



THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.

LOT 15
D.P.: 223810
L.G.A: WARRINGAH

**** C.D.C ****

COMPLYING DEVELOPMENT CERTIFICATE
REFER TO NSW HOUSING CODE FOR REQUIREMENTS

SITE AREA 876.2 m²

FLOOR AREA

GROUND FLOOR AREA: 174.1 m²
FIRST FLOOR AREA: 162.1 m²
TOTAL FLOOR AREA: 336.2 m²
(INCLUDES GARAGE MINUS 12.9m²)
(EXCLUDES EXTERNAL WALLS, STAIR VOID, ETC.)

MAX. ALLOWABLE BY NSW H/CODE: 369.05 m²
(25% OF SITE AREA PLUS 150m²)

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 549.2 m²
(MIN. DIMENSION OF 1.5m)

MIN. REQUIRED BY NSW H/CODE: 338.1 m²
(50% OF SITE AREA MINUS 100m²)

AREA FORWARD OF BUILDING LINE

SITE AREA FORWARD OF B.L.: 188.7 m²
LANDSCAPE AREA: 150.1 m²

79.54 %

MIN. REQUIRED BY NSW H/CODE: 50 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 359.73 m²
(MIN. DIMENSION OF 3.0m)

MIN. REQUIRED BY NSW H/CODE: 24 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)

Maximum 1000mm CUT

SETBACK ≤ 1000mm FROM B'DY

Maximum 2000mm CUT

SETBACK > 1000mm & ≤ 1500mm

Maximum 3000mm CUT

SETBACK > 1500mm FROM B'DY

Maximum 1000mm FILL

****B.A.S.****

(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M"

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D**

REFER TO HYDRAULIC DETAILS

SERVICE FREE AREA

LOT 16

PREFERRED LOCATION OF
ABOVE GROUND RAINWATER
TANKS TO SUIT O.S.D.
REQUIREMENTS 142.59LIP GUTTR
(SUBJECT TO BASIX &
HYDRAULIC ASSESSMENTS)

(8000X3000) P.O.S
USABLE RECTANGLE AS
PER CDC

LOCATION OF AIR
CONDITIONING UNIT

BRICK
RESIDENCE
METAL ROOF
NO.9

APPROX. LOCATION
OF RETAINING WALL
BY OWNER AFTER
HANDOVER

PROPOSED
RESIDENCE
F.F.L. R.L. 141.310
F.G. R.L. 141.000
(Levels are +100mm)

FILL

GARAGE
STEPDOWN
75mm
F.F.L. R.L. 141.235
(Levels are +100mm)

APPROX. POSITION OF
TREE PROTECTION ZONE

LOCATION OF METER BOX
145.47
SOLAR PANEL
146.10
146.30RIDGE
145.88
145.89
146.06 FFL
144.45LIP GUTR
PORCH

PROPOSED DRIVEWAY
BY OWNER AFTER
HANDOVER

DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

SITE PLAN

SCALE 1:200

GENERAL NOTES

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

REFER TO PAGE 7 FOR
DRIVEWAY PROFILE

**SALINE AFFECTED
SOILS**

REFER TO ENGINEER'S DETAIL

SITE COVERAGE
STORMWATER CALCULATION

ROOF FOOTPRINT: 283.4m²
DRIVEWAY/PAVED AREAS: 55.9m²
TOTAL: 339.3m²
38.7 %
MAX SITE COVERAGE FOR OSD: 40%

CLIENT'S SIGNATURE

DATE

ClarendonHomes

BL No. 2298C
ASB 10 003 002 756

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153

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DIMENSIONS TO BE READ IN

PRODUCT:
FAIRMONT 41
Gallery
R/H Garage
Sapphire Specification

CLIENT:
Mr. SMART
Mrs. SMART
SITE ADDRESS:
Lot 15, No.11
Coora Avenue
REI DOSE 2085

CONTRACT DRAWINGS

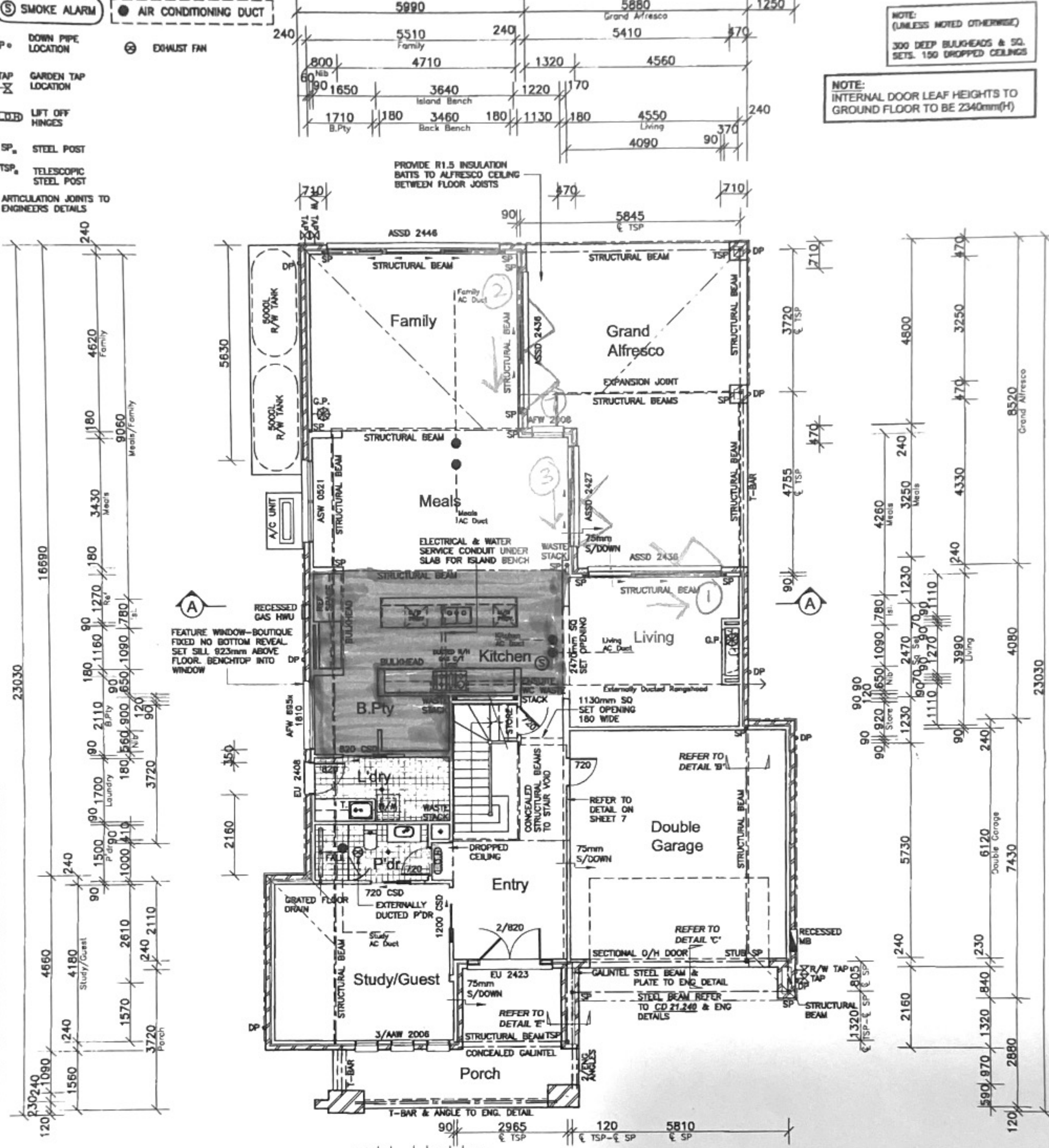
DRAWN: JS	DATE: 08.08.17	Rev:
RATIO @ A3: 1:200	CHECKED: BG	C
SHEET: 2	JOB No: 29912555	NSW

SMOKE ALARM AIR CONDITIONING DUCT

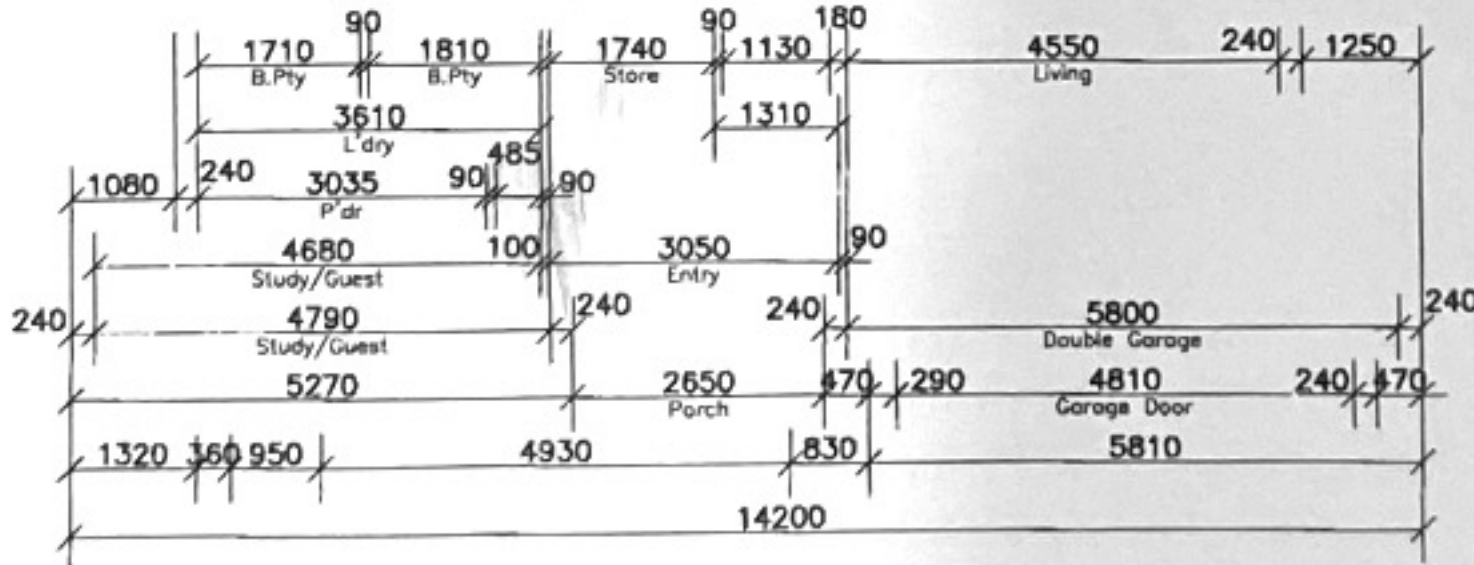
DOWN PIPE LOCATION EXHAUST FAN
GARDEN TAP LOCATION
LIFT OFF HINGES
STEEL POST
TELESCOPIC STEEL POST
ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULGHEADS & SQ.
SETS. 150 DROPPED CEILINGS

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)



GROUND FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____		CLIENT: Mr. SMART Mrs. SMART SITE ADDRESS: Lot 15, No.11 Coora Avenue BELROSE 2085		CONTRACT DRAWINGS DRAWN: PG. RATIO @ A3: 1:100 SHEET: 3		DATE: 21.09.17 CHECKED: M.P. JOB No: 29912555		Rev: B NSW	
ClarendonHomes BL No. 2209C ASB 18 003 842 708 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L. # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING		PRODUCT: FAIRMONT 41 Gallery R/H Garage Sapphire Specificatlon					

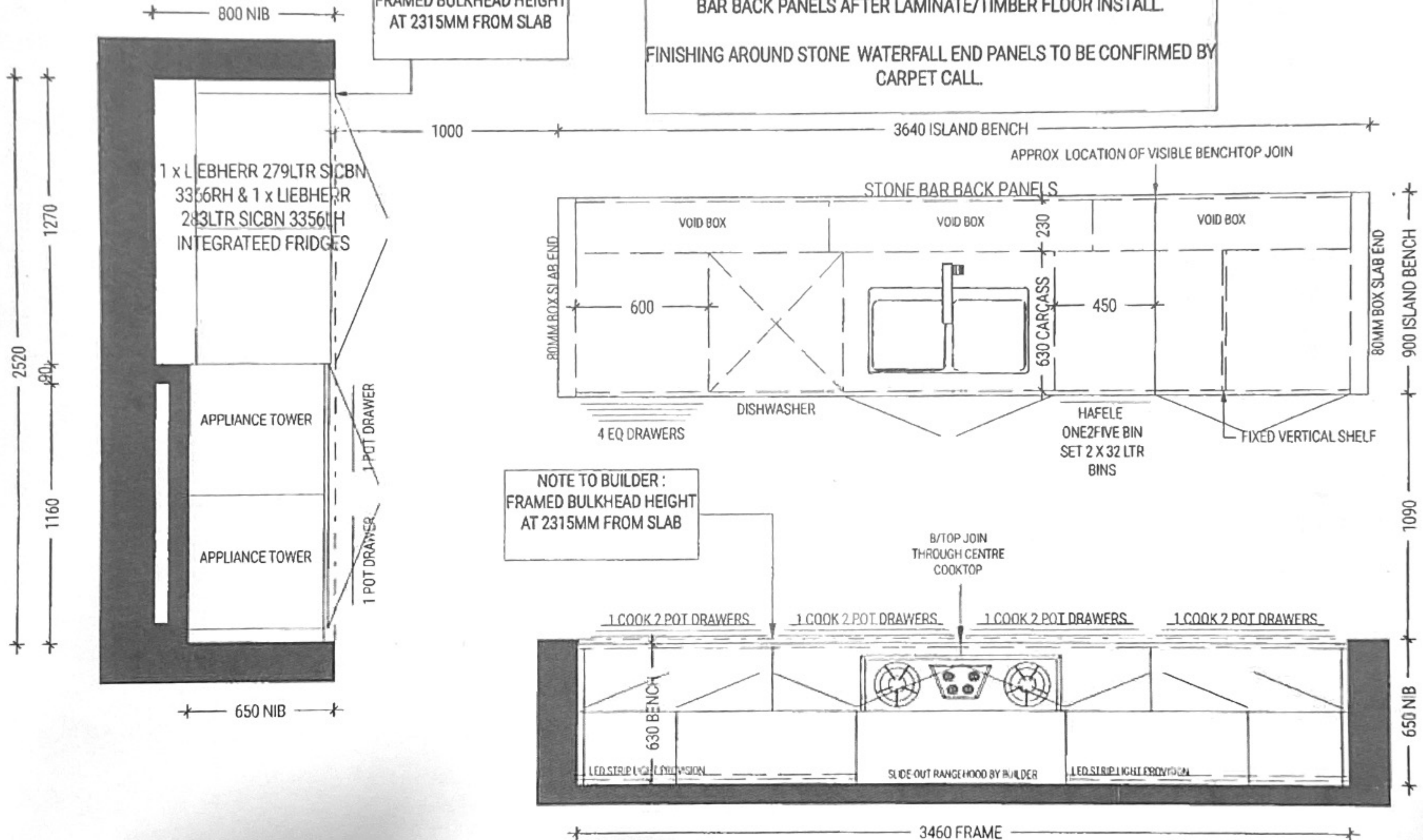
NOTE: DRAWINGS ARE INDICATIVE ONLY. ALL MEASUREMENTS TO BE SITE MEASURED

NOTE TO BUILDER:
FRAMED BULKHEAD HEIGHT
AT 2315MM FROM SLAB

PROVIDE RETURN TRIP TO INSTALL KICKBOARDS, BASE END PANELS AND
BAR BACK PANELS AFTER LAMINATE/TIMBER FLOOR INSTALL.

FINISHING AROUND STONE WATERFALL END PANELS TO BE CONFIRMED BY
CARPET CALL.

ALL DIMENSIONS IN MILLIMETRES UNLESS STATED OTHERWISE



Your
Home
Kitchens

Forstan Pty Ltd. T/A Your Home Kitchens
PO Box 8248
Baulkham Hills BC NSW 2153
Phone: 02 8824 7771
Fax: 02 8823 2444
ABN: 15 093 682 403

Name: Mr & Mrs SMART

Address: Lot 15 No.11 Coora Avenue

BELROSE

Job #: 29912555

Title: Clarendon Fairmont 41 LH

DWG. By: Jasmin

Scale: 1 : 25

SHEET : 1

Date: 14/3/18

Kitchen

Client Signature:

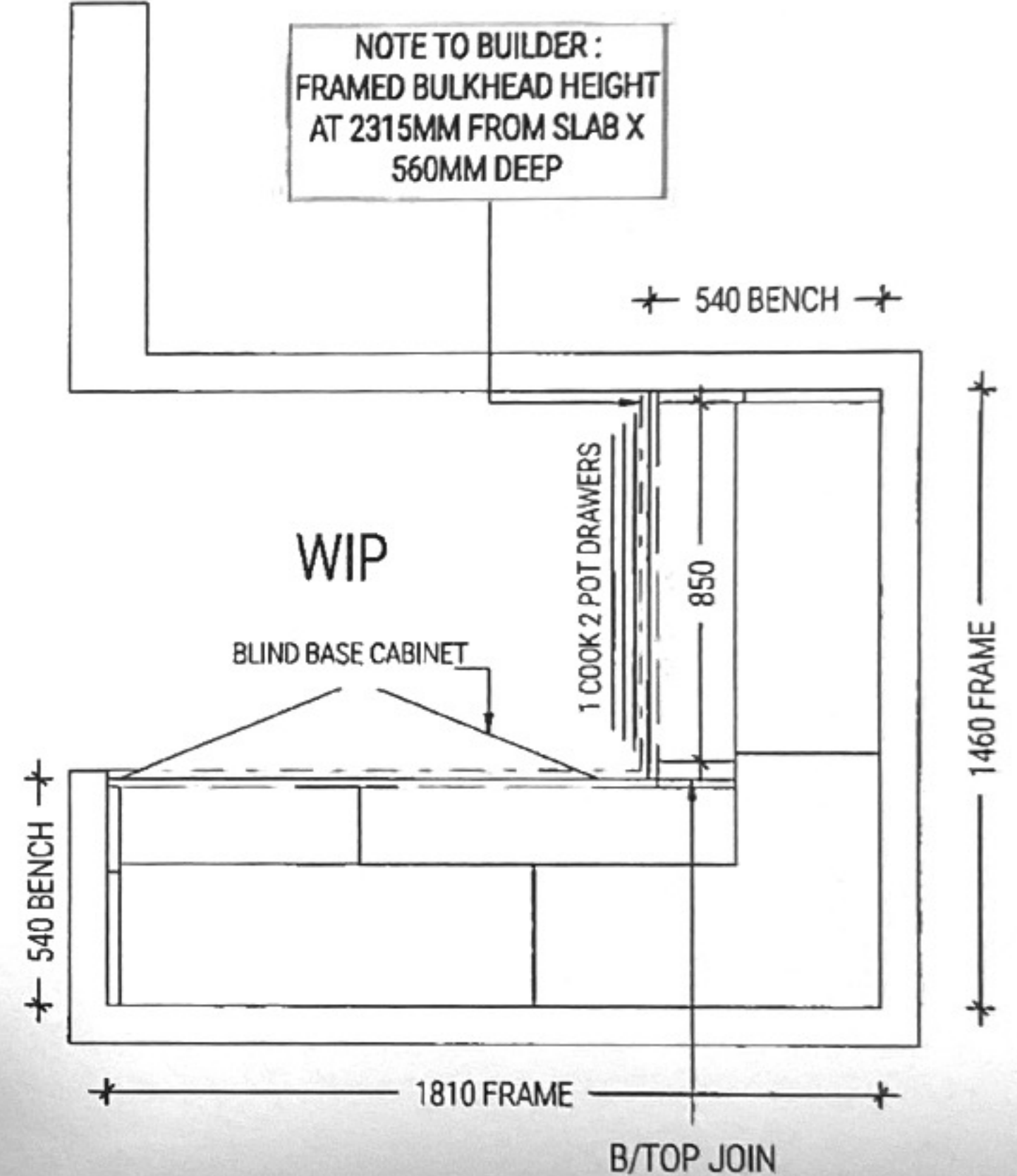
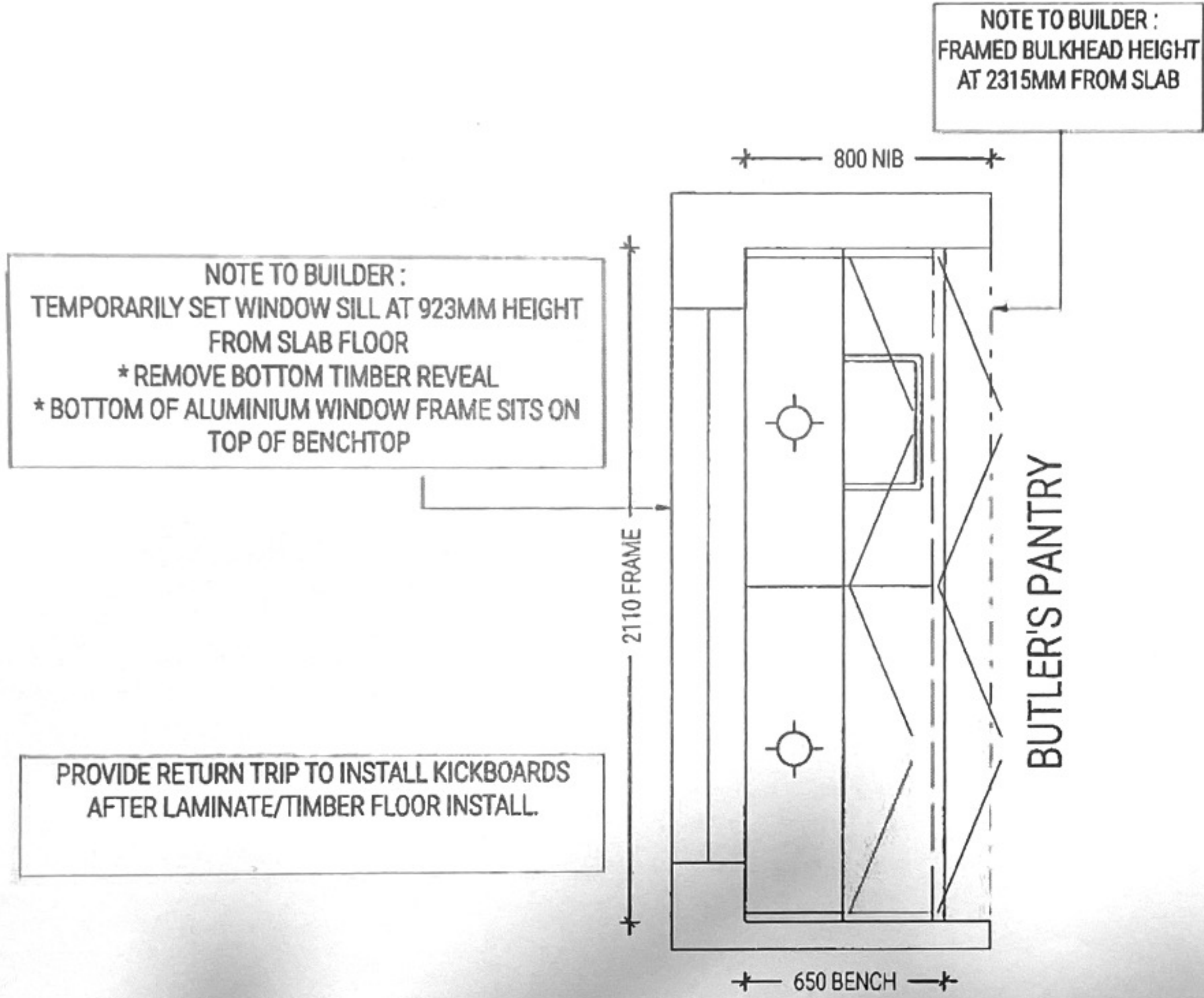
Smart

Date of Signed Dwgs:

15/3/18

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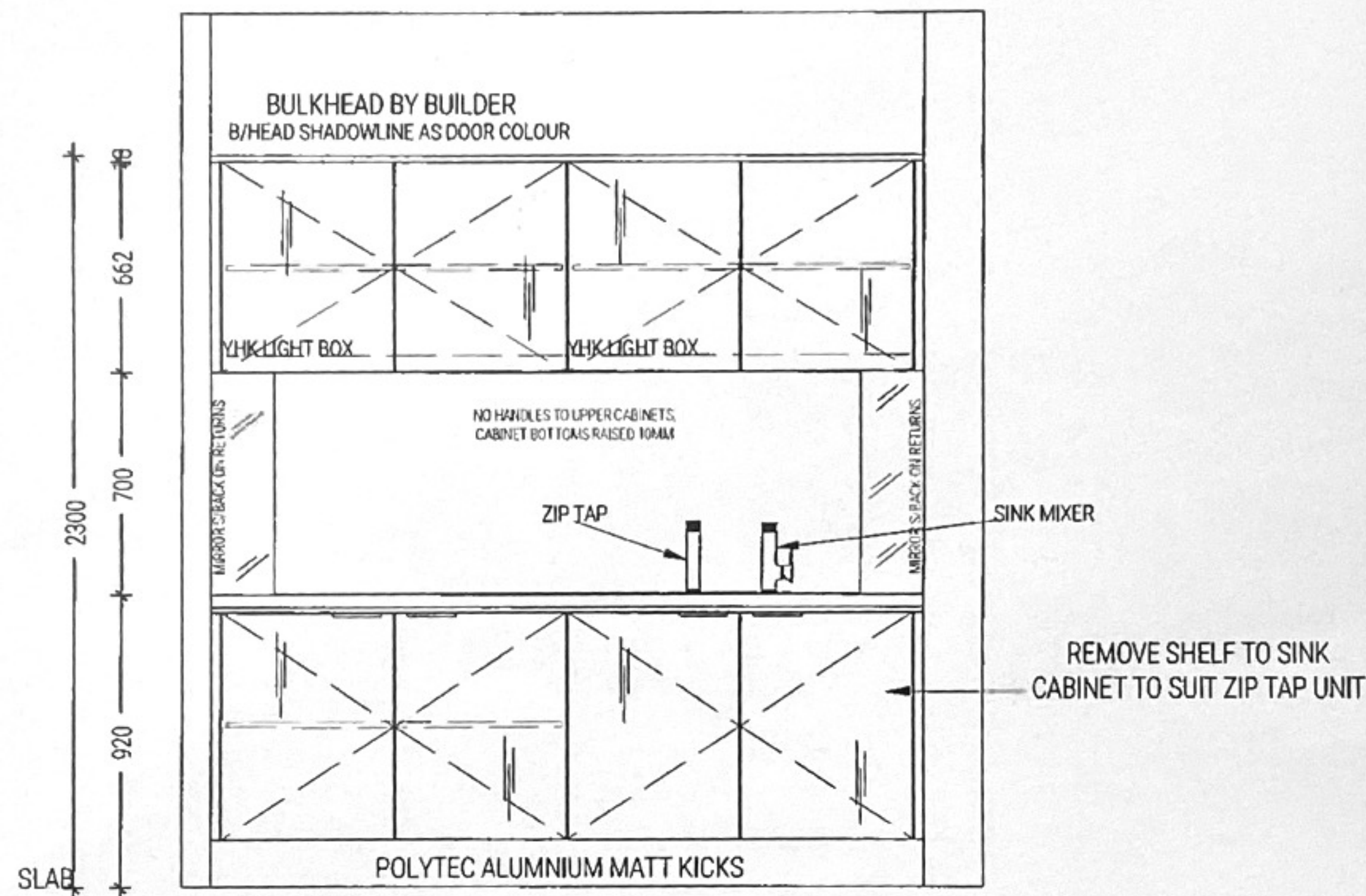
Name: Mr & Mrs SMART
Address: Lot 15 No.11 Coora Avenue
BELROSE
Job #: 29912555

Title Clarendon Fairmont 41 LH
DWG By: Jasmin
Scale: 1 : 25
SHEET 8
B.Pantry / WIP

Client Signature: *[Signature]*
Date of Signed Dwgs: 15/3/18

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Name: Mr & Mrs SMART

Address: Lot 15 No.11 Coora Avenue

BELROSE

Job #: 29912555

Title: Clarendon Fairmont 41 LH

DWG. By Jasmin

Date 14/03/18

Scale: 0

SHEET 9

Butler's
Pantry

Client Signature:

[Signature]

Date of Signed Dwgs:

15/3/18