

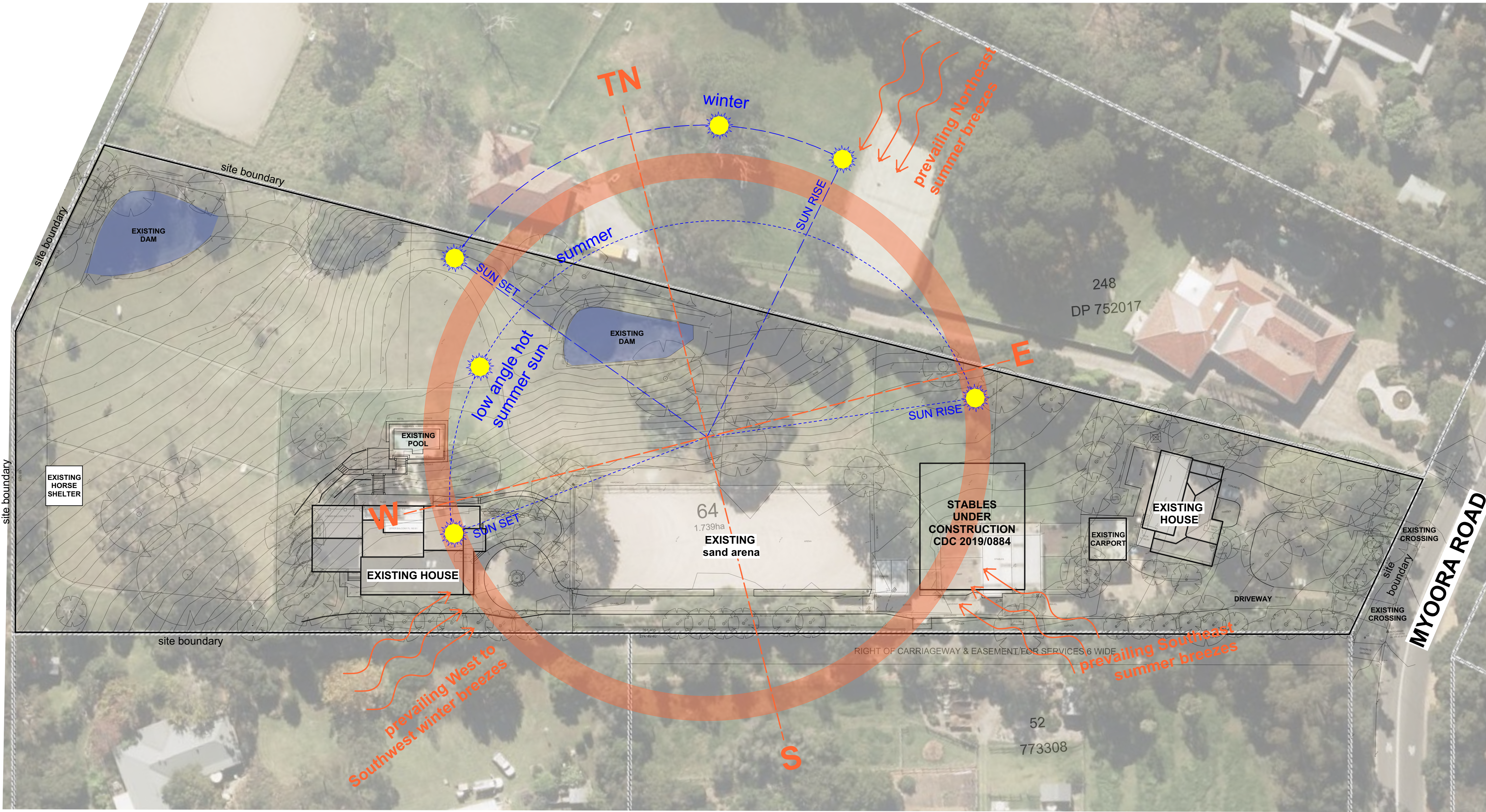
Drawing Register

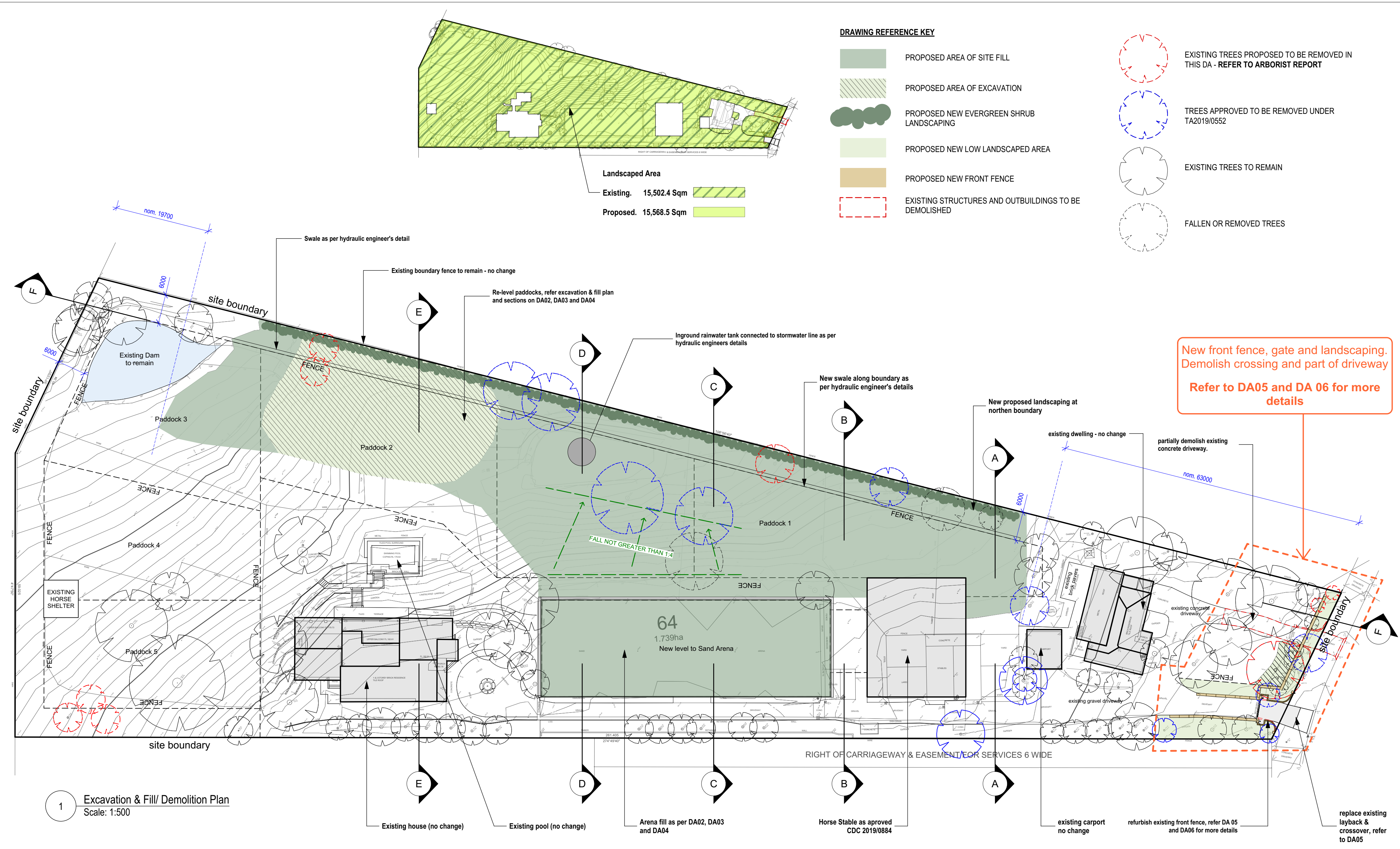
Issue Date
day 8
month 5
year 20

Drawing Number	Drawing Title	Revision	
DA 00	Drawing Register	-	-
DA 01	Site Analysis Plan 1:500	-	-
DA 02	Site / Landscape Plan 1:500	-	-
DA 03	Excavation & Fill Sections	-	-
DA 04	Excavation & Fill Sections	-	-
DA 05	Front Fence Plan 1:100	-	-
DA 06	Front fence details 1:50	-	-
		-	-
		-	-

Document Distribution:			
Client		-	-
Planner			
Arborist		-	-
Civil Engineer		-	-
Bushfire Consultant			
Geotech		-	-
Approval Authority		-	-
Cadence and co		-	-

- GENERAL BUILDING SPECIFICATION**
- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
 - Demolition works to be carried out in accordance with AS 2601.
 - All masonry work in accordance with AS 3700.
 - Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
 - All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
 - All carpentry work to conform to AS1684 for Light Timber Framing.
 - Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
 - All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
 - All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Design before proceeding.
 - Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.





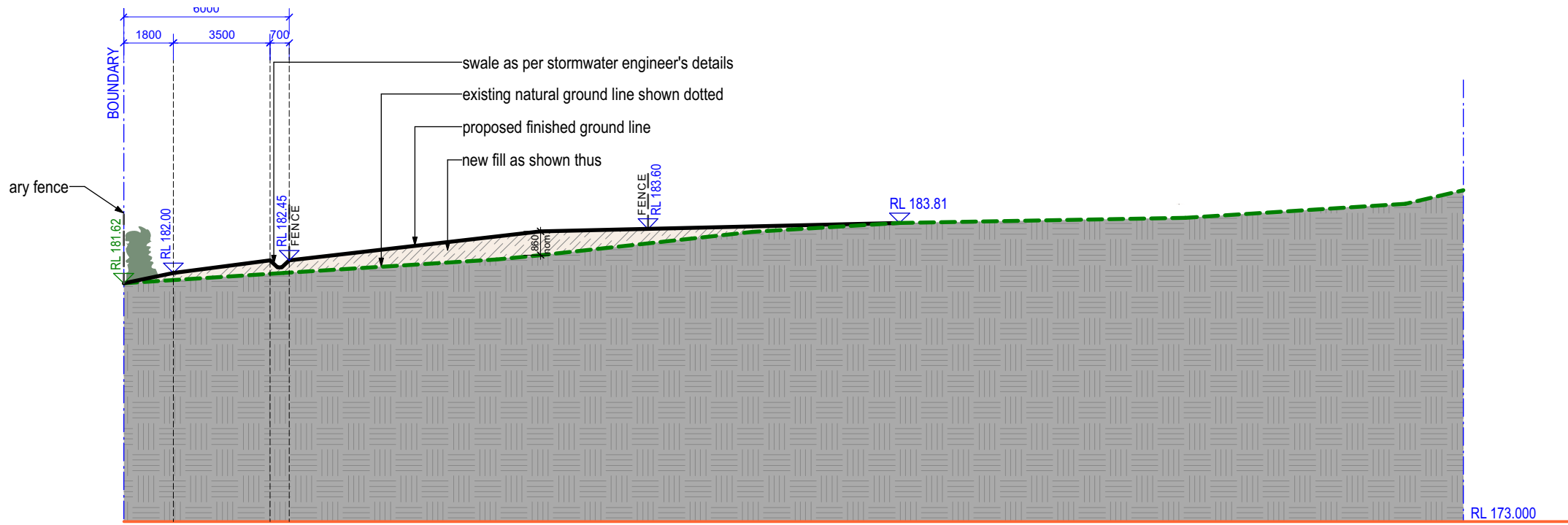
1 Excavation & Fill/ Demolition Plan
Scale: 1:500

New front fence, gate and landscaping.
Demolish crossing and part of driveway
Refer to DA05 and DA 06 for more details

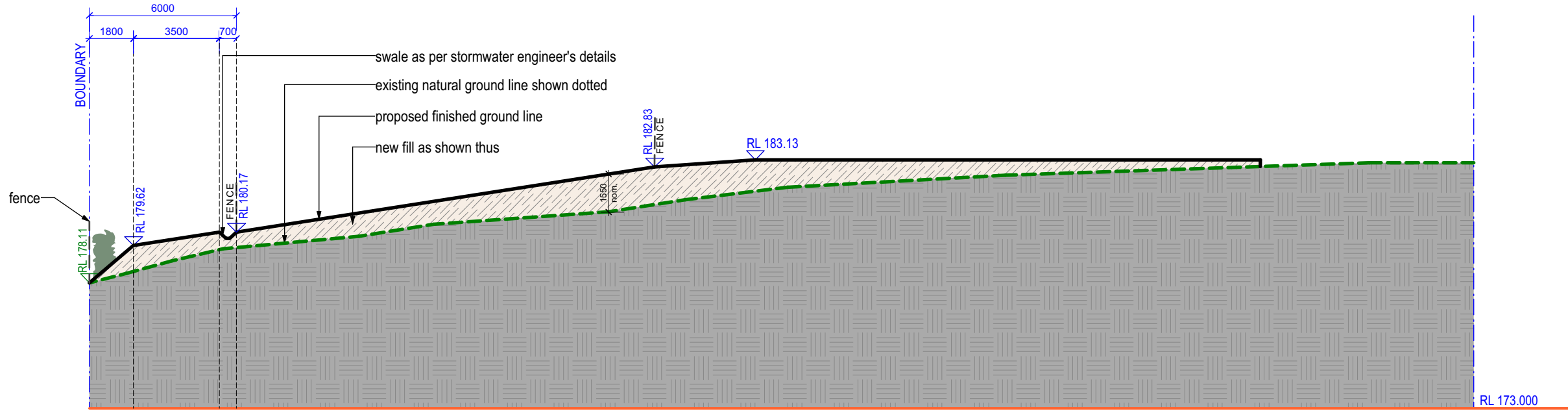
DRAWING NOTES:
- Paddic fencing to furture detail

DRAWING REFERENCE KEY

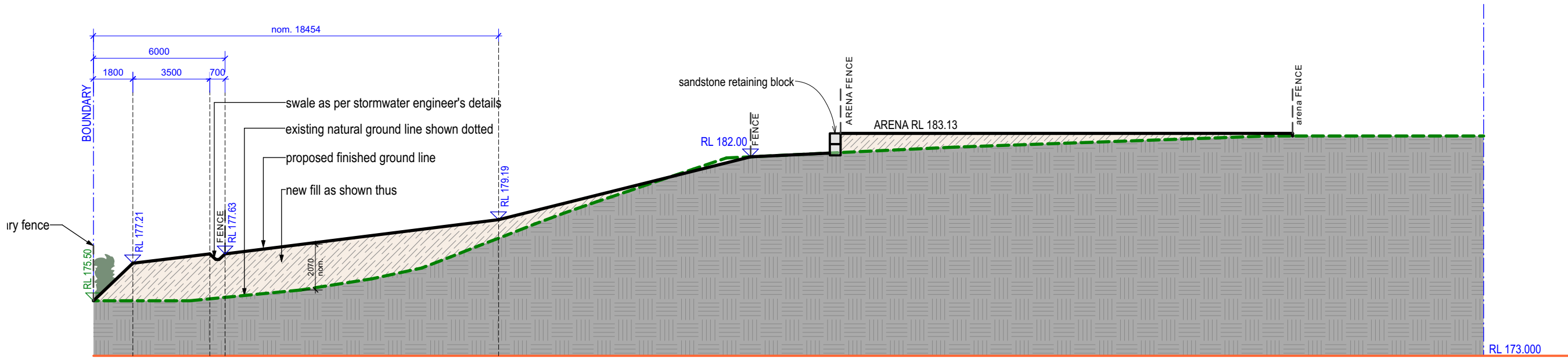
- PROPOSED AREA OF SITE FILL
- PROPOSED AREA OF EXCAVATION
- PROPOSED NEW EVERGREEN SHRUB LANDSCAPING



1 Section A-A
Scale: 1:200



2 Section B-B
Scale: 1:200



3 Section C-C
Scale: 1:200



CADENCE & CO DESIGN
PTY LTD
Suite 7, 287 Mona Vale Rd,
Terrey Hills, NSW, 2084,
P 94501950
E info@cadenceandco.com.au
ABN: 12 168 714 752
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REVISION	DATE	REVISION NOTE
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CLIENT:
Mr & Mrs FONSECA

PROJECT:
**15 MYOORA RD, TERREY HILLS
Being LOT 64 in D.P. 752017**

DRAWING:
Sections

PROJECT NO:
FON

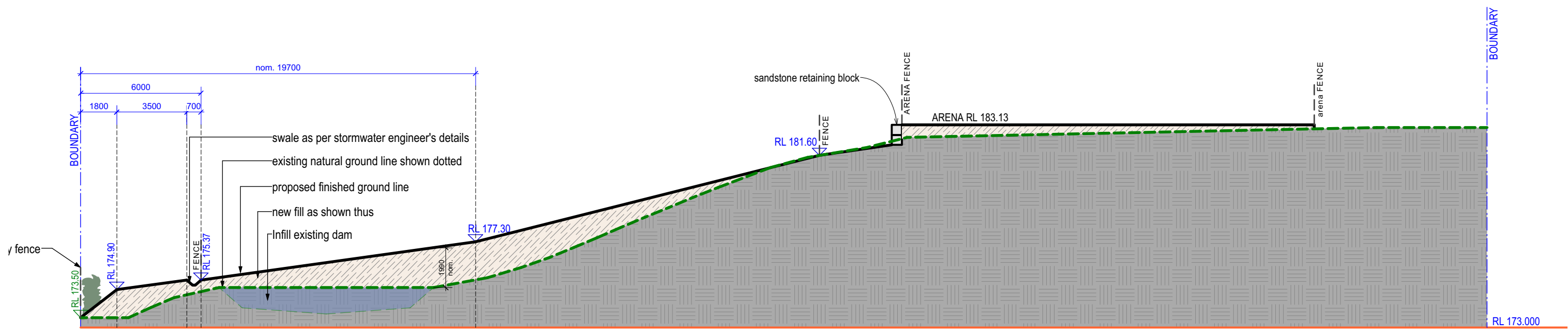
ISSUE TYPE:
PC2

DRAWN:	SHEET NO:
KR	DA03
CHKD:	SCALE @ A2: 1:200
ISSUE DATE: 06.05.20	REVISION:

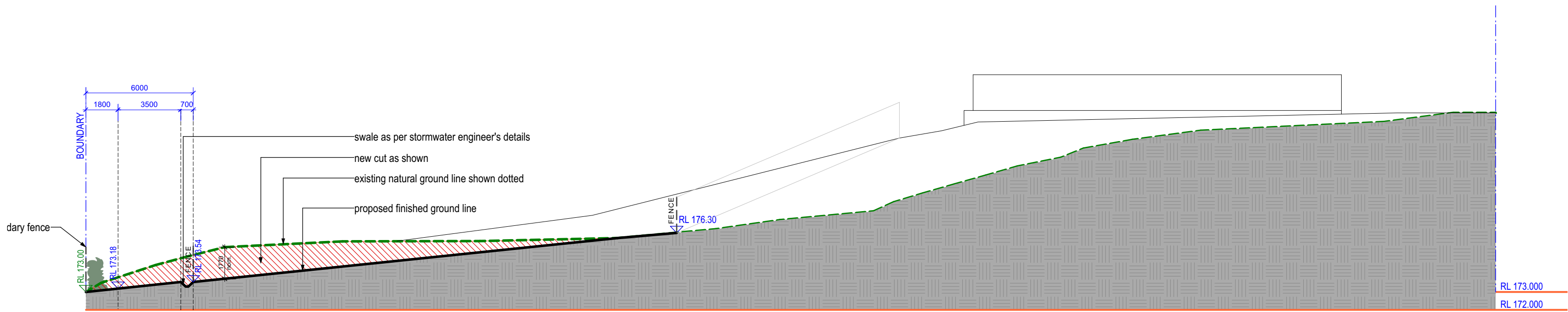
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

DRAWING REFERENCE KEY

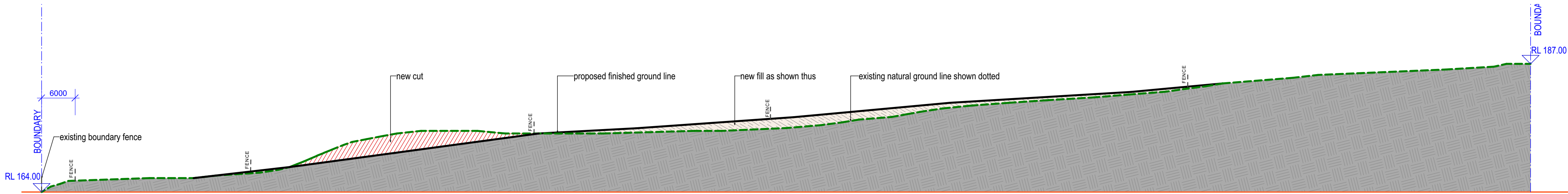
-  PROPOSED AREA OF SITE FILL
-  PROPOSED AREA OF EXCAVATION
-  PROPOSED NEW EVERGREEN SHRUB LANDSCAPING



1 Section D-D
Scale: 1:200



2 Section E-E
Scale: 1:200



3 Section F-F
Scale: 1:500
NOTE: check scale!



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REVISION DATE REVISION NOTE

CLIENT:
Mr & Mrs FONSECA

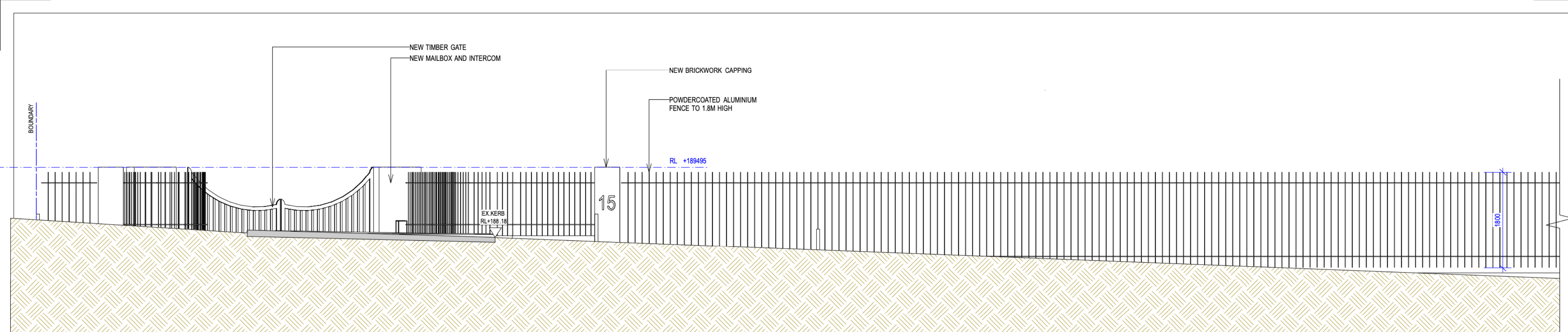
PROJECT:
**15 MYOORA RD, TERREY HILLS
Being LOT 64 in D.P. 752017**

DRAWING:
Sections

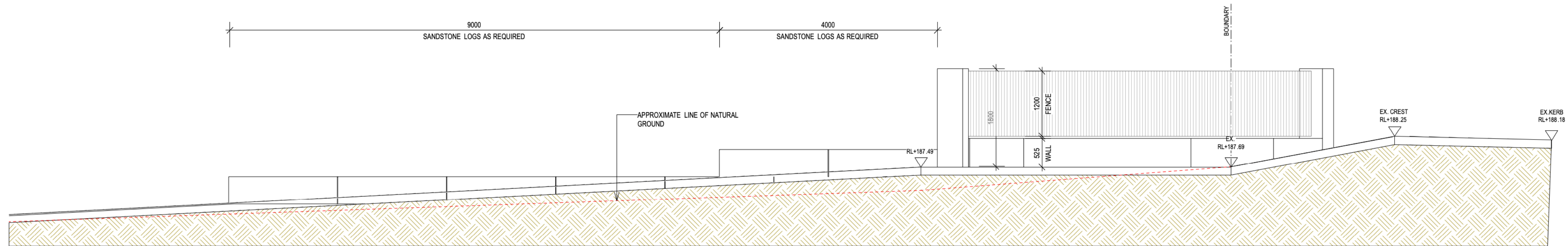
PROJECT NO:
FON ISSUE TYPE:
PC2

DRAWN:
KR SHEET NO:
DA04
CHKD: SCALE @ A2:
ISSUE DATE:
06.05.20 REVISION:

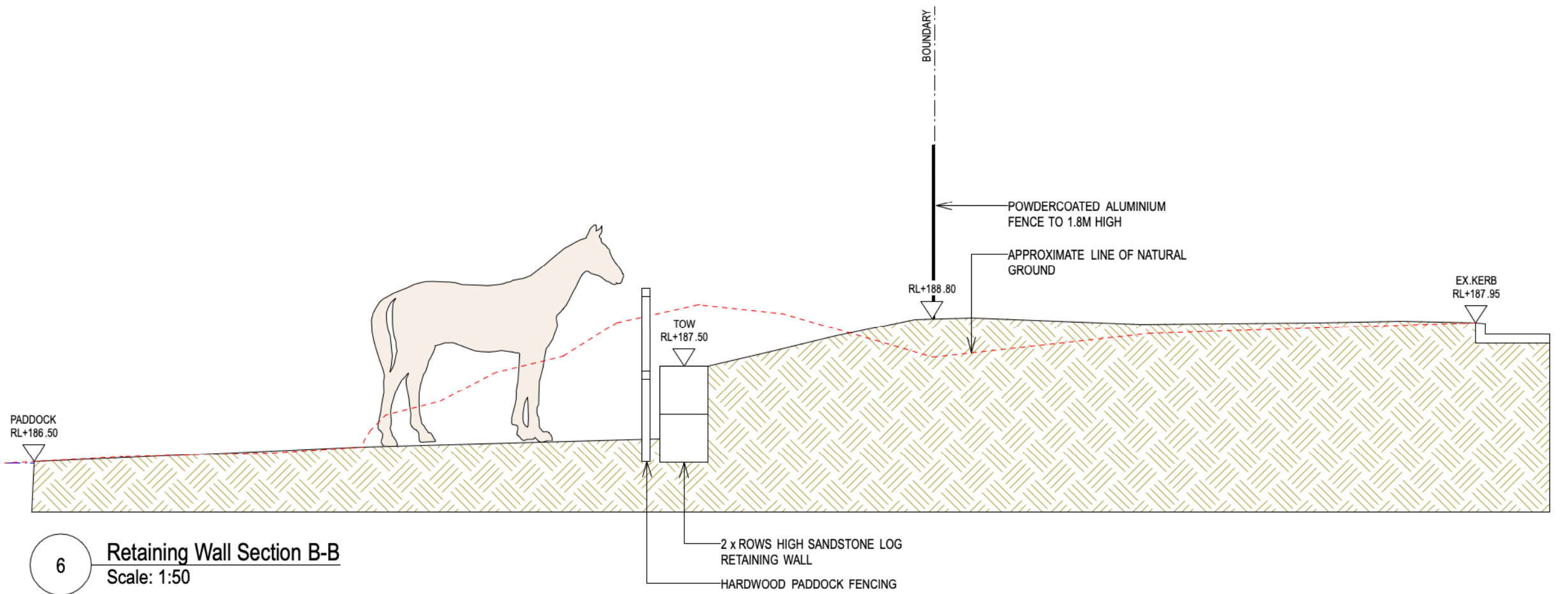
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWN'S & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



7 **True Street Elevation**
Scale: 1:50



5 **Driveway Section A-A**
Scale: 1:50



6 **Retaining Wall Section B-B**
Scale: 1:50



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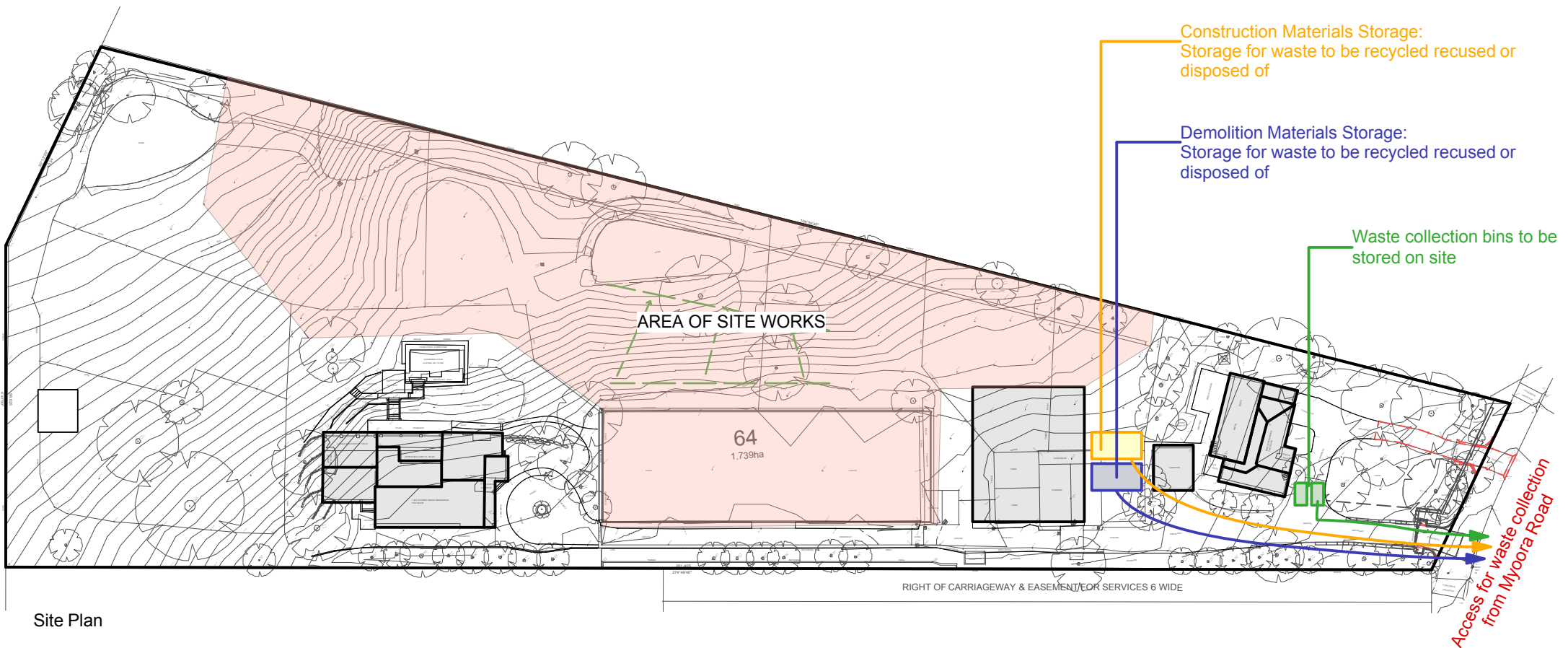
REVISION	DATE	REVISION NOTE

CLIENT:	Mr & Mrs FONSECA
PROJECT:	15 MYOORA RD, TERREY HILLS Being LOT 64 in D.P. 752017

DRAWING:	Front Fence Sections
PROJECT NO:	FON
ISSUE TYPE:	PC2

DRAWN:	NG	SHEET NO:	DA06
CHKD:		SCALE @ A2:	1:50
ISSUE DATE:	06.05.20	REVISION:	

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



Key



Construction 9x5 m area allocated for storage for building materials - to be fully within site. To contain dedicated area for recycled materials and clearly signed.



Demolition 9x5 m area allocated for storage for demolition materials - to be fully within site. To contain dedicated area for recycled materials and clearly signed.



6 cubic meter skip bins to be located close to front of site. Access for waste collection off Myoora Road.

For Ongoing operation: as per existing waste management plan. no change in ongoing waste operation after finalisation of works proposed on this DA