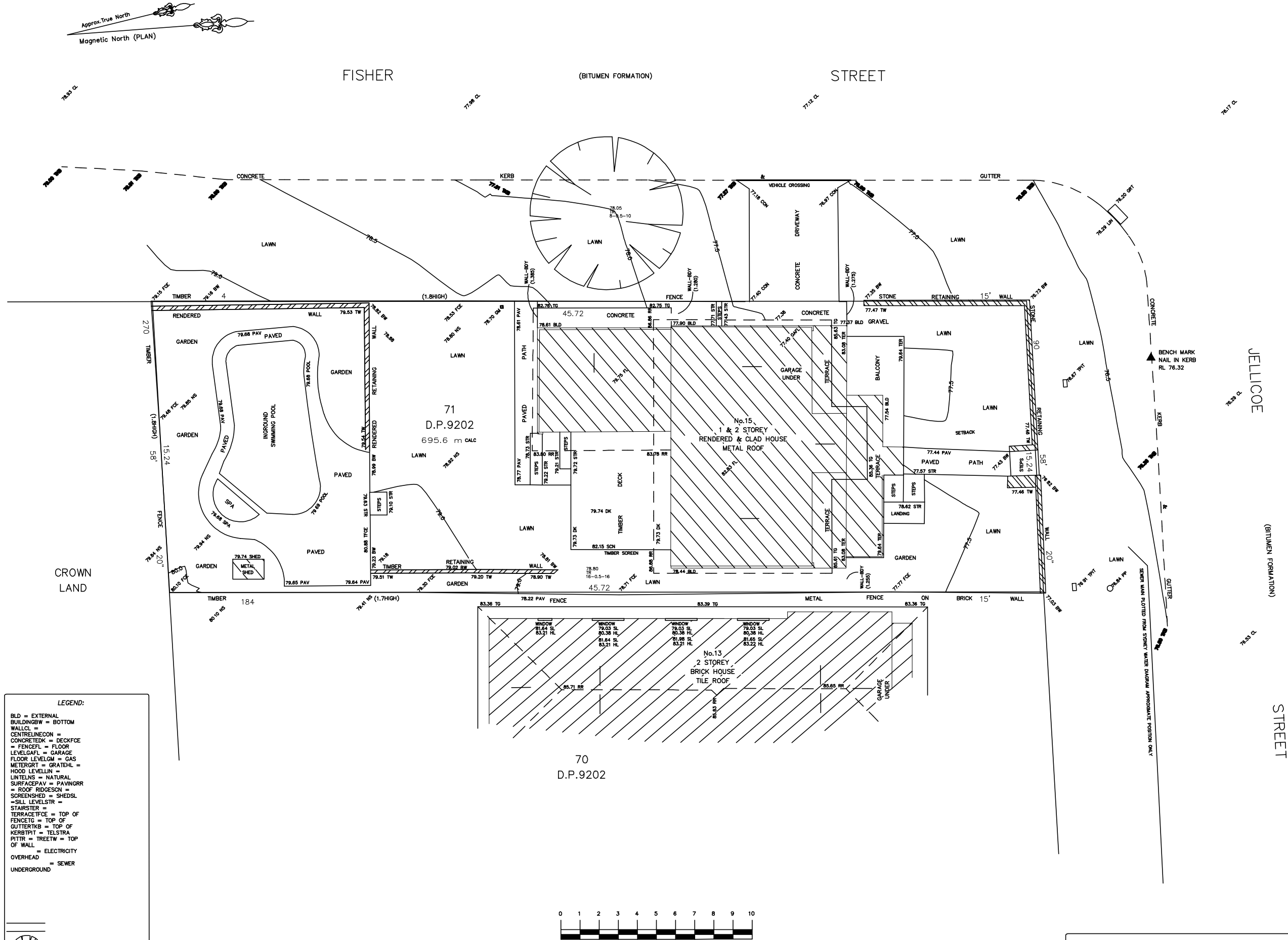




**LEGEND:**

BLD = EXTERNAL BUILDING  
BW = BOTTOM WALL  
CEN = CENTRELINE  
CON = CONCRETE  
DECK = DECK  
FLOOR = FLOOR  
GAS = GAS  
GRAVEL = GRAVEL  
HOOD = HOOD  
LEVEL = LEVEL  
LAWN = LAWN  
METAL = METAL  
PAV = PAVEMENT  
ROOF = ROOF  
SCREEN = SCREEN  
SHED = SHED  
SILL = SILL  
STAIR = STAIR  
TERRACE = TERRACE  
TOP OF FENCE = TOP OF FENCE  
TOP OF GUTTER = TOP OF GUTTER  
TELSTRA = TELSTRA  
TREE = TREE  
UNDERGROUND = UNDERGROUND

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**NOTES**

- A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES SHOULD BE MARKED BY THE SURVEYOR'S OUTLET, ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF TIM & ROBYN WUNDER.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (DIAL 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR. THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 METRE. SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2020.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, REPRODUCTION OR TRANSMISSION OF THIS SURVEY IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER.
- THIS NOTICE MUST NOT BE ERASED.

**HORIZONTAL DATUM:**  
CO-ORDINATE SYSTEM: ASSUMED  
MARKS ADOPTED: N/A

**VERTICAL DATUM:**  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. ADOPTED: SSM 4921  
R.L. 66.668 (CLASS LB)  
SOURCE: S.C.I.M.S. (21/01/20)

|   |             |          |
|---|-------------|----------|
| 1 | FIRST ISSUE | 10/02/20 |
|---|-------------|----------|

**CLIENT:**  
TIM & ROBYN WUNDER  
15 JELICOE STREET,  
BALGOWLAH HEIGHTS NSW 2093

**SURVEY PLAN**  
SHOWING DETAIL & LEVELS  
OVER LOT 71 IN D.P.9202  
15 JELICOE STREET,  
BALGOWLAH HEIGHTS NSW 2093

**C.M.S. Surveyors Pty Limited**  
ACN: 096 240 201  
PO Box 483 Den Why NSW 2089  
2/99A South Creek Road, Den Why NSW 2089  
Telephone: (02) 9771 4802  
Facsimile: (02) 9771 4822  
E-mail: info@cmsurveyors.com.au

**LGA: NORTHERN BEACHES** **SHEET OF 1**

|             |          |            |             |
|-------------|----------|------------|-------------|
| SURVEYED HC | DRAWN GP | CHECKED HC | APPROVED CL |
|-------------|----------|------------|-------------|

**SURVEY INSTRUCTION** 19091 **SCALE** 1:100 @ A1 1:200 @ A3 **DATE OF SURVEY** 29/01/20

**DRAWING NAME** 19091detail **ISSUE** 1

**CAD FILE** 19091detail 1.dwg

**NOTE:** TITLE INDICATES THAT LOT 71 IN D.P.9202 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
- B135425 COVENANT (NOT INVESTIGATED)