structures.
06. During construction it is the Builder's responsibility to maintain the structure in a stable condition and to ensure no part is overstressed.
07. In whole or in part without copyright and may not be used or reproduced in any form without the prior written consent of the copyright owner. The Fire-Resistant Levels (FRLs) required for the various structural elements shall be confirmed by the BCA consultant or Architect.
- 08.

FOUNDATIONS

- F1. The minimum safe bearing capacity of foundation material shall be:

	in ROCK	in ROCK
Strip footings :	600 kPa.	800 kPa.
Raft walls :	600 kPa.	800 kPa.
- F2. Foundation material shall be approved by the Engineer prior to placing concrete.
- F3. The bases of footing excavations shall be finished clean and horizontal.
- F4. Any proposed footing shall be approved by the Engineer.
- F5. Any proposed footing shall be approved by the Engineer, either as structures or services shall be approved by the Engineer.
- F6. Subgrade shall be approved material compacted to 95% Standard Dry density determined by testing to AS1289-El.1 u.n.o.
- F7. Locate all new footings relative to level of cut/excavation including excavations for retaining walls as follows:



REINFORCED CONCRETE

- All workmanship and materials shall be in accordance with AS3600, the SAA standards cited in AS3600, the drawings and the specification. Concrete composition and minimum clear concrete cover to reinforcement shall be as follows:—

Element	AS 3600 F ^c MPa	Cover mm
FOOTINGS	25	50
INTERNAL AND EXTERNAL EDGE BEAMS	AS NOTED	50, BOTTOM FACES
INTERNAL SLAB ON GROUND	40	30, TOP 30, BOTTOM
INTERNAL SUSPENDED SLAB	40	30
EXTERNAL SLAB ON GROUND	40	40
EXTERNAL SUSPENDED SLAB	40	40
PIERS	40	40

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COPYRIGHT IN THESE DESIGNS AND DRAWINGS IS VESTED IN PARTNORCE PARTNERS PITY LIMITED. THE DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE SPECIFIC TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PARTNORCE PARTNERS PITY LIMITED. THIS DRAWING SHALL NOT BE CHANGED OR AMENDED BY ANY PARTY FOR ANY PURPOSE OTHER THAN BY PARTNORCE PARTNERS PITY LIMITED.

No.	Issue/Amendment	App'd
A	ISSUE FOR CONSTRUCTION	
B	REVISED ISSUE FOR CONSTRUCTION	



Partridge Partners
Engineering Consultants
Civil
Mechanical
Electrical
Environmental
Planning

Partridge Partners

Engineering Consultants

Structural
Code
Ecological
Economic

LESIUK & ASSOCIATES PH: 9974 1010

**PROPOSED ALTERATIONS & ADDITIONS
975 BARRENJOEY ROAD, PALM BEACH
FOR R. & D. GILMAN**

CONSTRUCTION NOTES

KEYWORDS: *child abuse, child sexual abuse, child sexual exploitation, child sexual abuse, child sexual exploitation, child sexual abuse, child sexual exploitation*

STEELWORK

- S1. Materials, fabrication and erection shall be in accordance with AS4100, the SAA Standards clad in AS4100 and the specification.
- S2. Three copies of all workshop drawings shall be submitted and approved by the Engineer prior to fabrication.
- S3. All structural steelwork shall be fabricated from E41XX Electrodes, all bolts M20 4.6/S and all cleats and gussets 10mm plate u.n.o.
- S4. For bolts, the following notation is used:
4-M16 4.6/S denotes 4 x M16 commercial grade bolts snug tight
6-M20 8.8/TB denotes 6 x M20 high strength structural bolts (fully tensioned) in a bearing joint.
8-M24 8.8/TB denotes 8 x M24 high strength structural bolts (fully tensioned) in a bearing joint.
- S5. Mating surfaces of TF connections shall be left unpainted and free of mill scale.
- S6. Bolts and nut TF connections shall be lightened using the part turn method or load indicating washers. Calibrated torque wrenches shall not be used. A hardened washer shall be used under the bolthead or nut, whichever is rotated. The re-use of fully tensioned bolts is prohibited.
- S7. Steel to steel, timber to steel, steel to cleats and drill all holes necessary for fixing steel to steel, timber.
- S8. Steel beams and trusses spanning greater than 5m shall be fabricated with an upward pre camber of 1/500 span u.n.o.
- S9. Structural steelwork shall be prepared to class 2 and painted with Zinc Primer.
- S10. Structural built into masonry and exposed external steelwork shall be not-dipped galvanised.
- S11. Provide fire protection to all steelwork as required.
- S12. All steel formed sections shall conform to AS360 and be roll-formed from minimum yield stress 450N/mm², 500 g/m² minimum zinc coating mass u.n.o.

ELEMENT	FRL	MIN. CONCRETE ENCASUREMENT
Columns & Beams	120/-/-	45 mm

ALL CHEMICAL ANCHORS SHALL BE
HILTI HYU ADHESIVE ANCHOR WITH FOIL CAPSULE SYSTEM INST
ACCORDANCE WITH MANUFACTURERS INSTRUCTION OR APPROVE
ALL CHEMICAL ANCHORS SHALL BE HOT DIP GALVANISED AND
UNLESS NOTED OTHERWISE:
M12 MIN. 100 EMBEDMENT, MIN. 60 EDGE DISTANCE, MIN. 70
M16 MIN. 125 EMBEDMENT, MIN. 70 EDGE DISTANCE, MIN. 100

MASONRY

- M1. All workmanship and materials shall be in accordance with AS3700, the Standards cited in AS3700, the drawings and the APPI Standard Technical Specification STD-0905.
- M2. Where masonry supports concrete slabs or beams, the top course shall be constructed using a 15mm gap between courses.
- M3. Walls where loaded on plan are load bearing. Non-load bearing walls under slabs shall be separated from the slab by 15mm of approved compressible material. Where masonry abuts slab downturns, provide 15mm gap between brickwork and side of downturn.
- M4. Masonry supported by concrete slabs or beams shall not be erected until the concrete has reached its design strength.
- M5. Brick strength shall be $f_{wc} = 30$ MPa u.n.o.
- M6. Hollow concrete masonry shall be $f_{wc} = 20$ MPa u.n.o.
- M7. Masonry mortar shall be classification M3 u.n.o.
- M8. Chases shall not be cut into load-bearing masonry without the approval of the Engineer.
- M9. Engineering joints shall be provided vertically for full height of wall as follows:
For general masonry = 6m maximum centres & 4m maximum from corners.
For articulated masonry = 8m maximum centres & 4m maximum from corners.
Joints shall be 15mm minimum with an approved compressible filler & tied together every 4th course with an MET 3.3 masonry sliding tie or approved equal.
- M10. All masonry shall be constructed in accordance with AS3700 and shall be built in running courses. Cleancut openings shall be provided at the base of all cores to facilitate filling.
- M11. Core fill material shall be provided to the base of all cores to facilitate filling.
- M12. Full core filling concrete shall be $f_{c} \leq 15$ MPa, 10mm aggregate, 250 slump. UNO.
- M13. Where masonry retaining walls shall be constructed using "double U blocks". FRL UNO.
- M14. Unreinforced masonry walls have not been designed unless noted.

Revised for goot technical content
Spudela
Douglas partners 1/6

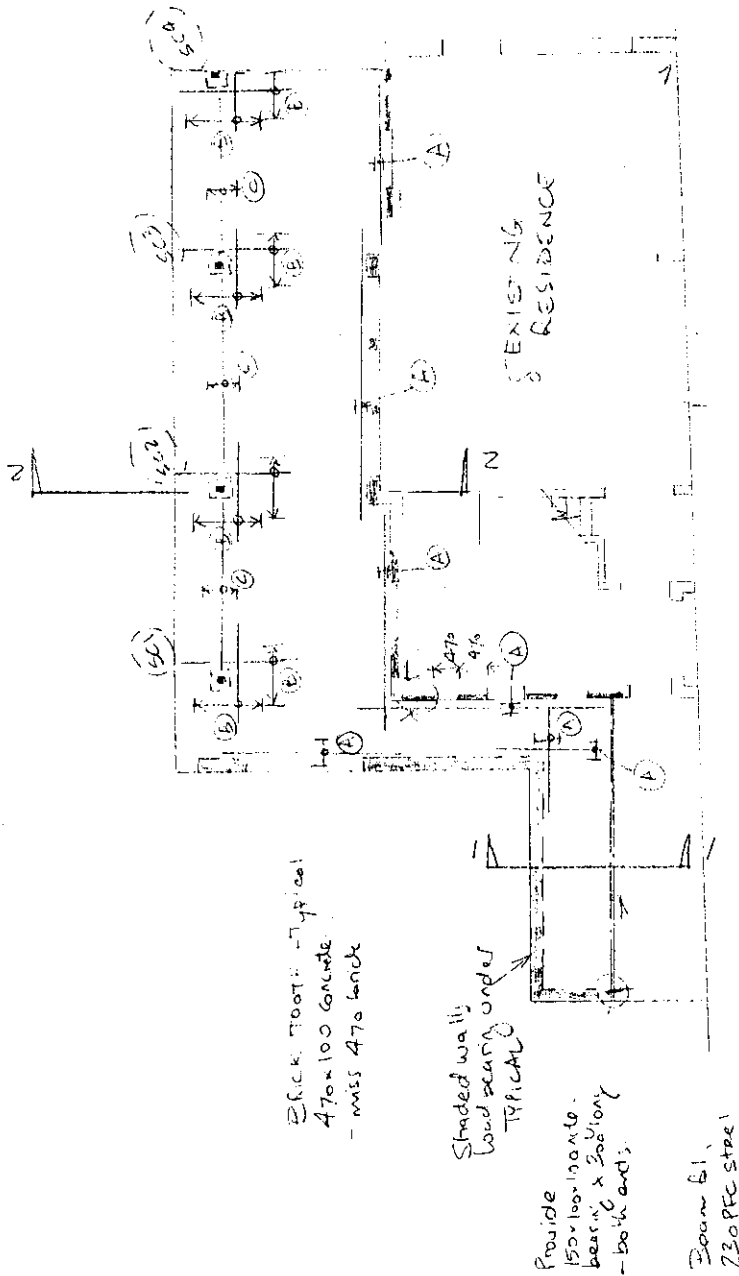
Architectural Associates

LESIUK & ASSOCIATES PH: 9974 1010

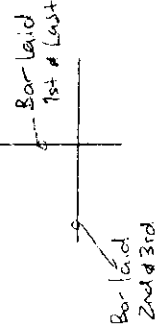
**PROPOSED ALTERATIONS & ADDITIONS
975 BARRENJOEY ROAD, PALM BEACH
FOR R. & D. GILMAN**

CONSTRUCTION NOTES

KEYWORDS: *child abuse, child sexual abuse, child sexual exploitation, child sexual abuse, child sexual exploitation, child sexual abuse, child sexual exploitation*



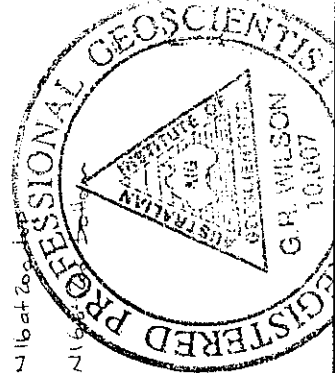
Bar Laying Sequence



FIRST FLOOR PLAN

1. 200-wide slate
Reinforce N16 at 200 both ways bottom
& N12 at 200 both ways top
plus extras as shown
2. Steel Columns (under)
SC1, 2, 3 & 4 - 100x100x6 SHS
- hot dip galvanised
3. Beam, B1 - 230x75 PFC steel
- hot dip galvanised

- Extra Reinforcement
- (A) 3 N16 top & bottom
 - (B) 6 N16 at 200 top
 - (C) 4 N16 at 200



Reviewed for
geotechnical
content
G. Wilson
Daglas Parkes P/L

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No. A Issue/Amendment For Construction

App'd NY Date 01/11/03

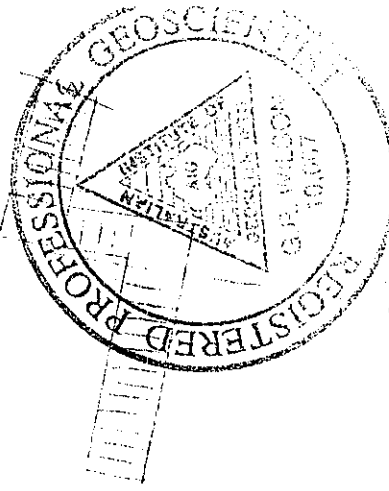
Partridge Partners
Engineering Consultants
Partners
Partners
Partners

Mr & Mrs G. Wilson

Alterations & Additions to RPAAC
975 Barrington Rd. P.A.M. BEACH
Scale of A3 1:100
Date Nov 2003
Job No. 11-11-03
Dwg. No. 50

Approved: N. Wilson
RE: N. Wilson FILE NO. 11-11-03
Design: N. Wilson
Scale of A3 1:100
Date: Nov 2003
Job No. 11-11-03
Dwg. No. 50

First Floor Plan



Revised for
geotechnical content
Ghulistan
Douglas Wade 11/12

— Refer to Drawing 55 for Footing D1 to D4

RESIDENCE

2234

 λ

20.

78

Exhibit

31000 срост уб.

2. Examine the

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No.	Issue/Amenament
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Folk Constitution

App'd

2-

Date _____

4.11.03

Partridge Partners

Engineering Consultants
Structural
Civil
Records
Ecological
Forensic

Level 4, 1 Chandos Street, St Leonards NSW 2065 Tel 9460 9000 Fax 9460 9090

Mr & Mrs Gilman

Allegations & Additions

975 Barrensey Rd, Palm Beach

Inclinator Footing Plan

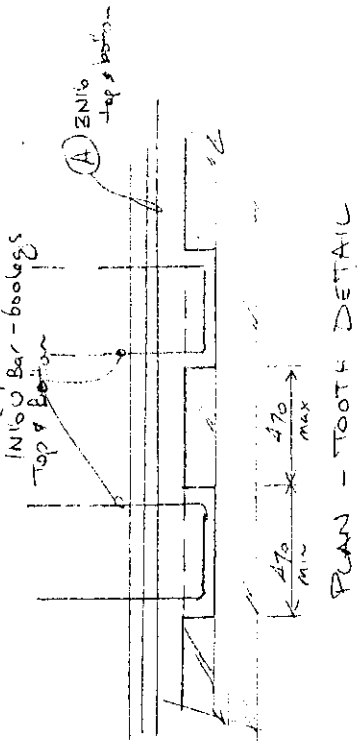
Approved: John D. S.

Design

Scale at A3

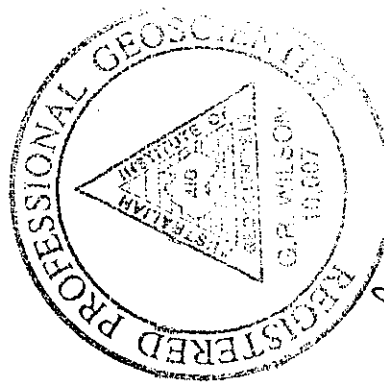
Job No.

50



SECTION 2

ACAZ - FOOT & HEEL



Reviewed for
Geotechnical content
John Doe
Douglas Barkner P/E

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No.	Issue/Amendment
A	For Cons & Motion

Partridge Partners

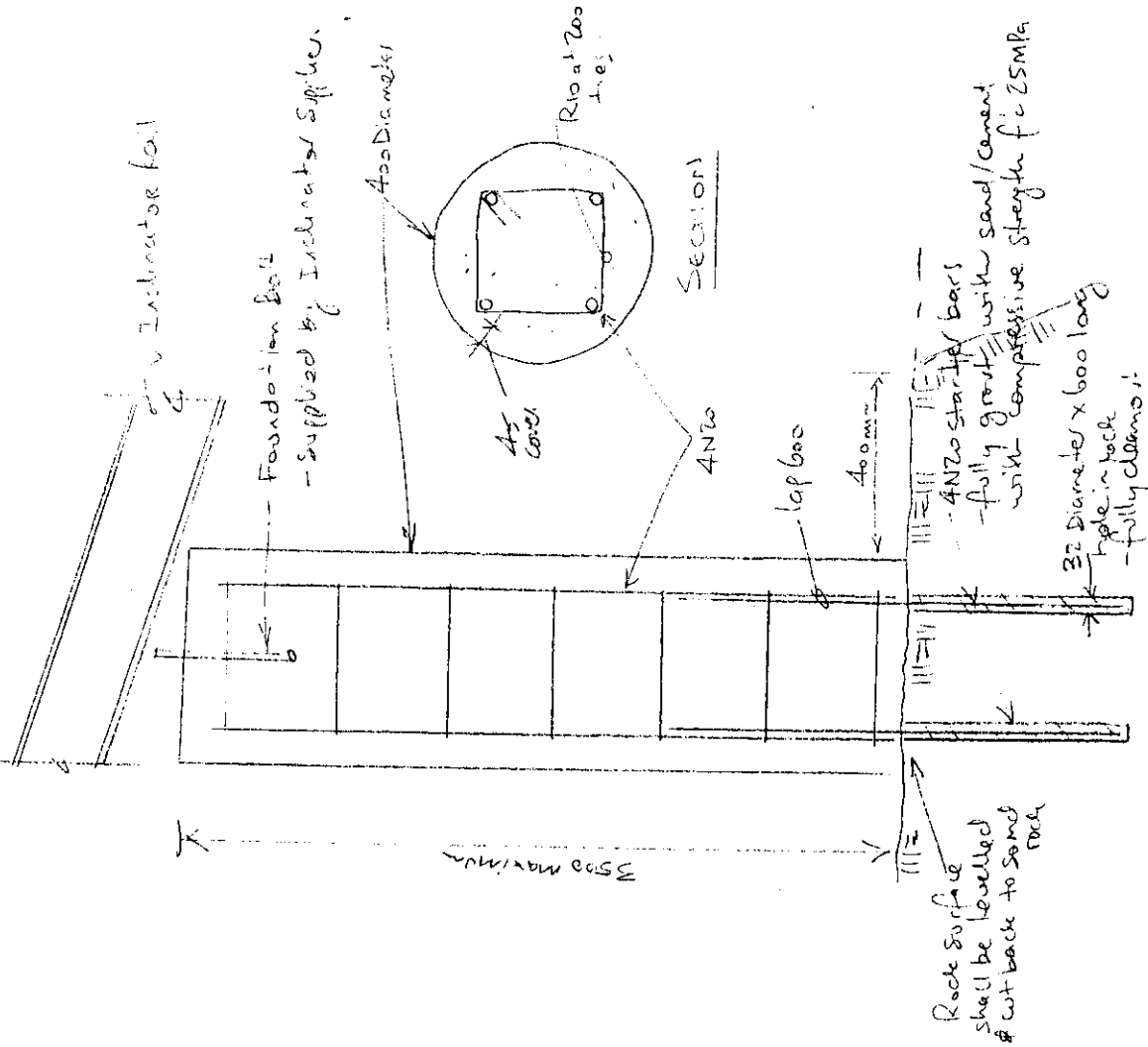
Engineering Consultants
Structural
Civil
Floods
Ecological
Fertile

Mrs Mrs Gilman

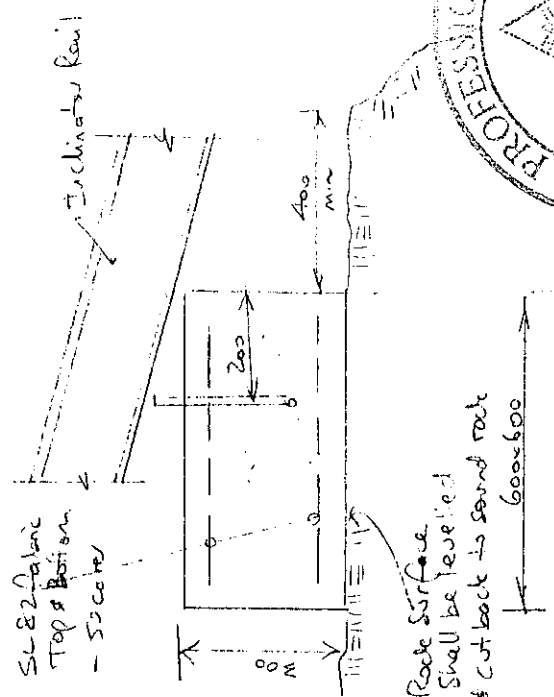
Alterations & Additions to RAC
975 Barrenney Rd, PA MB #44

Rea First Floor Section

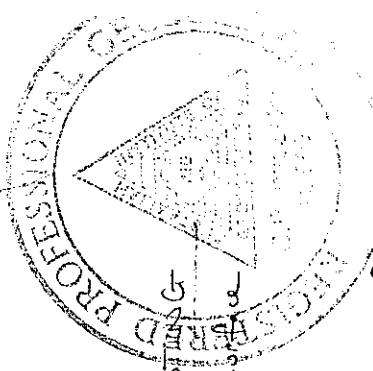
[illegible]



TYPICAL PIERS P1, P2, P3 & P4



ALTERNATE PAD FOOTING
- If rail & rock near surface



Reviewed for
geotechnical content
Gyulisa
Douglas Parkes Pty. Ltd.

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	No. A Issue/Amendment For construction	App'd NY Date 4-11-03	Partidge Partners Engineering Consultants Structural Geotechnical Environmental Forensic Level 4, 1 Chondoo Street, St Leonards NSW 2055 Tel 9460 9000 Fax 9460 9090	Mr & Mrs Gilman Alterations & Additions 975 Barronjoe Rd, PALM BEACH Inclinator Footings Job No. 2001.0110 Date 2003 Scale at A3 1:10 Design NY Drawn Approved by Mr. Douglas Parkes P.E. M.Eng. S.E. M.Eng.
--	--	--------------------------	--	---



Douglas Partners
Geotechnics • Environment • Groundwater

Douglas Partners Pty Ltd
ABN 75 053 980 117
96 Hermitage Road
West Ryde NSW 2114
Australia

PO Box 472
West Ryde NSW 1685
Phone (02) 9809 0666
Fax: (02) 9809 4095
sydney@douglaspartners.com.au

GRW:pc
Project 29670-7
16 December 2003

Mr & Mrs R Gilman
975 Barrenjoey Road
PALM BEACH NSW 2108

Dear Robert and Denise

**GEOTECHNICAL ASSESSMENT – PROPOSED ADDITIONS
975 BARRENJOEY ROAD, PALM BEACH**

Please find attached a completed Form 2 as required by the Pittwater Council Geotechnical Risk Management Policy. It is understood that the proposed additions will comprise an inclinometer and first floor modifications to the residence. The area of the proposed work was investigated and reported in the Douglas Partners Pty Ltd Report (Project 29670-6) dated 23 May 2003.

It is also confirmed that Douglas Partners Pty Ltd:

- has carried out various investigations of the proposed construction area and adjacent areas (Reports dated 30/03/01, 28/01/2003);
- inspected footing excavations adjacent to the proposed additions; and
- provided Construction Certificate documentation (dated 06/05/02) with respect to the previous work.

We trust that the above information is as required at this time. Please do not hesitate to contact the undersigned if additional assistance is required.

Yours faithfully
DOUGLAS PARTNERS PTY LTD

Grahame Wilson
Principal

Attachments: Form 2



Offices: Sydney, Newcastle, Brisbane, Melbourne, Perth, Wyong, Campbelltown, Townsville, Cairns, Wollongong, Darwin
Principals: K A Boddie, J C Braybrooke, G Eastwood, J P Harvey, S R Jones, R W Lumsdaine, F MacGregor, P McDonald, G W McIntosh, J M Nash, A J Taylor, M J Thom, R Tong, C A Waterton, T J Wiesner, A J Wilson, G R Wilson, G S Young
Senior Associates: M Y Broise, G C Hawkins, B W Ims, J Lean, A N Lee, C S Marais, B J McPherson, J G Piper, K M Preston, B F Rippingale
Associates: C Bell, C Bozinovski, A Castrissios, C M Deegan, G S W Eade, R K Lloyd, D Martin, D McIntock, D E Murray, D L Qualischetski, K Schultz, B D Stewart, C J Stewart, N P Weimann

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for R 10 - 10000

Name of Applicant

Address of site 975 Barrenjoey Rd, Palm Beach

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, Harry Partridge
 (insert name)

on behalf of

Partridge Partners P/L
 (trading or company name)

on this the 12-12-03
 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2 million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title:

Stability Assessment, 975 Barrenjoey Rd

Report Date:

30-3-2001

Author:

Grahame Wilson

Structural Documents list:

2001.0110

S1, S2A, S3A, S4B, S5B, S6A, S7

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Harry Partridge
 (name)

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 19 May 2003 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriate taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature

Name

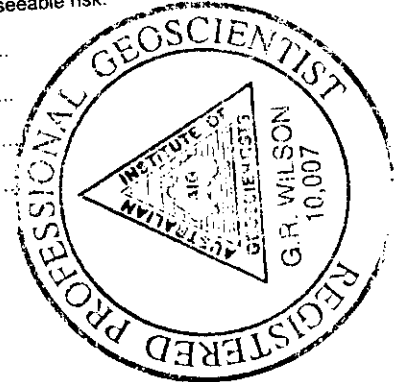
Chartered Professional Status

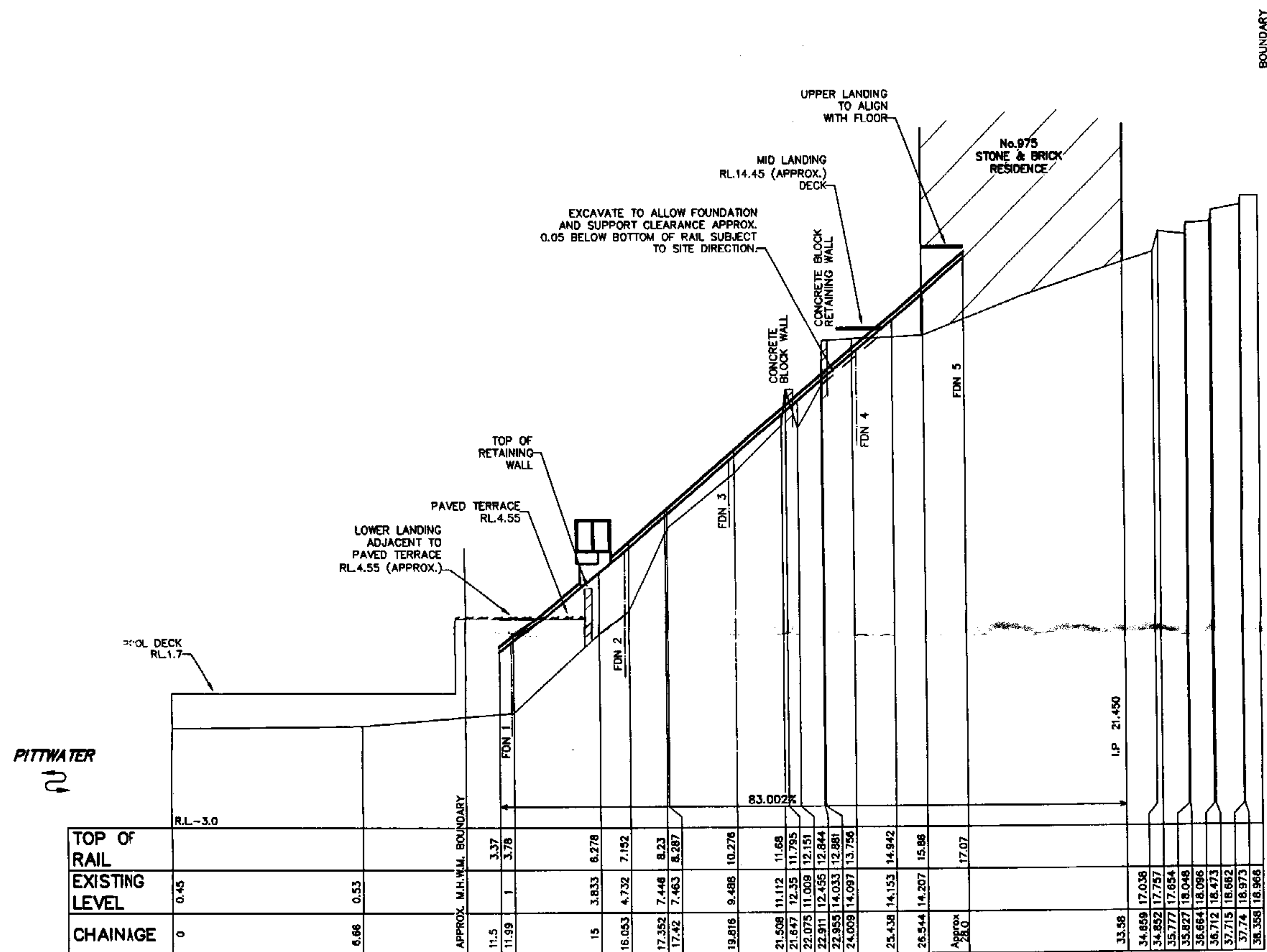
Membership No.

G.R. Wilson

R1600

10007

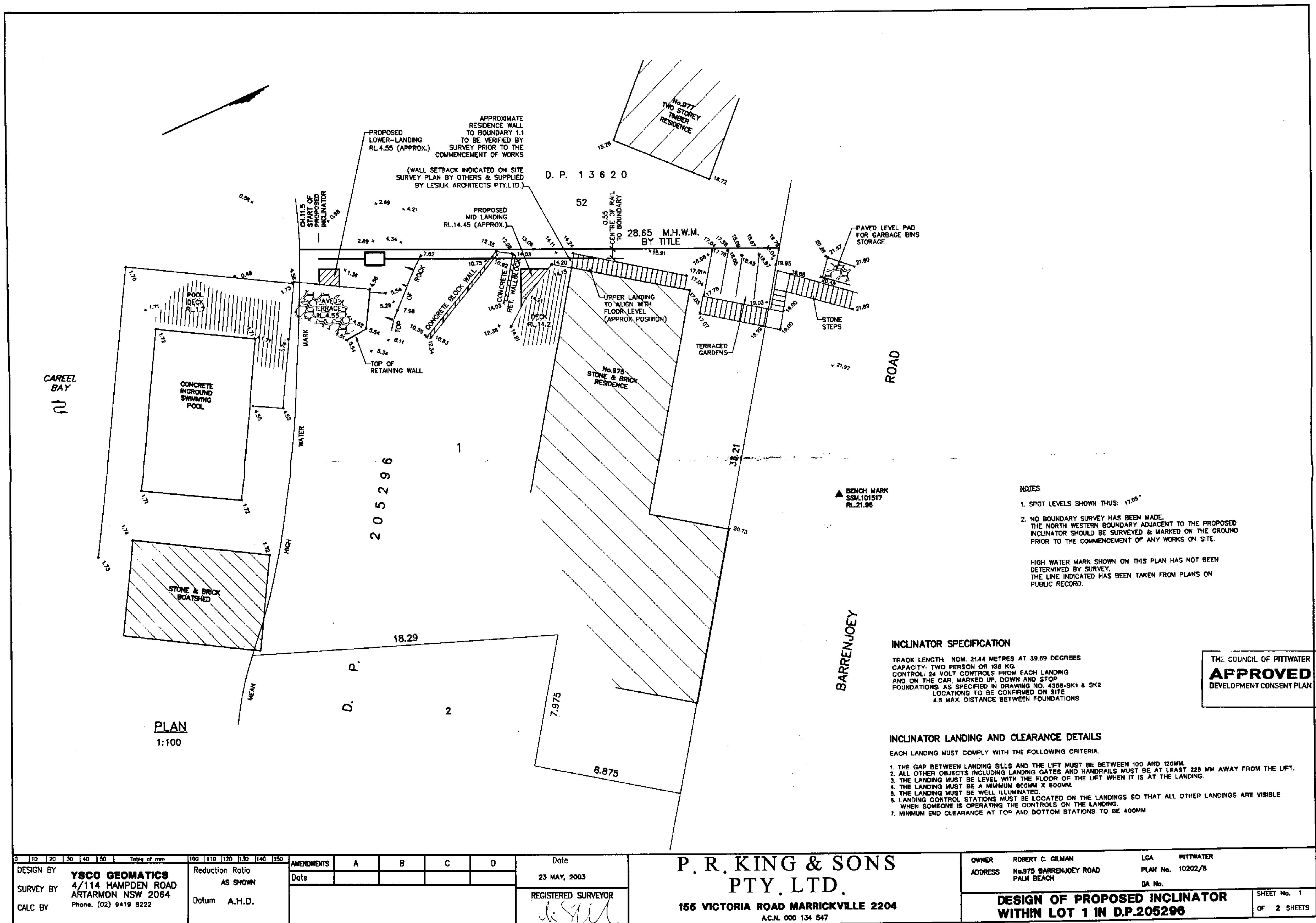




INCLINATOR LONG SECTION
1:100 (NAT.)

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

DESIGN BY YSCO GEOMATICS 4/114 HAMPDEN ROAD ARTARMON NSW 2064 Phone. (02) 9419 8222	Reduction Ratio AS SHOWN Datum A.H.D.	AMENDMENTS Date	A	B	C	D	Date 23 MAY. 2003 REGISTERED SURVEYOR <i>At School</i>	P. R. KING & SONS PTY. LTD. 155 VICTORIA ROAD MARRICKVILLE 2204 A.C.N. 000 134 547	OWNER ROBERT C. GILMAN ADDRESS No.975 BARRENJOEY ROAD PALM BEACH	LGA PITTWATER PLAN No. 10202/5 DA No.	DESIGN OF PROPOSED INCLINATOR WITHIN LOT 1 IN D.P.205296	SHEET No. 2 OF 2 SHEETS
--	---	--------------------	---	---	---	---	---	---	--	--	---	----------------------------



- NOTES
1. SPOT LEVELS SHOWN THUS: 17.05'
 2. NO BOUNDARY SURVEY HAS BEEN MADE. THE NORTH WESTERN BOUNDARY ADJACENT TO THE PROPOSED INCLINATOR SHOULD BE SURVEYED & MARKED ON THE GROUND PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE.
- HIGH WATER MARK SHOWN ON THIS PLAN HAS NOT BEEN DETERMINED BY SURVEY. THE LINE INDICATED HAS BEEN TAKEN FROM PLANS ON PUBLIC RECORD.

INCLINATOR SPECIFICATION

TRACK LENGTH: NOM. 2144 METRES AT 39.89 DEGREES
CAPACITY: TWO PERSON OR 136 KG.
CONTROL: 24 VOLT CONTROLS FROM EACH LANDING
AND ON THE CAR, MARKED UP, DOWN AND STOP
FOUNDATIONS: AS SPECIFIED IN DRAWING NO. 4356-SK1 & SK2
LOCATIONS TO BE CONFIRMED ON SITE
4.5 MAX. DISTANCE BETWEEN FOUNDATIONS

INCLINATOR LANDING AND CLEARANCE DETAILS

- EACH LANDING MUST COMPLY WITH THE FOLLOWING CRITERIA.
1. THE GAP BETWEEN LANDING SILLS AND THE LIFT MUST BE BETWEEN 100 AND 120MM.
 2. ALL OTHER OBJECTS INCLUDING LANDING GATES AND HANDRAILS MUST BE AT LEAST 225 MM AWAY FROM THE LIFT.
 3. THE LANDING MUST BE LEVEL WITH THE FLOOR OF THE LIFT WHEN IT IS AT THE LANDING.
 4. THE LANDING MUST BE A MINIMUM 600MM X 600MM.
 5. THE LANDING MUST BE WELL ILLUMINATED.
 6. LANDING CONTROL STATIONS MUST BE LOCATED ON THE LANDINGS SO THAT ALL OTHER LANDINGS ARE VISIBLE WHEN SOMEONE IS OPERATING THE CONTROLS ON THE LANDING.
 7. MINIMUM END CLEARANCE AT TOP AND BOTTOM STATIONS TO BE 400MM

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

DESIGN BY **YSCO GEOMATICS**
4/114 HAMPDEN ROAD
ARTARMON NSW 2064
Phone. (02) 9419 8222

Reduction Ratio
AS SHOWN
Datum A.H.D.

AMENDMENTS	A	B	C	D
Date				

Date
23 MAY, 2003
REGISTERED SURVEYOR
di Sull

P. R. KING & SONS
PTY. LTD.
155 VICTORIA ROAD MARRICKVILLE 2204
A.C.N. 000 134 547

OWNER ROBERT C. GILMAN LGA PITTWATER
ADDRESS No. 975 BARRENJOEY ROAD PLAN No. 10202/5
PALM BEACH DA No.
DESIGN OF PROPOSED INCLINATOR
WITHIN LOT 1 IN D.P. 205296

SHEET No. 1
OF 2 SHEETS