



Application For Construction Certificate

Made under the Environmental Planning and Assessment Act 1979
(Sections 109C(1b), 81A(5) and 109F)



Address the application to:

- ☐ The General Manager
Warringah Council
Civic Centre, 725 Pittwater Rd
Dee Why NSW 2099

Or

- ☐ Customer Service Centre
Warringah Council
DX 9118 Dee Why

If you need help lodging your application:

- ☐ Phone our Customer Service Centre on (02) 9942 2111 or come in and talk to us

Office Use Only

CC2013/0141

DA2012/11525

LN100190720

June 12

For applicable fees and charges, please refer to Council's website: www.warringah.nsw.gov.au or contact our Customer Service Centre.

Privacy and Personal Information Protection Notice

The personal information requested in this form is required by or under the Environmental Planning and Assessment Act 1979 and will only be used by Warringah Council in connection with the requirements of that Act and any other relevantly applicable legislation relating to the subject-matter of this application. The information is being collected for the following purposes, namely, to enable us to (1) process and determine your application; (2) contact you in relation to your application should that be necessary; and (3) keep the public informed by making the application publicly accessible. If you do not provide the information, Council will not be able to process your application, and your application will be rejected.

Your application will be available to Councillors and Council Officers. Members of the public have certain rights of access to information and documents held by Council under the Government Information (Public Access) Act 2009 (GIPA), and under the Privacy Information Protection Act 1998 (NSW) to the extent permitted by those Acts

Warringah Council is to be regarded as the agency that holds the information, which will be stored on Council's records management system or in archives and may be displayed on eServices (except as regards to personal particulars). You have a right to access information within the meaning of the Privacy and Personal Information Protection Act 1998 (NSW) on application to Council, and to have that information updated or corrected as necessary. Please contact Warringah Council if the information you have provided is incorrect or changes or if access is otherwise sought to the information. In addition, a person may request that any material that is available (or is to be made available) for public inspection by or under the Local Government Act 1993 (NSW) be prepared or amended so as to omit or remove any matter that would disclose or discloses the person's place of living if the person considers that the disclosure would place or places the personal safety of the person or of members of the person's family at risk. Any such request must be made to Council's General Manager: see s.739 of the Local Government Act 1993 (NSW).

Part 1 Summary Applicant(s) Details

Applicant(s) name

CMC SIGNS

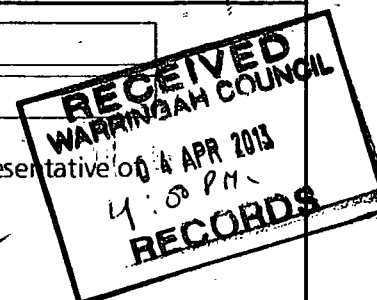
Owner(s) name

ASSOCIATED FINANCE PTY LTD

If any owner/applicant of this development application is a current employee or elected representative of Warringah Council.

Warringah Council employee Yes ☐ No ☒ Elected representative Yes ☐ No ☒

Full applicant details to be completed in Part 3 of the application form.



1 of 10

PART 1 Site Details**1.1 Location of property**

We need this to correctly identify the land.

Unit no. ☐House no. **790**Street **PITTWATER ROAD**

Suburb

BROOKVALE NSWProperty description
(e.g. Lot/DP, etc)**LOT 101 / DP1010556****1.2 Description of work**

Type

☒ Building Work☐ Subdivision work

Please describe briefly everything that you want approved by the Council, including signs, hours of operation, use, subdivision, demolition etc.

INSTALLATION OF STEEL FASCIA TRUSS SECTIONS TO EXISTING UC BEAM, PFC & PURLINS. INSTALLATION OF BRAND & DEALER NAME FASCIA SIGNAGE AND 6.3M HIGH TRI-BRAND PYLON SIGN

1.3 Estimated cost of work

Must be signed

Estimated cost of work

\$140,000.00

The estimated cost of development or contract price is subject to a check by Council before final acceptance.

Council reserves the right to seek justification of the estimated cost from the applicant or by an appropriately qualified person.

NAME (printed), & qualification SIGNATURE of qualified person certifying value of work

1.4 Development consent

Consent number

DA (Year) **2012** / (Number) **1525**

Date of determination

25/02/2013**1.5 Building Code of Australia**

BCA classification

10b

This information is nominated on your development consent.

1.6 Builder details

If known. To be completed in the case of residential building work.

Name

Licence number

Or

Owner-builder permit

1.7. Collection of determination

Do you seek to collect the determination from Council?

YES
☐NO
☒

Note You are advised that if you do not collect the determination from Council, it will be sent via standard post. If the determination is lost/misplaced Council will charge a fee for copying the determination in accordance with Council's adopted fees and charges schedule (this process can take up to 10 working days)

This section is not made electronically available on e Services**PART 2 Applicant(s) Details**

Applicant(s) details

Mr ☐Mrs ☐Ms ☐Other ☒

It is important that we are able to contact you if we need more information.

Full family name(s) (no initials) (or company)

CMC BRANDING PTY LTD T/AS CMC SIGNS

Please give us as much detail as possible.

Full given names (no initials) (or A.C.N)

ACN: 145 993 031

Postal address

We will post all letters to this address

P.O. Box 8056

COFFS HARBOUR

Postcode 2450

Phone number

(02) 6658 1000

Alternate

(02) 6658 1156

Mobile number

0419 217 729

Facsimile

(02) 6658 1099

Contact person

MARY HARRIGAN

Person who may be contacted to discuss the application during business hours

PART 3 Owner(s) Consent

Owner(s) consent

Owner(s)

ASSOCIATED FINANCE PTY LTD

Council cannot grant consent if owner(s) consent is not provided.

Address

P.O. Box 199

FORTITUDE VALLEY, QLD 4006

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for authorised Council officers to enter the land to carry out inspections relating to this application. I/We accept that all communication regarding this application will be through the nominated applicant(s).

Signature(s)

SEE ATTACHED LETTER OF CONSENT

Every owner of the land must sign this form.☐

Company / Organisation

If the owner is a company, owner's consent is to be provided in one of the following ways:

- Execution of owner's consent form (or other document to the same effect) in accordance with s 127 (1) of the Corporations Act 2001.
- Common seal affixed to, and execution of, owner's consent form (or other document to the same effect) in accordance with s 127 (2) of the Corporations Act 2001.

Together with an up to date ASIC Company Extract and other relevant supporting documentation.

☐

New owner(s)

If the property has recently been sold, documentary evidence of the sale must be provided. Please provide one of the following:

- A copy of the Certificate of Title.
- A letter from your solicitor confirming settlement.
- Previous owner(s) to provide owner(s) consent.

☐

Strata Title / Owner's Corporation

If the property is a unit under strata title or a lot in a community title, then in addition to the owner(s) signature the following must be provided if any works are proposed on common property:

- The common seal of the owner's corporation must be stamped on this form over the signature of the owner(s) and signed by the chairman or secretary of the owner's corporation or the appointed managing agent.
- A letter on strata management letterhead.
- Minutes signed by the Owner's Corporation, clearly stating the words "Support for lodgement of a Development Application".

☐

Signing on owner(s) behalf

If you are signing on the owner(s) behalf as the owner(s) legal representative, you must state the nature of your legal authority and attach documentary evidence (e.g. Power of attorney, executor, trustee, company director, etc).

☐

Joint wall / Fence

When works affect a joint wall or fence, consent of all property owners is required (e.g. Semi-detached or terrace dwelling and boundary fences).



Warringah Council

Construction Certificate Checklist

REQUIRED

SUPPLIED

REQUIRED	SUPPLIED
	YES NO - WHY NOT
☒ DEVELOPMENT CONSENT COMPLIANCE STATEMENT (2 copies) An itemised statement of compliance with all relevant conditions of your development consent. The conditions of your development consent will specify what additional information is required to lodge a construction certificate application.	☒ ☐
☒ PLANS (2 copies) Plans must be drawn to scale and the scale identified on each plan. Free hand, single line or illegible drawings will not be accepted. Two coloured copies of all plans must be submitted with your application The following information should be included on all plans and documents: ☐ Applicant(s) name(s), block/house/shop/flat number, street/road name, town or locality ☐ Lot number, section number, DP number. (Found on rates notice or land title) ☐ Measurement in metric ☐ The position of true north ☐ Building, or parts of building, to be demolished to be indicated in outline ☐ Draftsman/Architect name and date ☐ Coloured on elevations/sections	☒ ☐
☐ SURVEY PLAN (2 copies) Information should include: ☐ Plan to scale ☐ Plan to show all existing structures ☐ Plan to show all trees greater than 5m in height and/or 3m in canopy spread. The exact location of any such tree, the relative level (RL) at its base and its height and canopy spread. ☐ Location/position of all buildings/structures on adjoining land (showing street number and street address) and ridge heights of those buildings or structures at the boundary ☐ Show the levels of the lowest floor, and of any yard or unbuilt area belonging to that floor, and the levels of the adjacent ground ☐ Levels – contour and spot levels (drawn at Australian Height Datum) ☐ Easements and rights of way (Council and private)	☐ ☐
SITE PLAN (2 copies) A site plan is a birds-eye view of the existing and proposed development on the site and its position in relation to boundaries and neighbouring developments. A site plan should include: ☒ Drawings to scale ☐ Location of the new and existing buildings in relation to site boundaries ☐ Location/position of all buildings/structures on adjoining land (showing street number and street address) ☐ Location of any existing and proposed fences and landscaping features such as swimming pool, retaining walls, paved areas and driveways ☐ Relative location of adjoining building ☐ Location of any adjoining owner windows facing your development ☐ Levels – contour and spot levels ☐ Easements and rights of way including common or party walls ☐ Existing stormwater drainage location	☒ ☐

REQUIRED	SUPPLIED
SITE PLAN Cont. ☐ Location of vehicle access and car parking (indicating extent of cut and fill and gradients). Engineering details may be required ☐ Locality boundaries if multiple localities apply ☐ Site safety and security fencing during construction Measurements including: ☐ Length, width and site area of land, both existing and proposed ☐ Width of road reserve ☐ Distance from external walls and outermost part of proposed building to all boundaries ☐ Approximate distance from proposed building to neighbouring buildings SUBDIVISION, DRAINAGE AND ROADWORKS (2 copies) If you are going to carry out work to do a subdivision (eg building roads or a stormwater drainage system): ☐ The details of the existing and proposed subdivision pattern (including the number of lots and the location of roads) ☐ The details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage) ☐ The existing ground levels and the proposed ground levels when the subdivision is completed ☐ Copies of any compliance certificates on which you rely ☐ Detailed engineering plans (3 copies). The detailed plans might include the following: ☐ Earthworks ☐ Roadworks ☐ Road pavement ☐ Road furnishings ☐ Stormwater drainage (including on-site detention works/ water quality control ponds) ☐ Water supply works ☐ Sewerage works ☐ Landscaping works ☐ Construction ☐ Management run ☐ Traffic management plan ☐ Soil and water management plan ☐ Stormwater or on-site detention drainage plans in accordance with Council's "on-site stormwater detention specification" IIsax or drains model ☐ FLOOR PLAN (2 copies) A floor plan is a birds-eye view of your existing and/or proposed layout of rooms within the development. Floor plans should include: ☐ Drawings to scale ☐ Outline of existing building/development on site (shown dotted) ☐ Room names, areas and dimensions ☐ Window and door locations and sizes ☐ Floor level and steps in relative levels (RLs) ☐ Access for persons with a disability (if in a new public building) ☐ Location of plumbing fixtures (where possible) ☐ Wall structure type and thickness	YES NO - WHY NOT ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐

REQUIRED	SUPPLIED
ELEVATION PLAN (2 copies) ☐ Elevation plans are a side on view of your proposal. Drawings of all affected elevations (north, south, east and west facing) of your development need to be included in your application. Elevation plans should include: ☐ Drawings to scale ☐ Outline of existing building/development on site (shown dotted) ☐ Location/position of all buildings/structures on adjoining land (showing street number and street address) ☐ Exterior cladding type and roofing material/colour ☐ Window sizes and location ☐ Stormwater drainage pipes (downpipes and gutter) ☐ Chimneys, flue exhaust vents, duct inlet or outlet ☐ Reduced levels (AHD) for ridge and floor as a minimum	YES NO - WHY NOT ☐ ☐
☐ SECTION PLAN (2 copies) A section is a diagram showing a cut through the development at the most typical point. Sections should include: ☐ Drawings to scale ☐ Outline of existing building/development on site (shown dotted) ☐ Section names and where they are shown on plan (ie A/A B/B etc) ☐ Room names ☐ Room and window heights ☐ Details and chimneys, fire places and stoves ☐ Roof pitch and covering ☐ Site works, finished and proposed floor and ground levels in relative levels (RLs) (indicate cut, fill and access grades) ☐ Stormwater or on-site detention drainage plans in accordance with Council's "on-site stormwater detention specification" Ilax or drains model	☐ ☐
☐ SPECIFICATIONS AND STRUCTURAL DETAILS (2 copies) A specification is a written statement that should include as a minimum: ☐ The construction of the building to specific BCA standards and materials to be used ☐ Type and colour of external finishes ☐ Whether the materials will be new or second-hand, and if second-hand materials are to be used, particulars ☐ The method of drainage, effluent disposal and provision of water supply ☐ Any other details relevant to the construction of the building Note: Three copies of the specification must be supplied	☐ ☐
☒ ADVERTISING STRUCTURE/SIGN (2 copies) If you are planning to erect an advertising structure or sign, you will need to supply the following: ☐ Details of the structure, materials to be used and how it will be fixed to the building ☐ Its size, colours, lettering and overall design ☐ The proposed location shown on a scale plan and building elevation ☐ The amount and extent of light spill	☒ ☐
☐ FIRE SAFETY MEASURES SCHEDULE (2 copies) ☐ Proposed alterations to existing building (BCA Classes 2 to 9) to be accompanied by a fire safety measures schedule listing all existing and those proposed to be installed in the building including the standard of performance ☐ For a new development (BCA Classes 2 to 9) a fire safety measures schedule listing all those proposed to be installed including the standard of performance	☐ ☐

REQUIRED	SUPPLIED
	YES NO - WHY NOT
☐ RESIDENTIAL FLAT BUILDINGS - DESIGN VERIFICATION Provide a design verification from a qualified designer in which the development application was required under clause 50(1A) of the Environmental Planning and Assessment Act, 1979. The design quality principles are set out in Part 2 of State Environmental Planning Policy No. 65 'Design Quality of Residential Flat Developments.'	☐ ☐
☐ HOME BUILDING ACT REQUIREMENTS In the case of an application for a construction certificate for residential building work (within the meaning of the Home Building Act 1989) attach the following: In the case of work by a licensee under the Act: ☒ A statement detailing the licensee's name and contractor licence number ☒ Documentary evidence that the licensee has complied with the applicable requirements of the Act In the case of work done by another person: ☒ A statement detailing the person's name and owner-builder permit number ☒ A declaration signed by the owner of the land, to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of owner-builder work in section 29 of the Act A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements of that Part.	☐ ☐
☐ BASIX CERTIFICATE (2 copies) Applies to Classes 1, 2 and 4. A Basix certificate is required for all residential new dwellings and alterations and additions to residential dwellings, swimming pools and spas exceeding prescribed value. Where a DA has been issued without a Basix certificate, the following must be provided: ☒ Submission of the Basix certificate and assessor certificate (when simulation method is being used) ☒ Details of commitments in the Basix certificate shown on plans and specifications ENERGY EFFICIENCY (Section J, Building Code of Australia) Applies to Classes 3 and 5 to 9 buildings. Details of commitment to be shown on plans and specifications.	☐ ☐
FIRE SAFETY Class1a building must show the location of all hard-wired smoke alarms. Class 2 to 9 building, please provide: ☒ Existing and proposed Fire Safety Schedules ☒ Plans showing detail and location of the essential fire services ☒ Where an alternative solution is being used, provide details or the performance requirements that the alternative solution is intended to meet (2 copies) ☒ Detail of assessment methods used to establish compliance "deem to satisfy" ☒ Evidence of accreditation, component, process or design that is to be relied upon as part of the proposed work. The list must describe the extent, capabilities and basis of the design of each of the measures ☒ The submission of alternative solutions must be submitted by a Level 1 (unconditional) accredited certifier	☐ ☐

CMC SIGNS



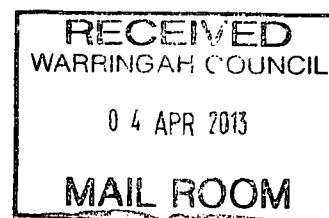
CMC BRANDING
PTY LTD

ABN: 19 145 993 031
Email: info@cmcsigns.com.au
Ph: (02) 6658 1000
Fax: (02) 6658 1099

ACN: 145 993 031
34 Hulberts Road, Sawtell, NSW, 2452
PO Box 8056, Coffs Harbour, NSW, 2450

2 April 2013

The General Manager
Warringah Council
Civic Centre
725 Pittwater Road
Dee Why, NSW 2099



Dear Sir

Re: APPLICATION FOR CONSTRUCTION CERTIFICATE – REF. DA 2012/1525

With reference to Council's Notice of Determination to SPS Brand Management on 25 February 2013, I wish to advise that all fascia and signage works plus the pylon sign have been manufactured in accordance with Australian Standards, refer to attached documentation.

Regarding illumination intensity of the signage, the light spill is limited to 200mm.

The following documentation is attached for submission to Council for a Construction Certificate for signage works to be completed at 790 Pittwater Road, Brookvale, NSW.

- Application for Construction Certificate
- Long Service Levy Payment Receipt 134708
- Statement of Compliance
- Owners Consent
- Current Company Extract of the Owner
- Sydney Water Approved Site Plan – 2 copies
- Dial Before You Dig Enquiry and Plans of Services
- Engineer's Plans
- Engineer's Certification

Should you require any further information or documentation please do not hesitate to contact me on 6658 1000 or 0419 217 729

Kind regards

Mary Harrigan
Encl.



CMC BRANDING
PTY LTD

ABN: 19 145 993 031
Email: info@cmcsigns.com.au
Ph: (02) 6658 1000
Fax: (02) 6658 1099

ACN: 145 993 031
34 Hulberts Road, Sawtell, NSW, 2452
PO Box 8056, Coffs Harbour, NSW, 2450

27 March 2013

The General Manager
Warringah Council
Civic Centre
725 Pittwater Rd
Dee Why, NSW 2099

Dear Sir

**RE: DA 2012/1525 – Lot 101 DP 1010556, 790 Pittwater Road, BROOKVALE NSW 2100
SIGNAGE – STATEMENT OF COMPLIANCE**

According to Conditions outlined in the Notice of Determination received by SPS Brand Management and dated 25 February 2013, I wish to advise the following

Condition 5. Compliance with Standards

Condition 6. Sewer / Water Quickcheck – Approved plans stamped by Sydney Water

Condition 8. Illumination Intensity and design – Sign logos and graphics are internally illuminated using light emitting diodes (LEDs). Light spill is limited to an area of approximately 200mm around the edge.

Kind regards

Mary Harrigan

**Long Service**
CORPORATION

Levy Online Payment Receipt

Building and Construction

CMC SIGNS
34 HULBERTS ROAD
SAWTELL NSW 2452

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

Application Details:

Applicant Name:	CMC SIGNS
Levy Number:	5041794
Application Type:	CC
Application Number:	2012/1525
Approving Authority:	WARRINGAH COUNCIL

Work Details:

Site Address:	790 PITTWATER ROAD BROOKVALE NSW 2100
Value of work:	\$140,000
Levy Due:	\$490.00

Payment Details:

LSC Receipt Number:	134708
Payment Date:	2/04/2013 11:55:27 AM
Bank Payment Reference:	695180976
Levy Paid:	\$490.00
Credit card surcharge:	\$1.96
Total Payment Received:	\$491.96



ASIC

Australian Securities & Investments Commission

Current Company Extract

Name: ASSOCIATED FINANCE PTY. LIMITED

ACN: 009 677 678

Date/Time: 01 March 2013 AEST 11:23:00 AM

This extract contains information derived from the Australian Securities and Investments Commission's (ASIC) database under section 1274A of the Corporations Act 2001.

Please advise ASIC of any error or omission which you may identify.

EXTRACT

Organisation Details	Document Number
Current Organisation Details	
Name: ASSOCIATED FINANCE PTY. LIMITED	DP0161N
ACN: 009 677 678	
ABN: 76009677678	
Registered in: Queensland	
Registration date: 28/06/1956	
Next review date: 17/04/2013	
Name start date: 28/06/1956	
Previous state number: 56B00281F	
Status: Registered	
Company type: Australian Proprietary Company	
Class: Limited By Shares	
Subclass: Proprietary Company	

Address Details	Document Number
Current	
Registered address: 80 McLachlan Street, FORTITUDE VALLEY QLD 4006	0E2596997
Start date: 13/10/1998	
Principal Place Of Business address: 80 McLachlan Street, FORTITUDE VALLEY QLD 4006	015009308
Start date: 02/11/1998	
Contact Address	
Section 146A of the Corporations Act 2001 states 'A contact address is the address to which communications and notices are sent from ASIC to the company'.	
Address: PO BOX 199, FORTITUDE VALLEY QLD 4006	
Start date: 28/06/2003	

Officeholders and Other Roles	Document Number
Director	
Name: NICHOLAS GEORGE POLITIS	016540448
Address: Unit 75, 7 Macquarie Street, SYDNEY NSW 2000	
Born: 25/08/1941, , GREECE	
Appointment date: 05/05/2000	
Name: BENJAMIN WICKHAM MACDONALD	0E7164713
Address: 14 Gerald Street, ASCOT QLD 4007	
Born: 24/04/1933, BRISBANE, QLD	
Appointment date: 01/07/1987	
Name: PETER WILLIAM HENLEY	7E0949621
Address: '1', 3 North Road, BRIGHTON VIC 3186	
Born: 29/10/1946, BRISBANE, QLD	
Appointment date: 08/12/2006	
Name: DANIEL THOMAS RYAN	7E3238844
Address: 23 Alexandra Street, DRUMMOYNE NSW 2047	

Current Company Extract

ASSOCIATED FINANCE PTY. LIMITED

ACN 009 677 678

Born:	08/07/1957, MELBOURNE, VIC	
Appointment date:	01/01/2010	
Name:	MARTIN ANDREW WARD	7E4635616
Address:	42 Portside Place, BULIMBA QLD 4171	
Born:	27/01/1963, CARSHALTON, UNITED KINGDOM	
Appointment date:	06/03/2006	
Secretary		
Name:	DENIS GERARD STARK	7E4736357
Address:	88 Rome Street S, YERONGA QLD 4104	
Born:	15/07/1968, BRISBANE, QLD	
Appointment date:	01/02/2008	
Ultimate Holding Company		
Name:	A.P. EAGERS LIMITED	004806669
ACN:	009 680 013	
ABN:	87009680013	

Share Information

Share Structure

Class	Description	Number issued	Total amount paid	Total amount unpaid	Document number
ORD	ORDINARY SHARES	20003	40006.00	0.00	0967767A

Members

Note: For each class of shares issued by a proprietary company, ASIC records the details of the top twenty members of the class (based on shareholdings). The details of any other members holding the same number of shares as the twentieth ranked member will also be recorded by ASIC on the database. Where available, historical records show that a member has ceased to be ranked amongst the top twenty members. This may, but does not necessarily mean, that they have ceased to be a member of the company.

Name: A.P. GROUP LTD
ACN: 010 030 994
Address: 80 McLachlan Street, FORTITUDE VALLEY QLD 4006

Class	Number held	Beneficially held	Paid	Document number
ORD	20003	yes	FULLY	0E5341828

Documents

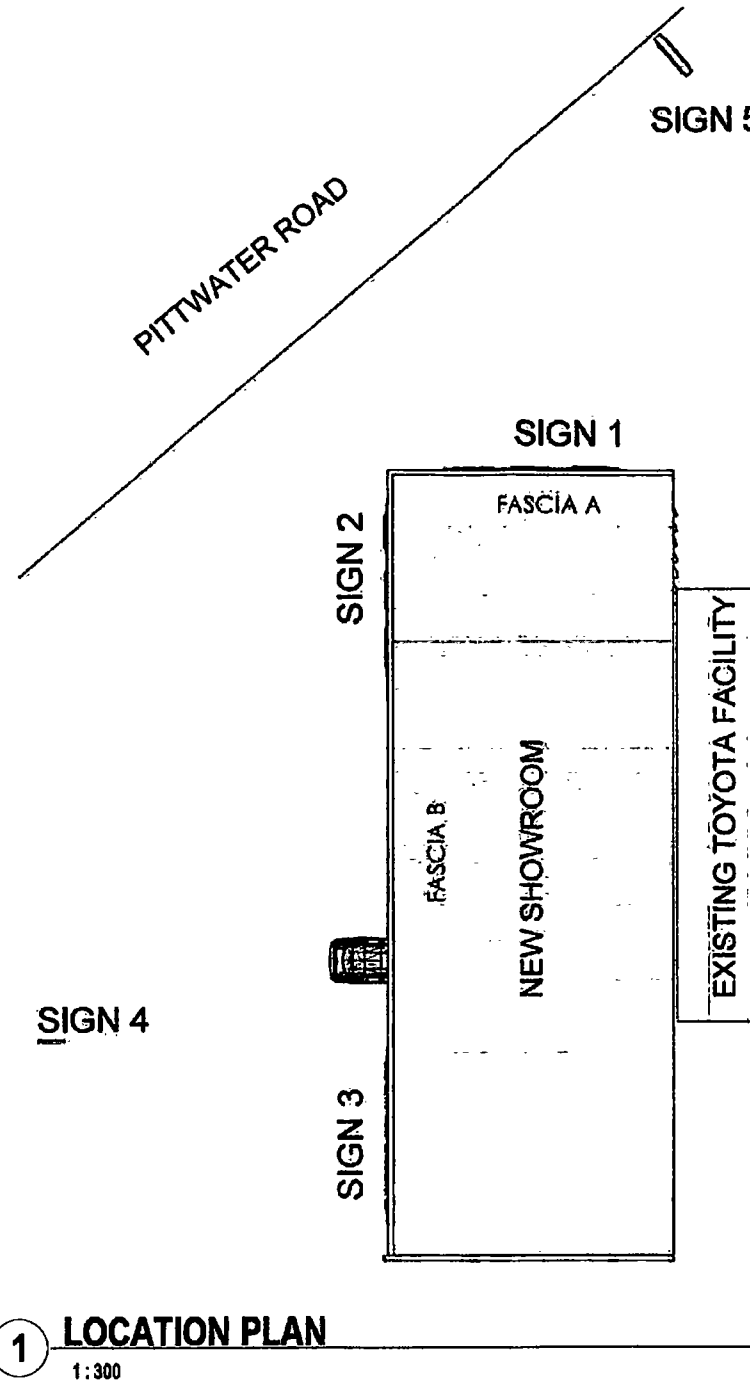
Note: Where no Date Processed is shown, the document in question has not been processed. In these instances care should be taken in using information that may be updated by the document when it is processed. Where the Date Processed is shown but there is a zero under No Pages, the document has been processed but a copy is not yet available.

Date received	Form type	Date processed	Number of pages	Effective date	Document number
19/10/2010	484A1 Change To Company Details Change Officeholder Name Or Address	19/10/2010	2	19/10/2010	7E3238844
06/06/2011	484E Change To Company Details Appointment Or Cessation Of A Company Officeholder	06/06/2011	2	06/06/2011	7E3717283
06/08/2012	484A1 Change To Company Details Change Officeholder Name Or Address	06/08/2012	2	06/08/2012	7E4635616
24/09/2012	484A1 Change To Company Details Change Officeholder Name Or Address	24/09/2012	2	24/09/2012	7E4736357

End of Extract of 3 Pages

NOTE:
LOGOS AND THEIR ASSOCIATED ELEMENTS (ONLY)
INC. ILLUMINATION PROVIDED BY JLR; ALL OTHER PERIPHERAL
MATERIALS TO BE SUPPLIED BY SIGNAGE CONTRACTOR;
FOOTINGS & 240V FEED DONE BY OTHERS;
ALL DIMENSIONS/QUANTITIES ONSITE TO BE CONFIRMED
& REPORTED TO SPS BRAND MANAGEMENT BY CONTRACTOR
PRIOR TO ORDERING/MANUFACTURE/INSTALLATION

NOTE:
LOGOS AND THEIR ASSOCIATED ELEMENTS (ONLY)
INC. ILLUMINATION PROVIDED BY JLR; ALL OTHER PERIPHERAL
MATERIALS TO BE SUPPLIED BY SIGNAGE CONTRACTOR;
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& REPORTED TO SPS BRAND MANAGEMENT BY CONTRACTOR
PRIOR TO ORDERING/MANUFACTURE/INSTALLATION



SITE PLAN

- | | |
|-------------------------|--|
| SIGN 1 | <p>INSTALL :
 1x TRI BRAND CLIP- LARGE (7350mmW x 1400mmH)
 JLR REF: BC5JLR</p> |
| SIGN 2 | <p>INSTALL :
 1x TRI BRAND CLIP- LARGE (7350mmW x 1400mmH)
 JLR REF: BC5JLR</p> |
| SIGN 3 | <p>INSTALL :
 1x DEALER NAME CLIP- LARGE (7350mmW x 1400mmH @ 425mm CAPS)
 JLR REF: DC5L / DP425 (X15)</p> |
| SIGN 4 | <p>INSTALL :
 1x FREE STANDING DIRECTION SIGN 1050mm W x 2100¹⁵⁰⁰mmH
 GRAPHICS TO ONE SIDE
 JLR REF: TDF2100</p> |
| SIGN 5 | <p>INSTALL :
 1x TRI BRAND PYLON LARGE 2100mm W x 6300mmH
 JLR REF: PMJRL5</p> |
| SIGN 6 | <p>INSTALL :
 1x CEILING FIXED DIRECTION SIGN 1050mm W x 350mmH
 GRAPHICS TO ONE SIDE
 JLR REF: TDW0350</p> |
| SIGN 7 | <p>INSTALL :
 TRI BRAND SERVICE WALL (PAINT DONE BY OTHERS)
 GLOSS
 LOGOS & SERVICE IN VINYL</p> |
| SIGN 8 | <p>INSTALL :
 BRAND WALL (WALL BY OTHERS , PAINTED BY OTHERS)
 1 x JAGUAR LOGO SIZE 2
 JLR REF: MJ2N
 1 x LAND ROVER LOGO SIZE 2
 JLR REF: ML2N
 1 x RANGE ROVER LOGO SIZE 2
 JLR REF: MR2N

 FIXED TO WALL AS DEPICTED AND
 AS PER JLR SIGNAGE GUIDELINES</p> |
| SIGN 9 | <p>INSTALL
 DIRECTION SIGN 500mm W x 350mmH
 HANGING SIGN</p> |
| SIGN 10 & 11 | <p>INSTALL
 TRADING HOURS SIGN ON GLASS
 INTERNAL
 CUT IN VINYL ETCH
 AS PER DIRECTIONS</p> |

SYDNEY WATER
APPROVED

The position of the proposed building/building works in relation to Sydney Water's pipes and structures are satisfactory.

connections to Sydney Water's sewer, watermain or stormwater may only be made, following the issue of a permit to a licensed plumber/drainier.

3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.

4. All Plumbing and/or Drainage Work is to be carried out in accordance with the NSW Code of Practice AS 3500 and the Sydney Water Act 1994.

10249, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah Floor or other cover unless order is approved by Sydney Water.

5058720

6. Property No. 27/525

WARRAGAH COUNCIL

THIS PLAN TO BE READ IN CONJUNCTION WITH

Plumbers Co-op, Brookvale
Quick Check Agent on behalf of
SYDNEY WATER

E-N. NIKAN 143, 13

Per: 1



- * All dimensions to be verified on site prior to submission of quote.
- * Do not scale from these drawings.
- * All structural systems to be approved by engineer

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Row:	Date:	Description:
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Project Name: NORTHERN BEACHES LAND ROVER
790 PITTWATER ROAD
BROOKVALE NSW
Drawing Details: LOCATION PLAN

Client:



RANGE ROVER

Project No: 7012

Date: 19.11.1012

Drawn: ID

Scale: 1 : 300

SurveyProject Status

Checked:

Drawing No:

2/10



Job No 6163318

Phone: 1100
www.1100.com.au

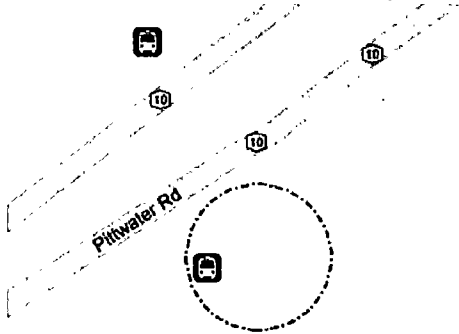
Caller Details

Contact: Mr Carwyn Moss
Company: Cmc Signs
Address: 34 Hulberts Road
SAWTELL NSW 2452

Caller Id: 976254
Mobile: 0400004974
Email: info@cmcsigns.com.au
Phone: 0266581000
Fax: 0266581099

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



Google

Map data ©2013 Google

User Reference: JLR Brookvale
Working on Behalf of: Private
Enquiry Date: 06/03/2013
Start Date: 22/04/2013
End Date: 06/05/2013
Address: 790 Pittwater Rd
Brookvale NSW 2100
Job Purpose: Excavation
Onsite Activity: Vertical Boring
Location of Workplace: Private Property
Location in Road: Not Supplied

- Check that the location of the dig site is correct. If not you must submit a new enquiry.
- Should the scope of works change, or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:

Bore two pier holes 2000mm deep and 900mm diameter for footings for pylon sign

Your Responsibilities and Duty of Care

- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at www.1100.com.au
- For more information on safe excavation practices, visit www.1100.com.au

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

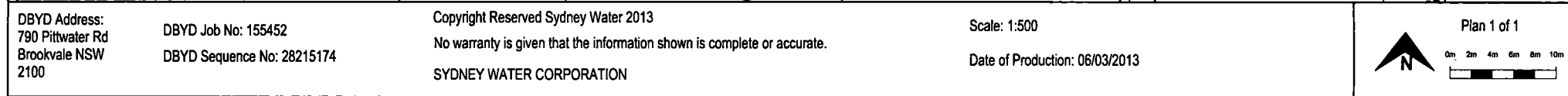
** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.

Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
28215170	Ausgrid (formerly EnergyAustralia)	0249510899	NOTIFIED
28215173	Jemena Gas North	1300880906	NOTIFIED
28215172	Optus and/or Uecomm, Nsw	1800505777	NOTIFIED
28215169	PIPE Networks, Nsw	0732339819	NOTIFIED
28215168	Roads and Maritime Services	0288370285	NOTIFIED
28215174	Sydney Water	132092	NOTIFIED
28215171	Telstra NSW, Central	1800653935	NOTIFIED

END OF UTILITIES LIST

Lodge Your Free Enquiry Online – 24 Hours a Day, Seven Days a Week

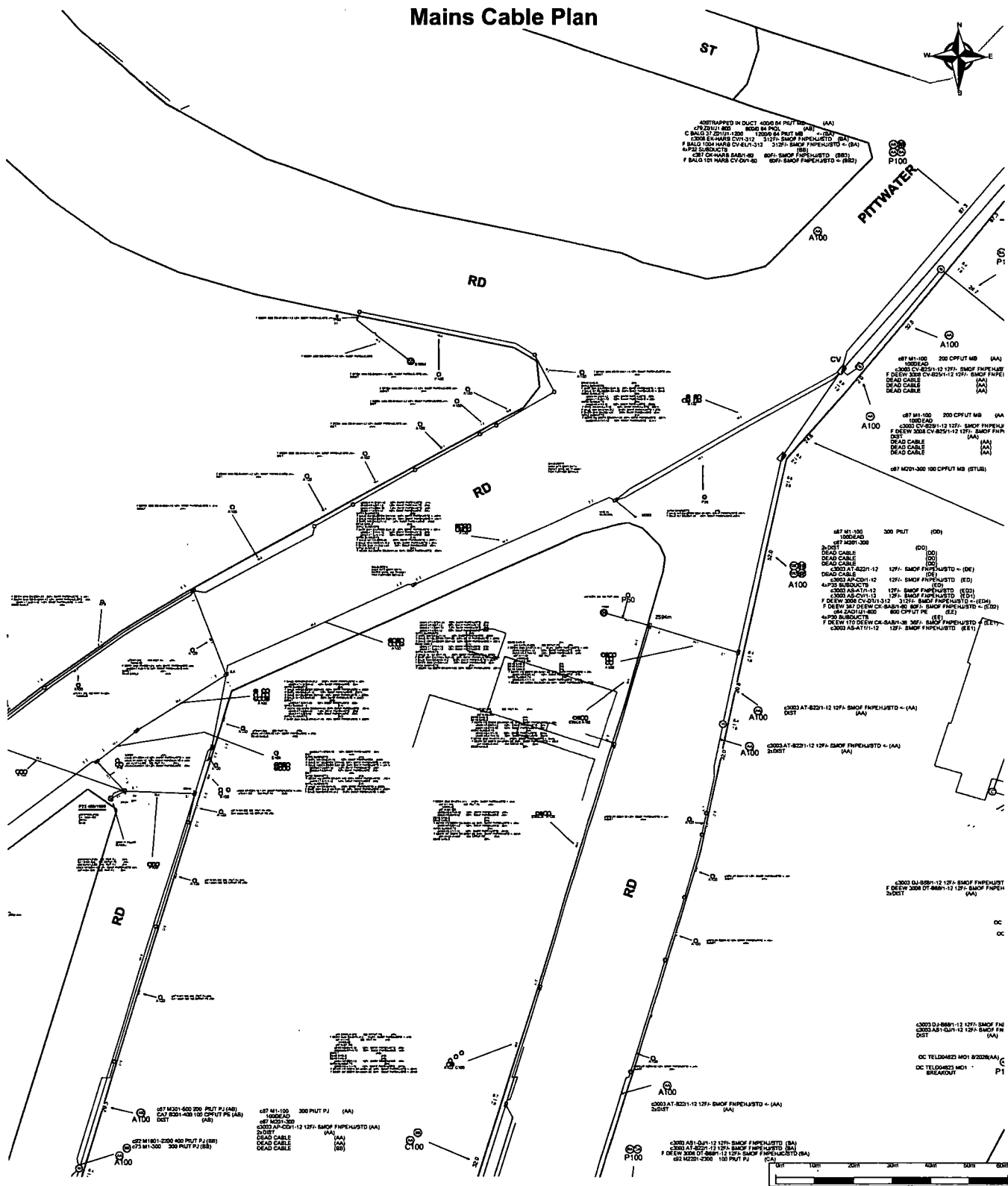


Plan 1 of 1

0m 2m 4m 6m 8m 10m



Mains Cable Plan



For all Telstra DBYD plan enquiries -
email - Telstra.Plans@team.telstra.com
For urgent onsite contact only - ph 1800 653 935 (bus hrs)

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 06/03/2013 13:00:20

Sequence Number: 28215171

CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.

0164.479.VV.1000

DRAWN USING CAD
DO NOT AMEND MANUALLY

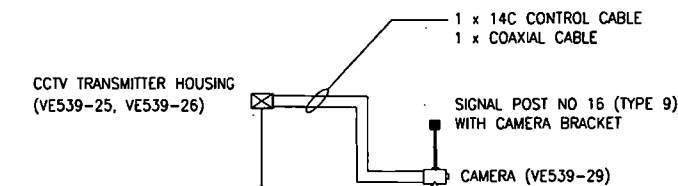
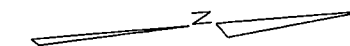
DATE IN SERVICE: 08/04/14



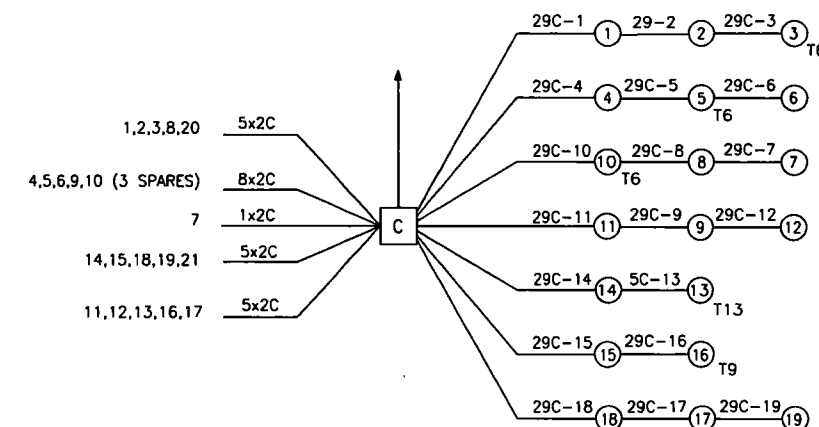
Transport
Roads & Maritime
Services



CONTINUOUSLY FLASHING ADVANCE FLASHING
WARNING SIGN INSTALLED 335m FROM POST 9
ON THIS APPROACH.
(LOCAL POWER SUPPLY FOR SIGN)



CCTV CABLE LAYOUT
CIRCUIT (VE539-31)



SIGNAL CABLE LAYOUT

NOTES

1. THE COVER ABOVE CONDUITS IS 0.75mm IN ROADWAYS AND 0.5mm IN FOOTWAYS UNLESS OTHERWISE STATED.
2. ALL CABLES IN FOOTWAYS ARE INSTALLED IN 1 x 80 HD PVC CONDUIT OR 1x80 POLY PIPE, UNLESS OTHERWISE STATED.
3. ALL ROADCROSSING PIPES ARE 1 x 100 HD PVC CONDUIT, UNLESS OTHERWISE STATED.
4. ALL PITS SHOWN THUS ARE 0.45m x 0.6m TYPE E GATIC UNLESS OTHERWISE STATED.
5. ADVANCE FLASHING WARNING LIGHT ASSEMBLY IS POSITIONED 335m WEST OF PITTWATER ROAD, FACING EASTBOUND TRAFFIC ON WARRINGAH ROAD. THE FLASHING LIGHTS OPERATE CONTINUOUSLY AND ARE RADIO LINKED VIA A TRANSMITTER MOUNTED ON POST 6. THE SIGN IS MONITORED USING DETECTOR 22.

A ORIGINAL ISSUE
B ISSUE -
C CABLE LAYOUT REVISED, SIZES
REVISED, L.C. 22/04/09
D ISSUE -
E ISSUE -
F ISSUE -
G ISSUE -
H ISSUE -
I ISSUE -
J ISSUE -
K ISSUE -
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M ISSUE -
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X ISSUE -
Y ISSUE -
Z ISSUE -

PUBLIC UTILITY LEGEND
HYDRANT
STOP VALVE
GAS VALVE
SEWER MANHOLE
TELECOM PIT
ELECT LIGHT POLE
POWER POLE
STAY POLE
TELEPHONE BOX
TELECOM PILLAR
SYMBOLS/ABBS
STD POSIT
DET SCHED EXP
PRES. DETECT
SSG DIS. SEQ.
DESIGN LAYOUT
CABLE CHART
SHEET 13
DATE: 22/10/2006

REFERENCE PLANS
V0003-8
V0001-5
V0018-10
V0005-17
V0018-8
SHEET 13
SHEET 15
DATE: 22/10/2006

U.B.D. Ref. MAP177 QB
I.S.G. E: 325882
CO-ORDS N: 1263124
DESIGNED L.C. 01/04/09
CHECKED I.H. 02/04/09
DATE
SITE CHECKED
RECOMMENDED

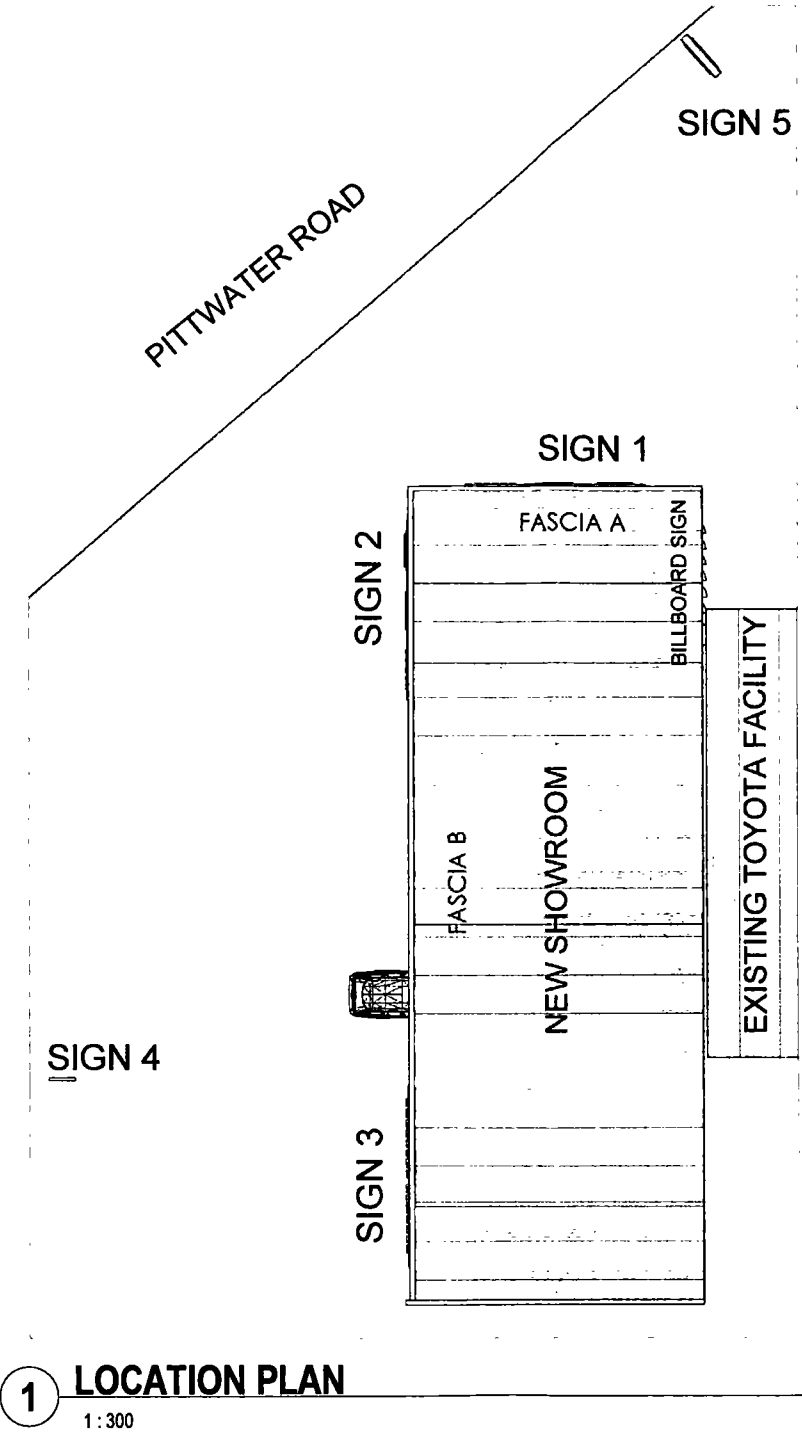
APPROVED
C. SHAKAS
TET. MANAGER
03/04/2009
DATE
ACCEPTED
DATE

ROADS AND MARITIME SERVICES
SHIRE OF WARRINGAH
(MR 164) PITTWATER ROAD, (MR 328)
WARRINGAH ROAD & HARBORD ROAD
DEE WHY
CABLE INSTALLATION
TCS No 1000

EXISTING ☒ PROPOSED ☐
CADD FILE W1000_14E_INS.dgn
SCALE 5 0 (1:200) 5 10
FILE 479 TS 168
REGN. 0164.479.VV.1000
SHEET 14

CLADDING BY OTHERS:
WRAP CONTINUOUSLY IN SILVER ACM; UTILISE
TOP HAT SECTIONS FOR FIXTURE TO KEEP FLUSH/UNIFORM:
TO BE WRAPPED & ALIGNED WITH EXTENTS OF EXISTING
PANEL LINE, AS DEPICTED IN MONTAGES.
PLEASE FORWARD INQUIRIES RE:CLADDING TO
SPS BRAND MANAGEMENT

NOTE:
LOGOS AND THEIR ASSOCIATED ELEMENTS (ONLY)
INC. ILLUMINATION PROVIDED BY JLR; ALL OTHER PERIPHERAL
MATERIALS TO BE SUPPLIED BY SIGNAGE CONTRACTOR;
FOOTINGS & 240V FEED DONE BY OTHERS;
ALL DIMENSIONS/QUANTITIES ONSITE TO BE CONFIRMED
& REPORTED TO SPS BRAND MANAGEMENT BY CONTRACTOR
PRIOR TO ORDERING/MANUFACTURE/INSTALLATION



SITE PLAN

- SIGN 1** INSTALL :
1x TRI BRAND CLIP- LARGE (7350mmW x 1400mmH)
JLR REF: BC5JLR
- SIGN 2** INSTALL :
1x TRI BRAND CLIP- LARGE (7350mmW x 1400mmH)
JLR REF: BC5JLR
- SIGN 3** INSTALL :
1x DEALER NAME CLIP- LARGE (7350mmW x 1400mmH
@ 425mm CAPS)
JLR REF: DC5L / DP425 (X15)
- SIGN 4** INSTALL :
1x FREE STANDING DIRECTION SIGN 1050mm W x 2100mmH
GRAPHICS TO ONE SIDE
JLR REF: TDF2100
- SIGN 5** INSTALL :
1x TRI BRAND PYLON LARGE 2100mm W x 6300mmH
JLR REF: PMJRL5
- SIGN 6** INSTALL :
1x CEILING FIXED DIRECTION SIGN 1050mm W x 350mmH
GRAPHICS TO ONE SIDE
JLR REF: TDW0350
- SIGN 7** INSTALL :
TRI BRAND SEVICE WALL (PAINT DONE BY OTHERS)
GLOSS
LOGOS & SERVICE IN VINYL
- SIGN 8** INSTALL :
BRAND WALL (WALL BY OTHERS , PAINTED BY OTHERS)
1 x JAGUAR LOGO SIZE 2
JLR REF: MJ2N
1 x LAND ROVER LOGO SIZE 2
JLR REF: ML2N
1 x RANGE ROVER LOGO SIZE 2
JLR REF: MR2N
FIXED TO WALL AS DEPICTED AND
AS PER JLR SIGNAGE GUIDELINES
- SIGN 9** INSTALL
DIRECTION SIGN 500mm W x 350mmH
HANGING SIGN
- SIGN 10 & 11** INSTALL
TRADING HOURS SIGN ON GLASS
INTERNAL
CUT IN VINYL ETCH
AS PER DIRECTIONS
- SIGN 12** BILLBOARD SIGN
DONE & INSTALLED BY OTHERS



* All dimensions to be verified on site
prior to submission of quote.
* Do not scale from these drawings.
* All structural systems to be approved
by engineer



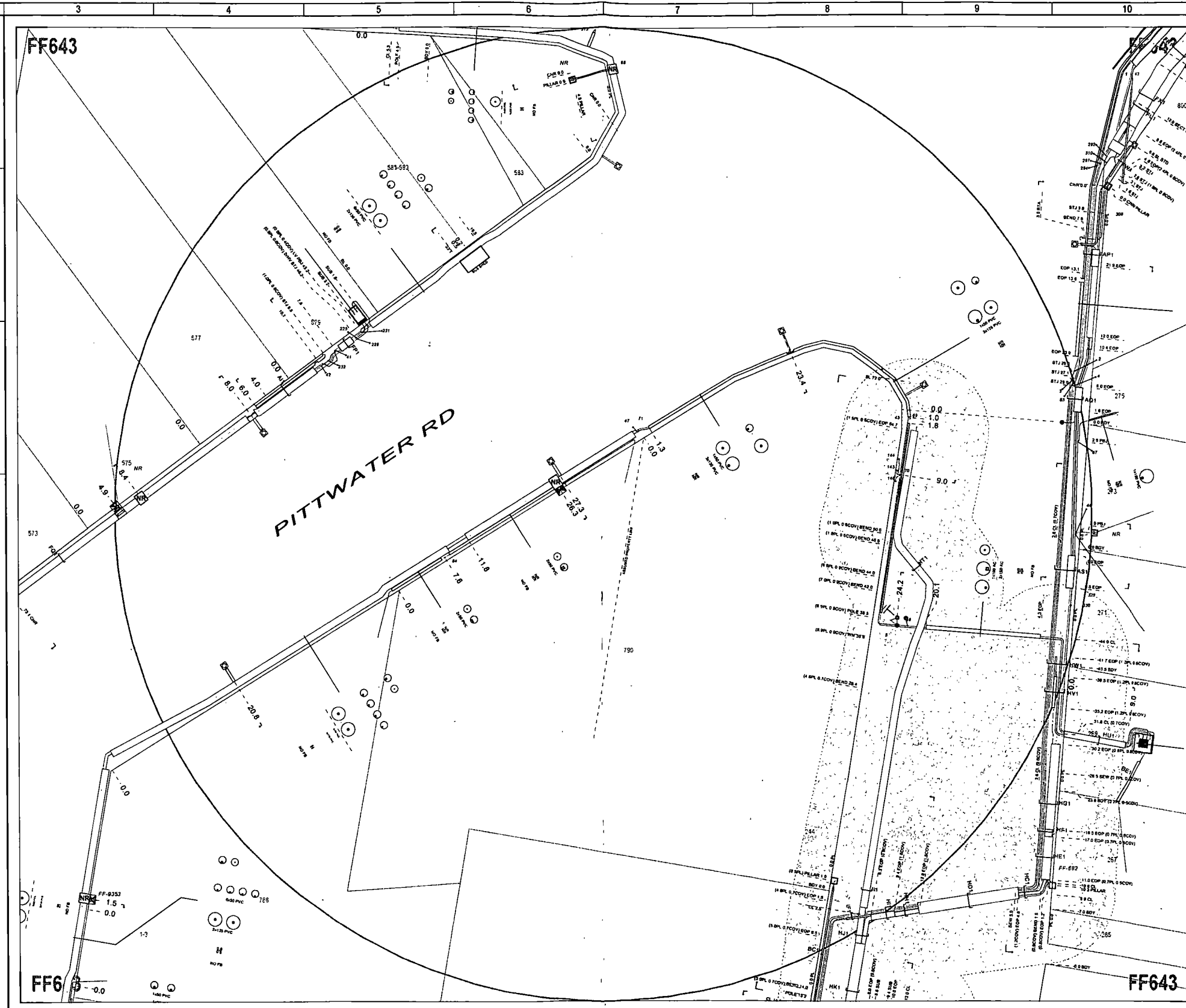
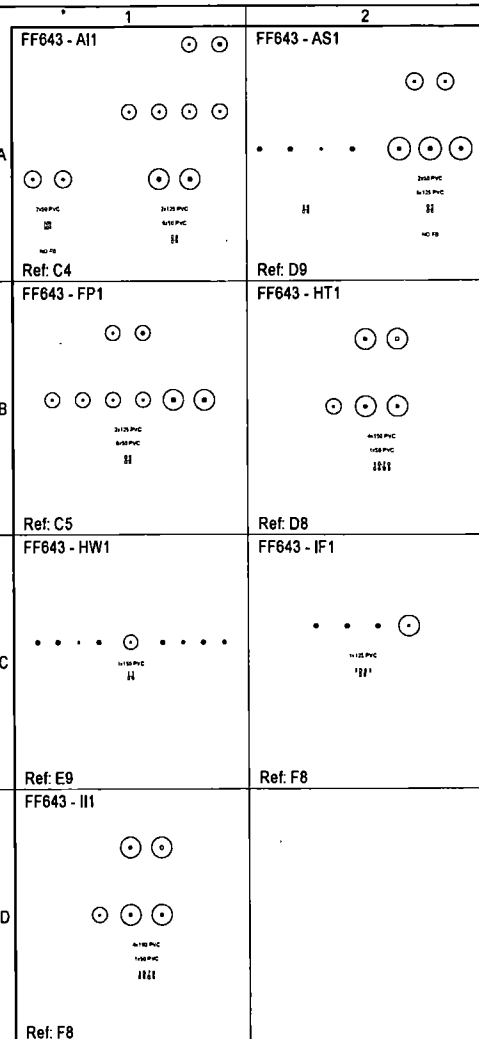
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of AHDC."

Rev: Date: Description:

Project Name:
NORTHERN BEACHES LAND ROVER
790 PITWATER ROAD
BROOKVALE NSW
Drawing Details:
LOCATION PLAN

Client:				
Project No:	7012	Date:	19.11.1012	Drawing No:
Drawn:	ID	Scale:	1 : 300	2/10
SurveyeProject Status		Checked:		

N 28215170 GMLAO 17992



WARNING
Ausgrid's plans show the position of assets at the time of publication and may not account for subsequent changes to road dimensions, structures or buildings. The plans show as close as possible to the position of assets at the time of publication. Persons working near electrical assets must exercise care and will be held responsible for any damage caused.
The first excavator to find a new resource excavation to establish the location of Ausgrid underground cables and structures.
Underground Threading will be used to install new cables and structures. Any work to the vicinity of any cable should only be performed using safe work practices developed in accordance with the instructions included in the Ausgrid Code of Practice for Excavation and Post-Cave Guide to the 10 Year Underground Asset.
As well as recommendations of Ausgrid's Network Standard NS108.
Completed. Do not excavate any asset or structure until the location of the structure has been determined by Ausgrid. Cables or structures may be present close to the excavation, please be aware.
Ausgrid's most accurate data is provided in the Ausgrid Code of Practice for Excavation and Post-Cave Guide to the 10 Year Underground Asset.
NOTE: You must keep the plan on site during excavation work and have it with a person present to meet the plan.

Asset ID	Asset Name	Asset Type	Asset Location
FF643-AH1	FF643-AH1	Asset	Asset Location
FF643-AS1	FF643-AS1	Asset	Asset Location
Ref. C4	Ref. C4	Asset	Asset Location
Ref. D9	Ref. D9	Asset	Asset Location
FF643-FP1	FF643-FP1	Asset	Asset Location
FF643-HT1	FF643-HT1	Asset	Asset Location
Ref. C5	Ref. C5	Asset	Asset Location
Ref. D8	Ref. D8	Asset	Asset Location
FF643-HW1	FF643-HW1	Asset	Asset Location
FF643-IF1	FF643-IF1	Asset	Asset Location
Ref. E9	Ref. E9	Asset	Asset Location
Ref. F8	Ref. F8	Asset	Asset Location
FF643-II1	FF643-II1	Asset	Asset Location

GMLAO
Distribution - 28215170
INFORMATION ON THIS PLAN ONLY
VALID FOR 30 DAYS FROM ISSUE DATE
6 Mar 2013
Page 1 of 1
SCALE 1:216
13 metres
Ausgrid

JANKOVIC Design and Engineering
CONSULTING STRUCTURAL ENGINEERS

42 Moonee Street , COFFS HARBOUR 2450 , P.O. Box 2089
Tel. (02) 66 523224 , Mobile tel. 0414 524386 ,
email : jankovicdesign@gmail.com

Director : Nick Jankovic
B.Eng. MIE Aust

Ref : 130208
19th February 2013

CMC – Signs
34 Hulberts Road
COFFS HARBOUR 2450

Dear Sir,

FIXING OF PROPOSED SIGNAGE
FOR " NORTHERN BEACHES LANDROVER"
790 PITTWATER ROAD , BROOKVALE , NSW

Fixing top hats to structural steel

Vertical top hats, spaced at 600mm centers, shall be fixed to top and bottom chord of steel truss consisting of 100x100x3 RHS with Two Buildex® Metal Tek® self-drilling screws, M5.5 – 14 TPI at each end.

Fixing Mini Orb sheets to top hats

For fixing to steel, total thickness up to 3.0mm BMT use Ripple Tek screws 10-16x20

Fasteners should be placed along the sheet at up to 1200mm centers.
Sheets should be valley fixed. One screw in every 6th valley.
Sheet should be overlapped by 1.5 corrugations.

Mini orb sheets should be fixed to all intermediate vertical (top hat) studs to prevent noise if the sheet flexes with pressure fluctuations in the building.

Fixing Signage ACM Panels to vertical top hats

Top and bottom of each Signage ACM Panel shall be fixed to each vertical top hat with one Buildex® Metal Tek® self-drilling screws, M5.5 – 14 TPI - Zips point.

Yours faithfully



N. Jankovic B.E. , MIEAust