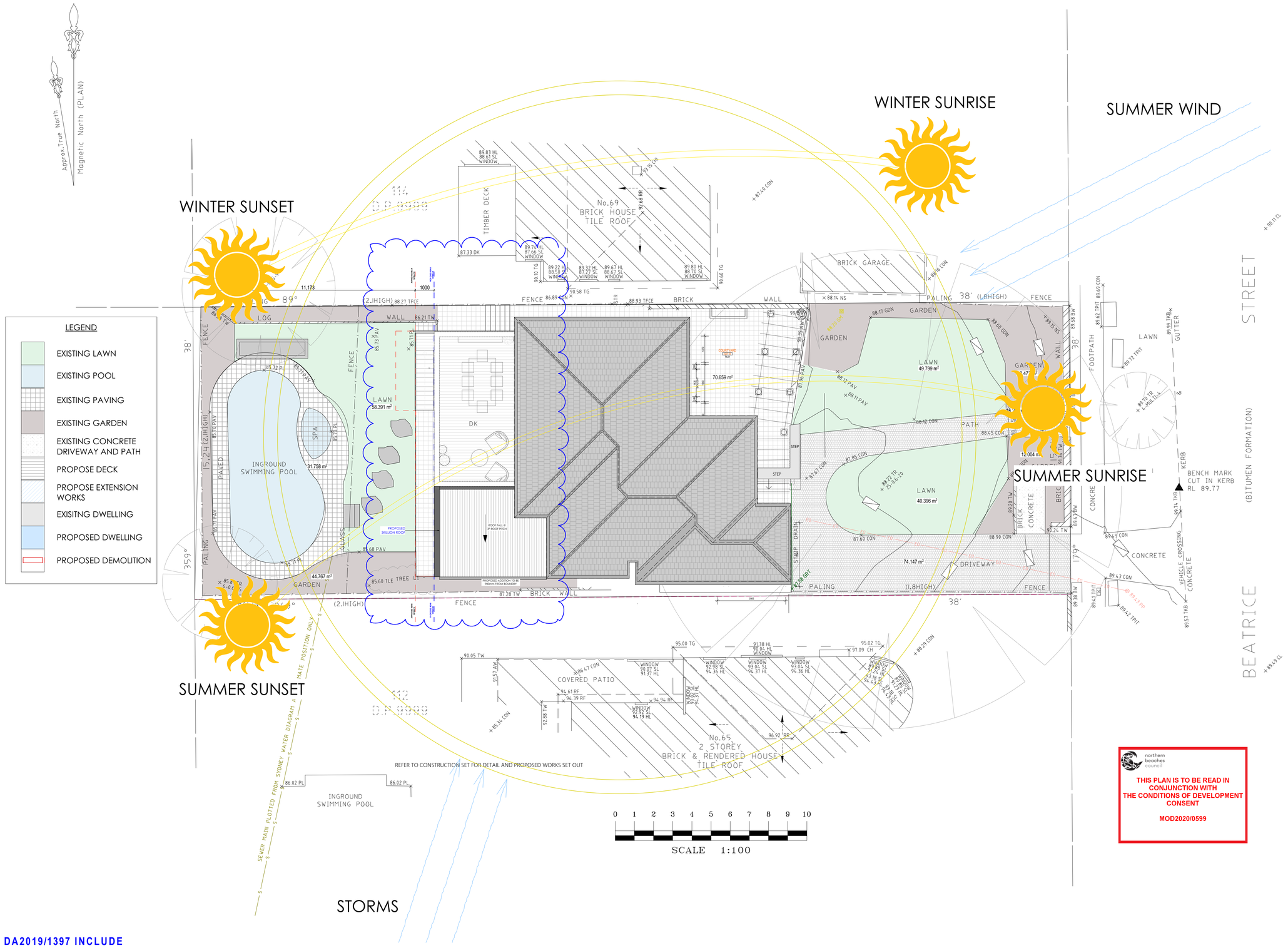

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MOD2020/0599

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE
A REDUCTION IN BUILDING FORM BY 1000MM FROM REAR OF PROPERTY TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION
REPLACE APPROVED KITCHEN HIP ROOF WITH SKILLION ROOF

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED WITH AMENDMENTS	23.10.19
E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

FONT IN BLUE DENOTES PROPOSED AMENDMENTS AS PART OF THIS SECTION 4.55 APPLICATION

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SCALE 1:20 @ A1

SECTION 4.55 APPLICATION

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ABN | 48 630 675 339

PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

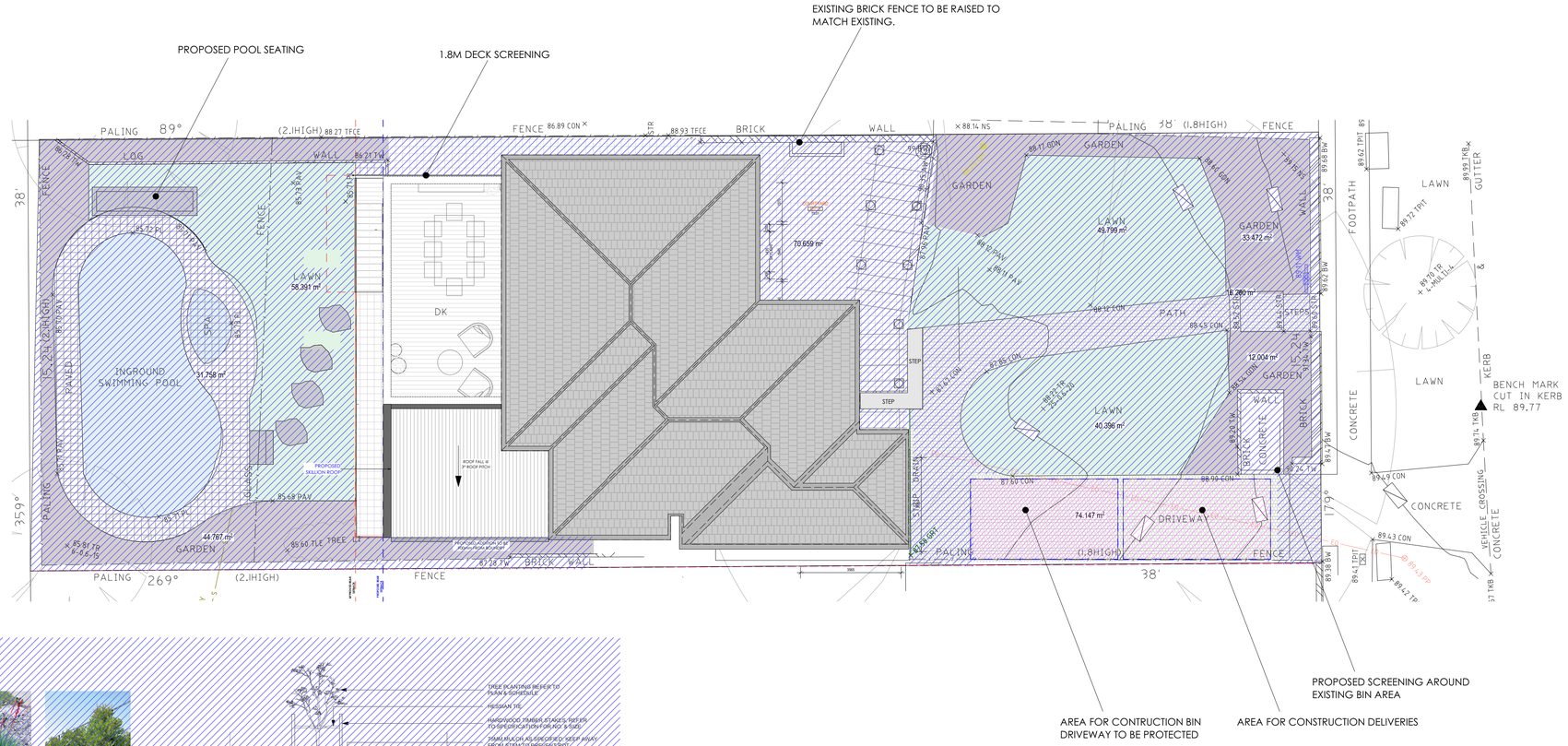
DRAWING TITLE.
SITE ANALYSIS PLAN

DRAWING NO.
DA-001

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1

LEGEND

- EXISTING LAWN - 121.22m²
- EXISTING POOL
- EXISTING PAVING - 114m²
- EXISTING GARDEN - 84m²
- EXISTING DRIVEWAY AND PATH TO BE RE-SURFACED - 70m²
- PROPOSED DECK - 48.6m²
- PROPOSED SITE COVERAGE - 222.5m²
- EXISITNG SITE COVERAGE - 187.7m²



Banksia Integrifolia - Coast Banksia

Clivia Miniata yellow - Yellow Clivia

Anigozanthos manglesii - Red/Green Kangaroo Paw

Acmena Smithii Minor - Dwarf Lilly Pilly

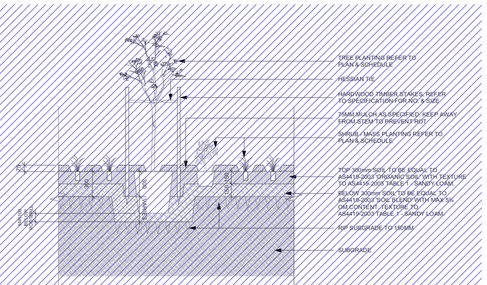
1. SITE PREPERATION
Area is to be free of weeds and debris before the commencement of any landscape works. Weeds are to be sprayed with Glyphosate solution, leaving adequate time for the them to die off prior to removal. Final levels and grades are to be determined by a onsite inspection by the landscape contractor. The landscape plan is to be used as an indication only.

2. LAWN AREAS
Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Install 100mm depth of imported topsoil. Just prior to laying turf, spread 'Sir Launcher' fertiliser at the recommended rate. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly. Use Sir Walter Buffalo.

3. GARDEN AREAS
Ensure that mass planting areas have been excavated to 250mm below finished levels. Supply and install 250mm of premium garden mix. Topsoil Shall be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of organic Eucalyptus Mulch.

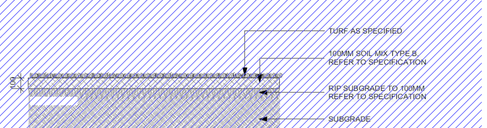
4. SHRUB PLANTING
Plants should in good health and free of pests and diseases. An adequate size hole should be dug with the plant placed in the hole ensuring that the top of the pot is at the same height of the ground. Leave mulch free from around the base of the plants. Water well after planting

5. TREE PLANTING
Trees should be in good health and free of pests and diseases. The hole is to be dug to a depth and radius, twice the size of the rootball of the tree. Water the bottom of the hole to ensure that the natural soil is moist. The roots should be teased to ensure that they dont grow in a circular direction around the tree. The tree is to be planted so that the base of the tree is level with the topof the ground. Backfill with a mixture of imported soil and natural soil, or imported soil only. Mulch should be kept clear of the base to prevent collar rot. Water well after planting.



D01 TYPICAL MASS PLANTING DETAILS

SCALE 1 : 25 @ A1



D02 TURF ON EVEN GRADE

SCALE 1 : 25 @ A1

PLEASE REFER TO UPDATE LANDSCAPING DRAWINGS PREPARED BY **GOODMANORS**

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E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

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ABN | 48 630 675 339

PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
LANDSCAPE PLAN

DRAWING NO.
DA-002

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1

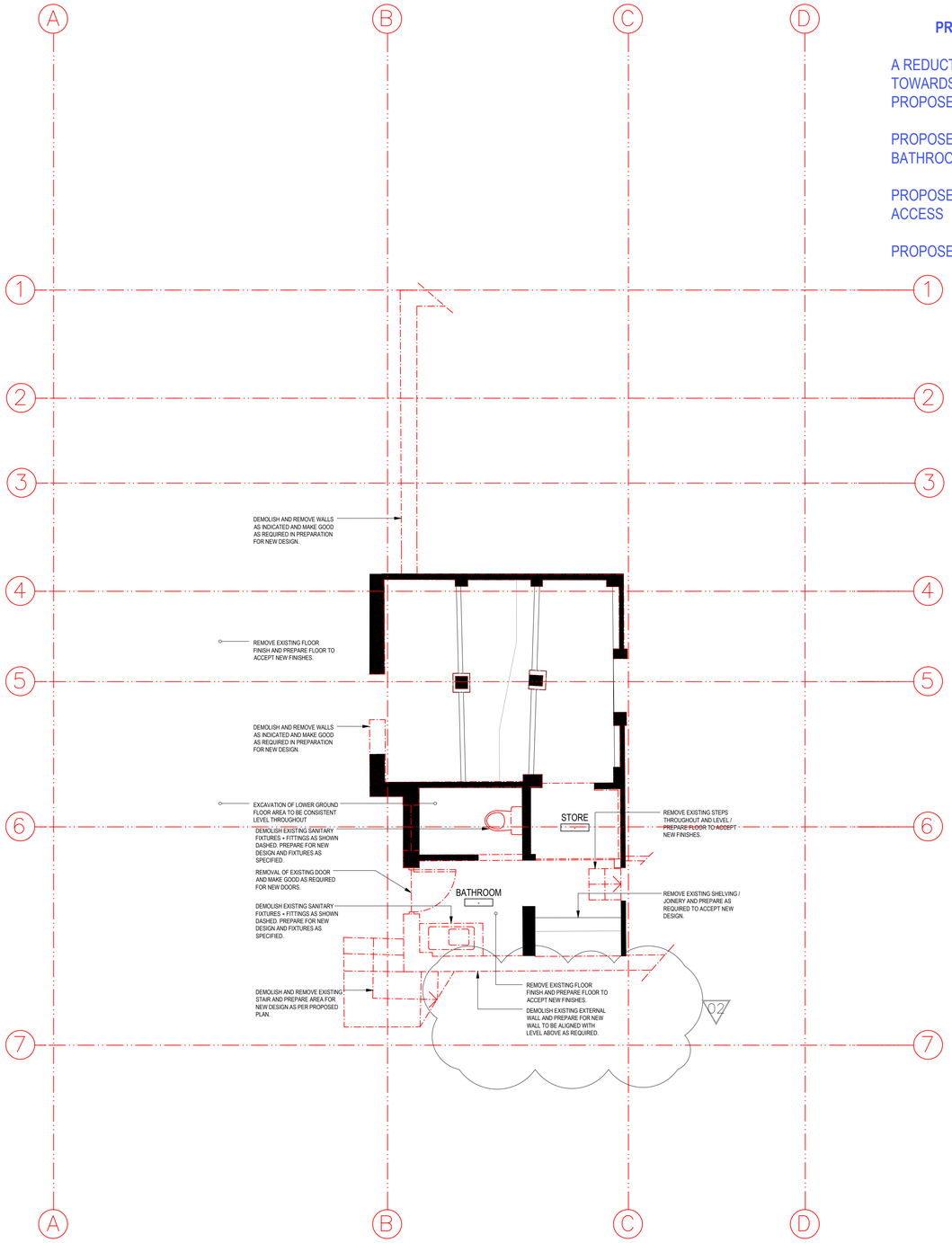
PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

A REDUCTION IN BUILDING FORM BY 1000MM FROM GRID LINE A TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION

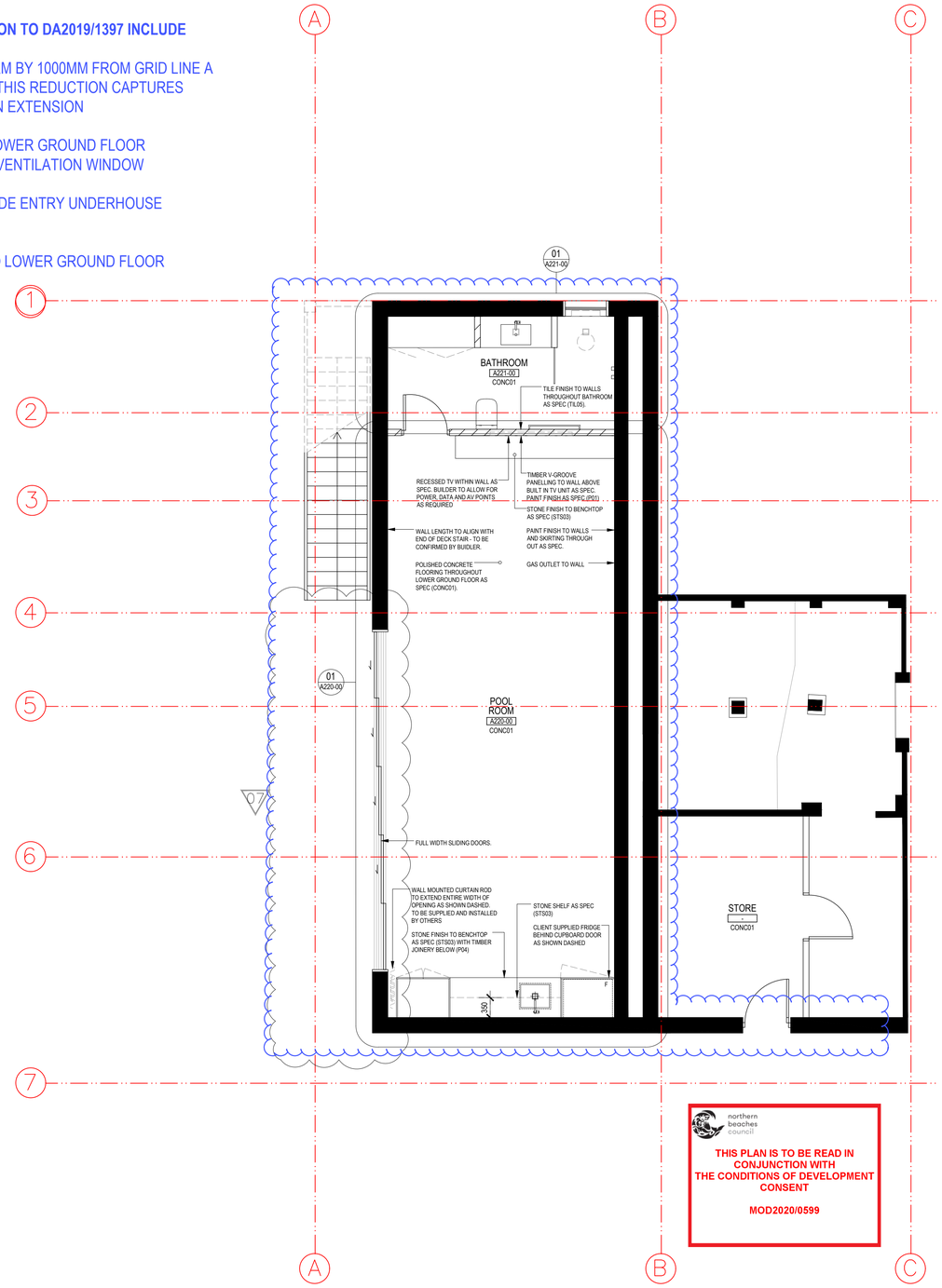
PROPOSED RELOCATION OF LOWER GROUND FLOOR BATHROOM AND ADDITION OF VENTILATION WINDOW

PROPOSED RELOCATION OF SIDE ENTRY UNDERHOUSE ACCESS

PROPOSED SLIDING DOORS TO LOWER GROUND FLOOR



01 - LOWER GROUND DEMOLITION PLAN
1:50



01 - PROPOSED LOWER GROUND FLOOR PLAN
1:50

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MOD2020/0599

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20
02	ISSUED WITH AMENDMENTS	06.07.20

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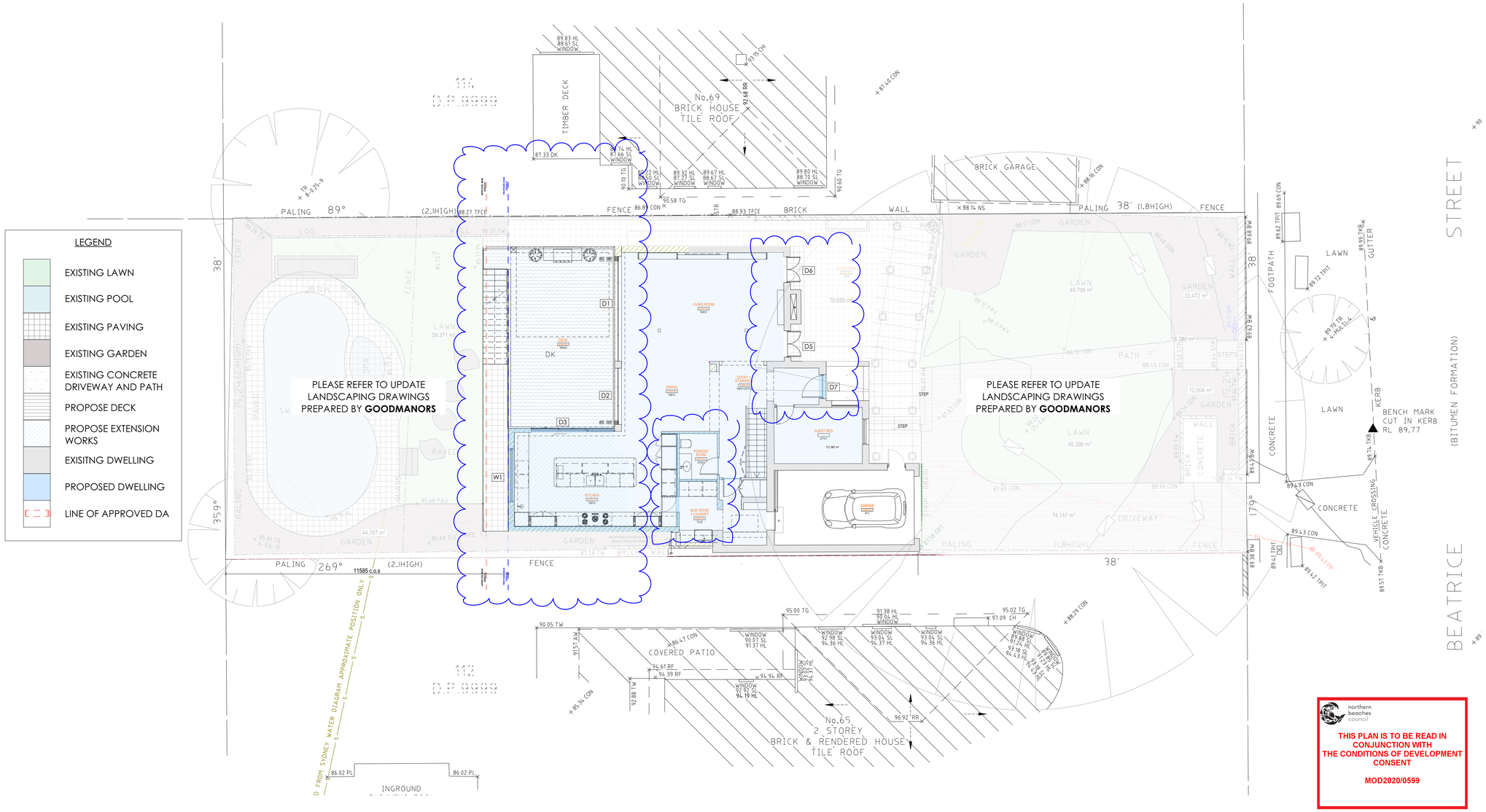
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
LOWER GROUND PLAN

DRAWING NO.
DA-003

DATE | 06/07/20
REVISION | 02
SCALE | 1:50 at A1



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MOD2020/0599

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

A REDUCTION IN BUILDING FORM BY 1000MM FROM REAR OF PROPERTY TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION

DOOR 3 TO BE REDUCED BY 1000mm

INTERNAL MODIFICATION TO APPROVED POWDER ROOM AND KITCHEN JOINERY

DOOR 5 & 6 TO BE REPLACED WITH FRAMED GLAZED DOORS

DOOR 7 ENTRY DOOR TO BE REPLACED LARGER SOLID TIMBER DOOR

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
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E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

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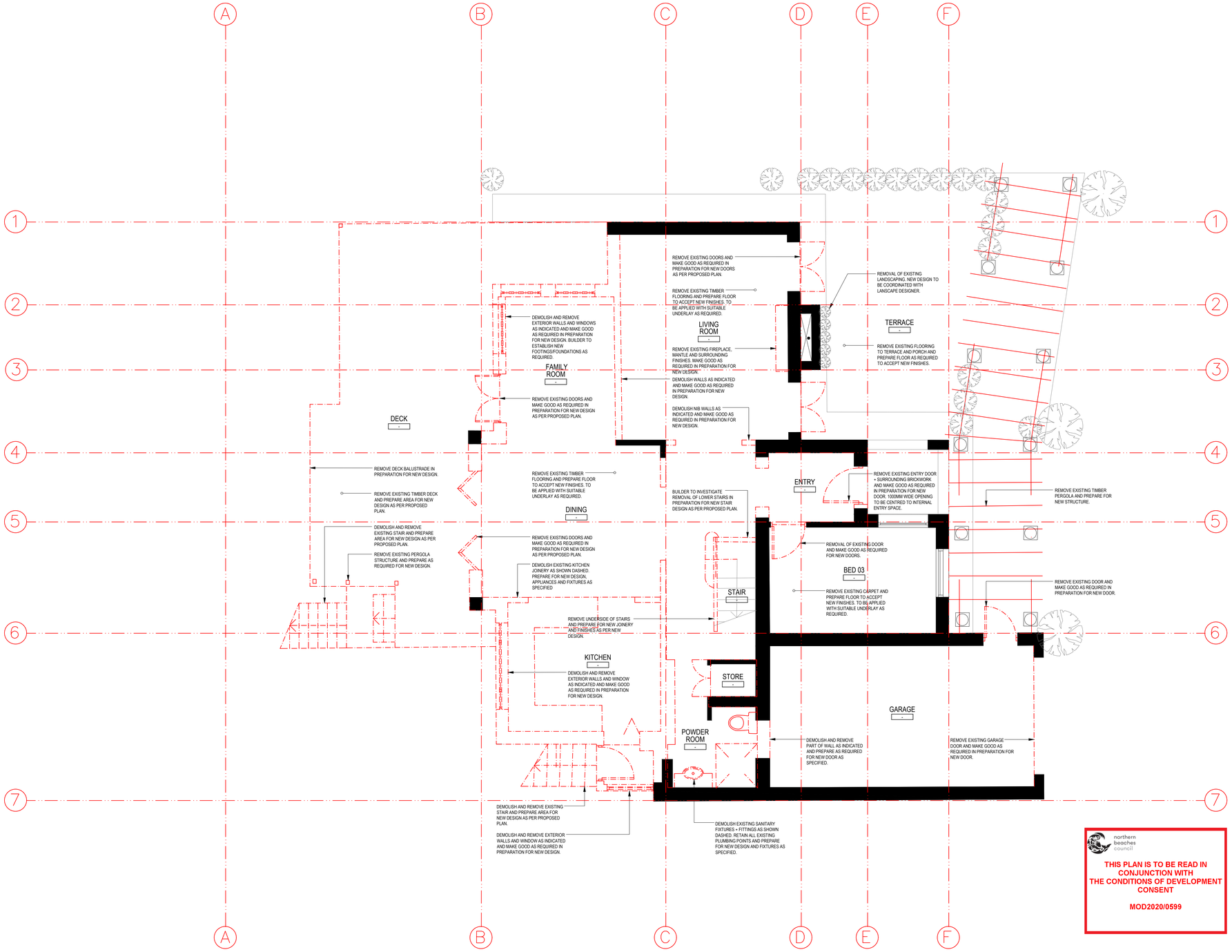
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
PROPOSED GROUND FLOOR PLAN

DRAWING NO.
DA-004

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1



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MOD2020/0599

01 GROUND FLOOR DEMOLITION PLAN
1:50

NO AMENDMENT
AS PER DA2019/1397
APPROVAL

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
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01	ISSUED FOR CONSTRUCTION	08.05.20

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PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
GROUND FLOOR
DEMOLITION PLAN

DRAWING NO.
DA-005

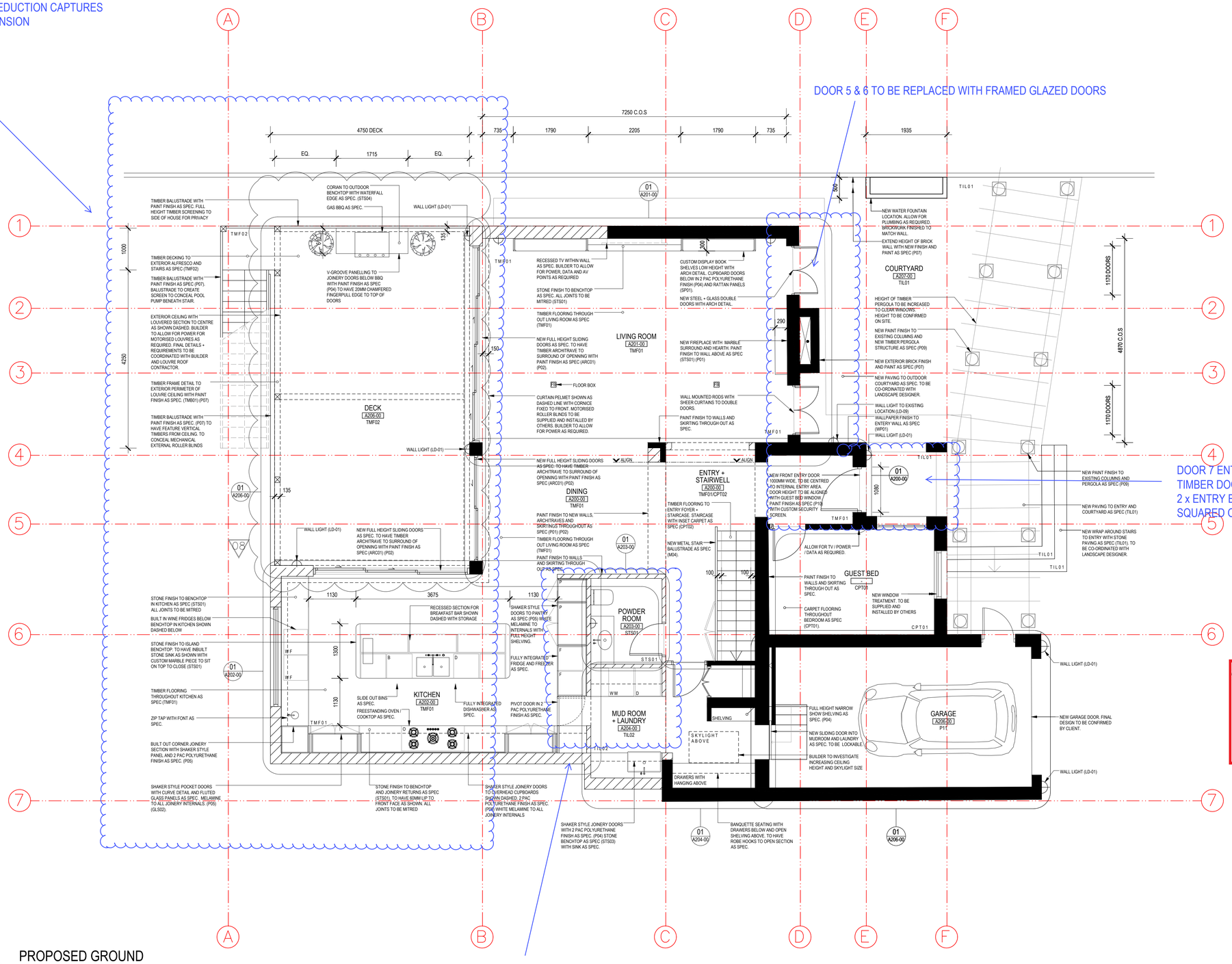
DATE | 08/05/20
REVISION | 01
SCALE | 1:50 at A1

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

A REDUCTION IN BUILDING FORM BY 1000MM FROM GRID LINE A TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION

DOOR 3 TO BE REDUCED 1000MM

DOOR 5 & 6 TO BE REPLACED WITH FRAMED GLAZED DOORS



DOOR 7 ENTRY DOOR TO BE REPLACED LARGER SOLID TIMBER DOOR
2 x ENTRY BRICK ARCHWAY TO BE RAISED AND SQUARED OFF

INTERNAL MODIFICATION TO APPROVED POWDER ROOM AND KITCHEN JOINERY

northern beaches council

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MOD2020/0599

01 - PROPOSED GROUND FLOOR PLAN
1:50

REV.	DESCRIPTION.	DATE.
01	ISSUED FOR CONSTRUCTION	08.05.20
02	ISSUED WITH CHANGES	22.05.20
03	ISSUED WITH ADDITIONAL DIMENSIONS	10.06.20
04	ISSUED FOR CLIENT REVIEW	28.08.20
05	ISSUED WITH CHANGES	03.09.20
06	ISSUED WITH CHANGES	21.09.20
07	ISSUED WITH CHANGES	28.09.20
08	ISSUED WITH CHANGES	26.10.20

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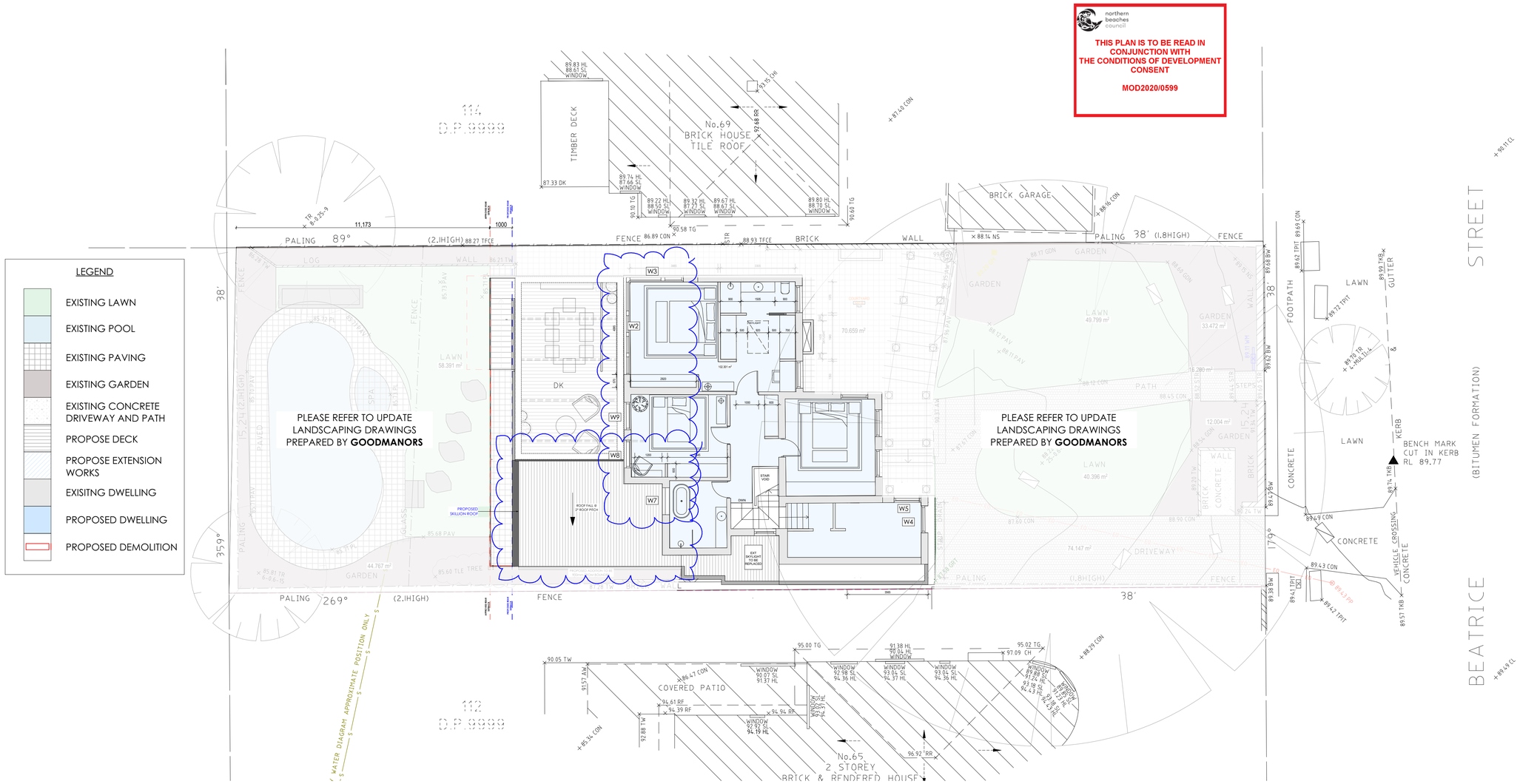
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
PROPOSED GROUND FLOOR PLAN

DRAWING NO.
DA-006

DATE | 26/10/20
REVISION | 08
SCALE | 1:50 at A1



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MOD2020/0599

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

A REDUCTION IN BUILDING FORM BY 1000MM FROM REAR OF PROPERTY TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION

W2 AND W3 TO BE SLIGHTLY REDUCED AND ALTERED IN DESIGN

W7, W8 AND W9 TO BE REPLACED WITH SASH WINDOWS, SIZE OF OPENING TO REMAIN THE SAME

REPLACE APPROVED KITCHEN HIP ROOF WITH SKILLION ROOF

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED WITH AMENDMENTS	23.10.19
E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

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SECTION 4.55 APPLICATION

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ABN | 48 630 675 339

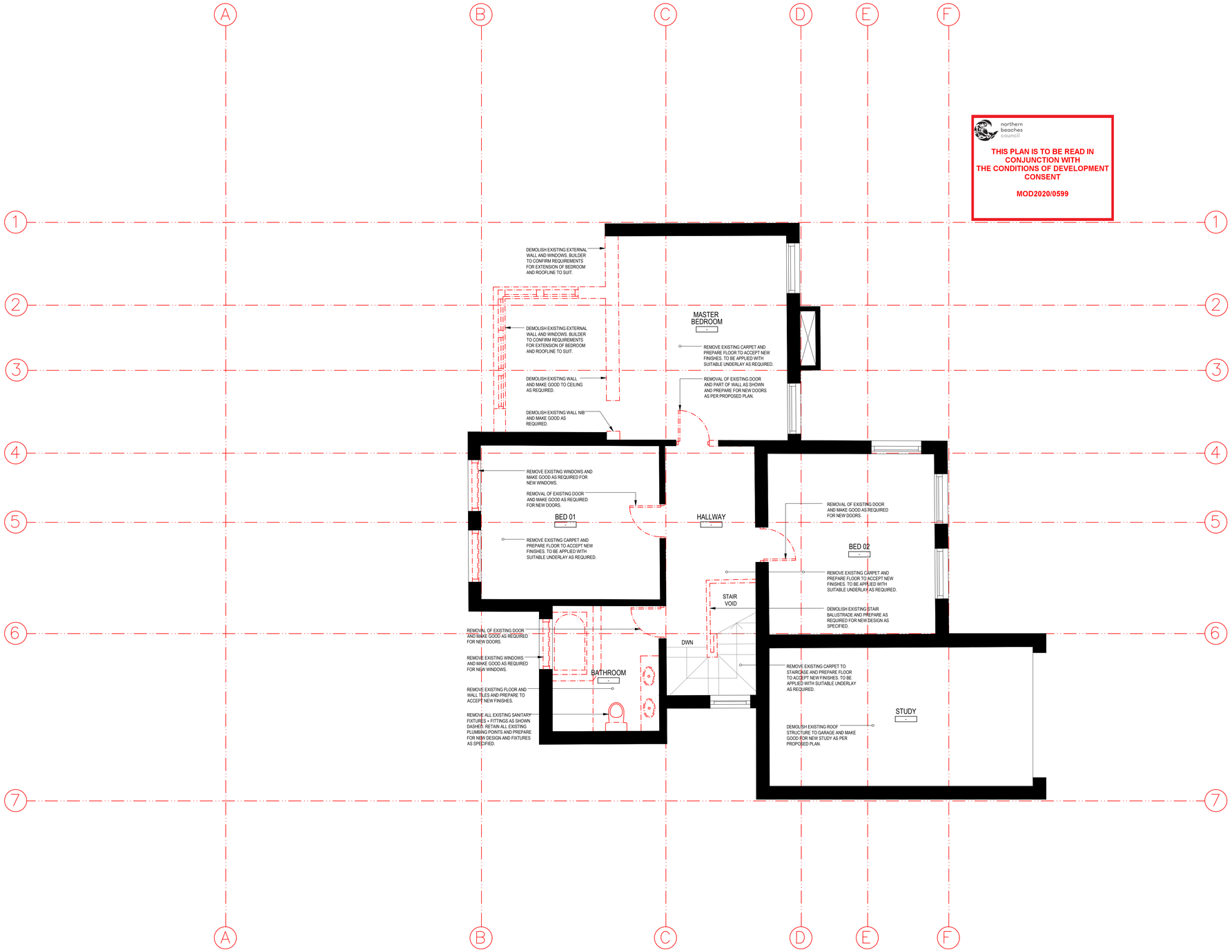
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
PROPOSED FIRST FLOOR PLAN

DRAWING NO.
DA-007

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1



northern beaches council

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MOD2020/0599

01 - FIRST FLOOR DEMOLITION PLAN

1:50

NO AMENDMENT
AS PER DA2019/1397
APPROVAL

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED WITH AMENDMENT	23.10.19
E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

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SCALE 1:50 **@ A1**

ISSUED FOR CONSTRUCTION

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E | ENQUIRIES@MXMDESIGN.STUDIO
ABN | 48 630 675 339

PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

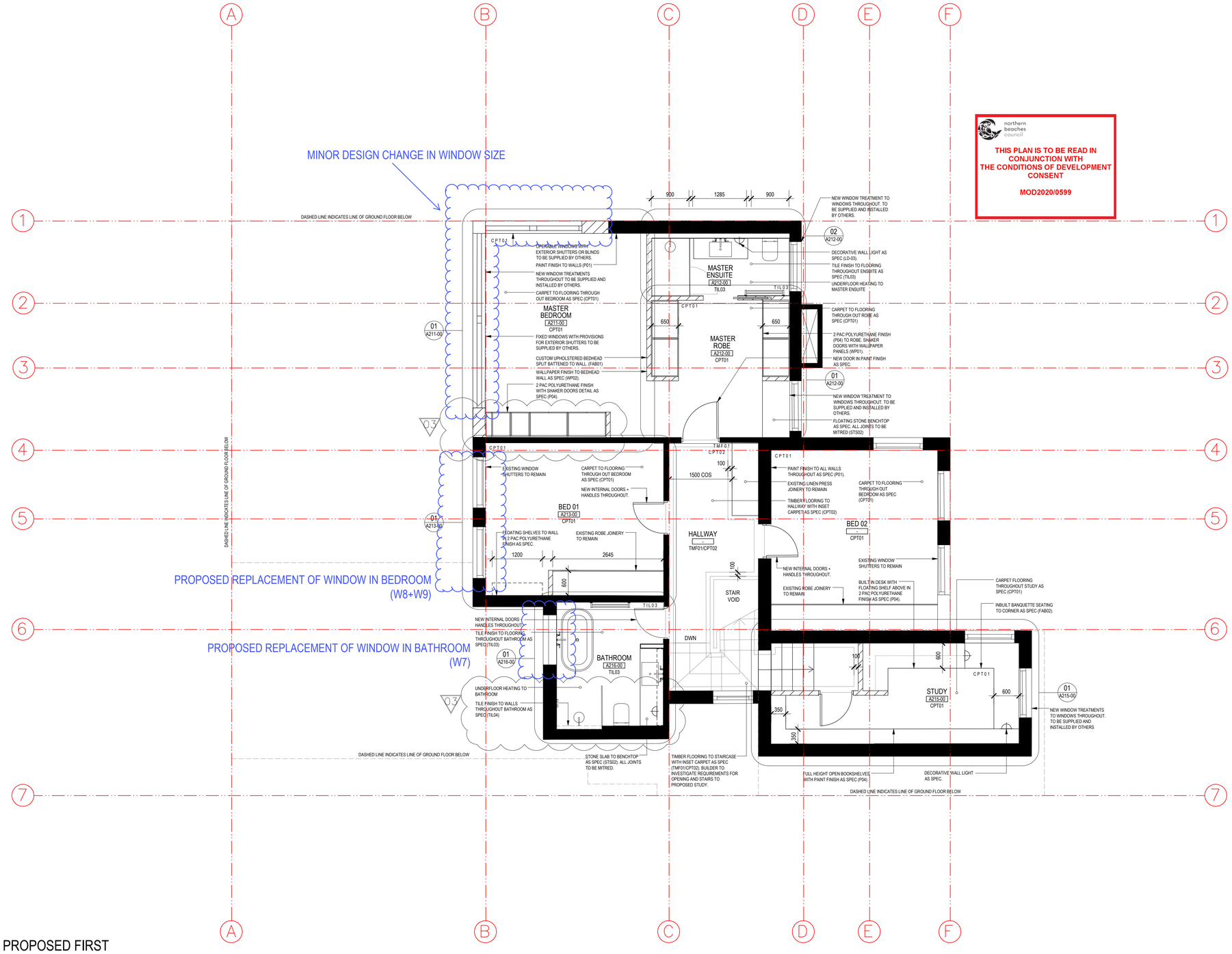
CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
FIRST FLOOR
DEMOLITION PLAN

DRAWING NO.
DA-008

DATE | 08/05/20
REVISION | 01
SCALE | 1:50 at A1

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0599

01 PROPOSED FIRST FLOOR PLAN
1:50

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR PRELIMINARY REVIEW	23.07.19
D	ISSUED WITH AMENDMENTS	01.08.19
E	ISSUED FOR REVIEW	20.09.19
F	ISSUED WITH AMENDMENTS	23.10.19
G	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20
02	ISSUED WITH AMENDMENTS	06.07.20
03	ISSUED WITH AMENDMENTS	26.10.20

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SCALE 1:50 @ A1

ISSUED FOR CONSTRUCTION

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ABN | 48 630 675 339

PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
PROPOSED FIRST FLOOR PLAN

DRAWING NO.
DA-007

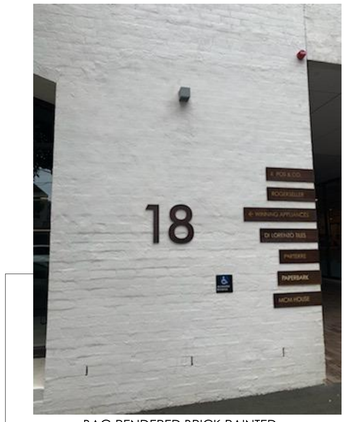
DATE | 26/10/20
REVISION | 03
SCALE | 1:50 at A1

northern beaches council

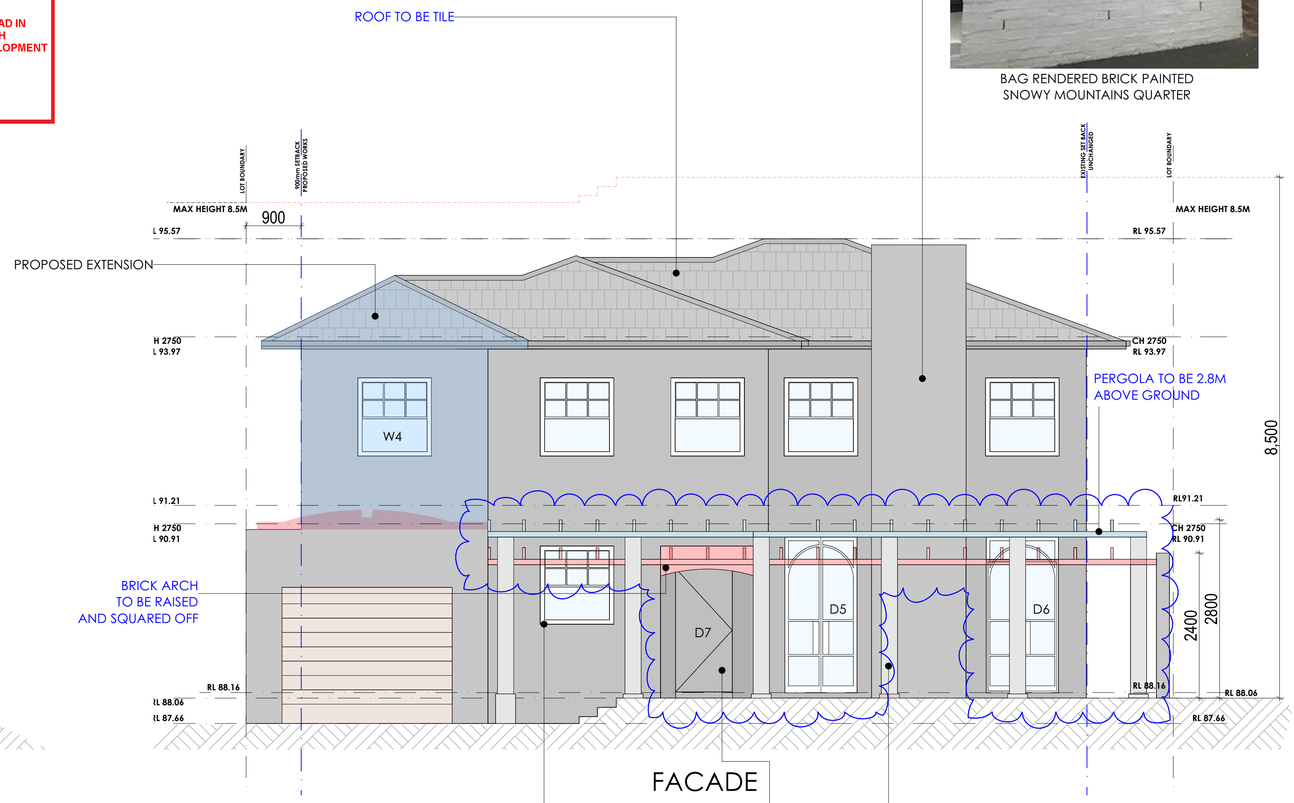
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0599

EXISITNG FACADE



BAG RENDERED BRICK PAINTED
SNOWY MOUNTAINS QUARTER



FACADE

Dulux
Snowy Mountains Quarter

WINDOW AND DOOR TRIMS

Dulux
Pale Green Tea

FRONT DOOR COLOUR

Dulux
Colourbond Monument

COLUMNS

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

EXISTING PERGOLA TO BE RAISED
DOOR 7 ENTRY DOOR TO BE REPLACED LARGER SOLID TIMBER DOOR
DOOR 5 & 6TO BE REPLACED WITH FRAMED GLAZED DOORS
EXISTING BRICK ARCH TO BE RAISED

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED WITH AMENDMENTS	23.10.19
E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

FONT IN BLUE DENOTES PROPOSED AMENDMENTS AS PART OF THIS SECTION 4.55 APPLICATION

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SCALE 1:20 **@ A1**

SECTION 4.55 APPLICATION

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ABN | 48 630 675 339

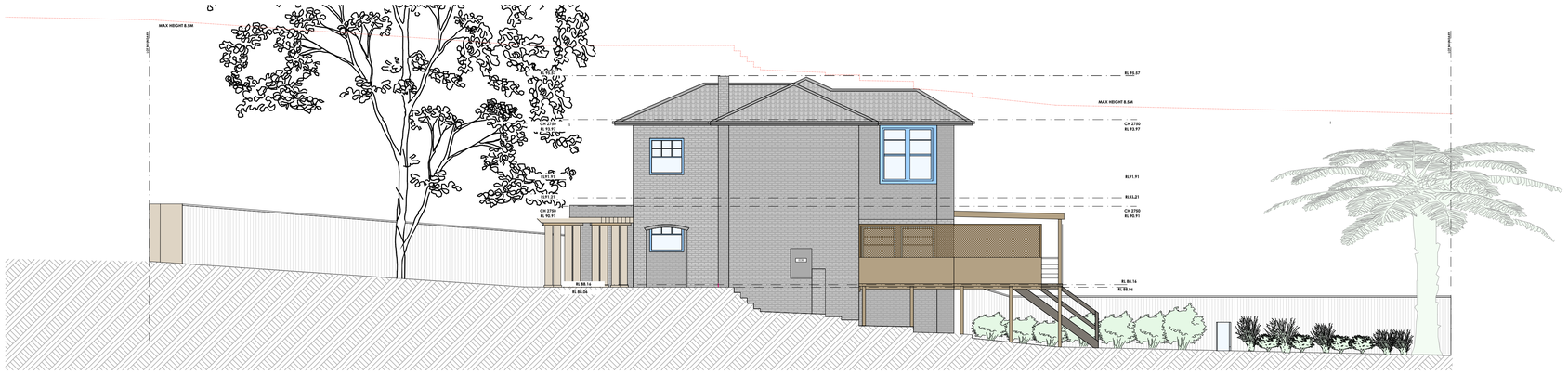
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
EAST ELEVATION - FACADE PLAN

DRAWING NO.
DA-010

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1



EXISITNG NORTH ELEVATION

northern beaches council

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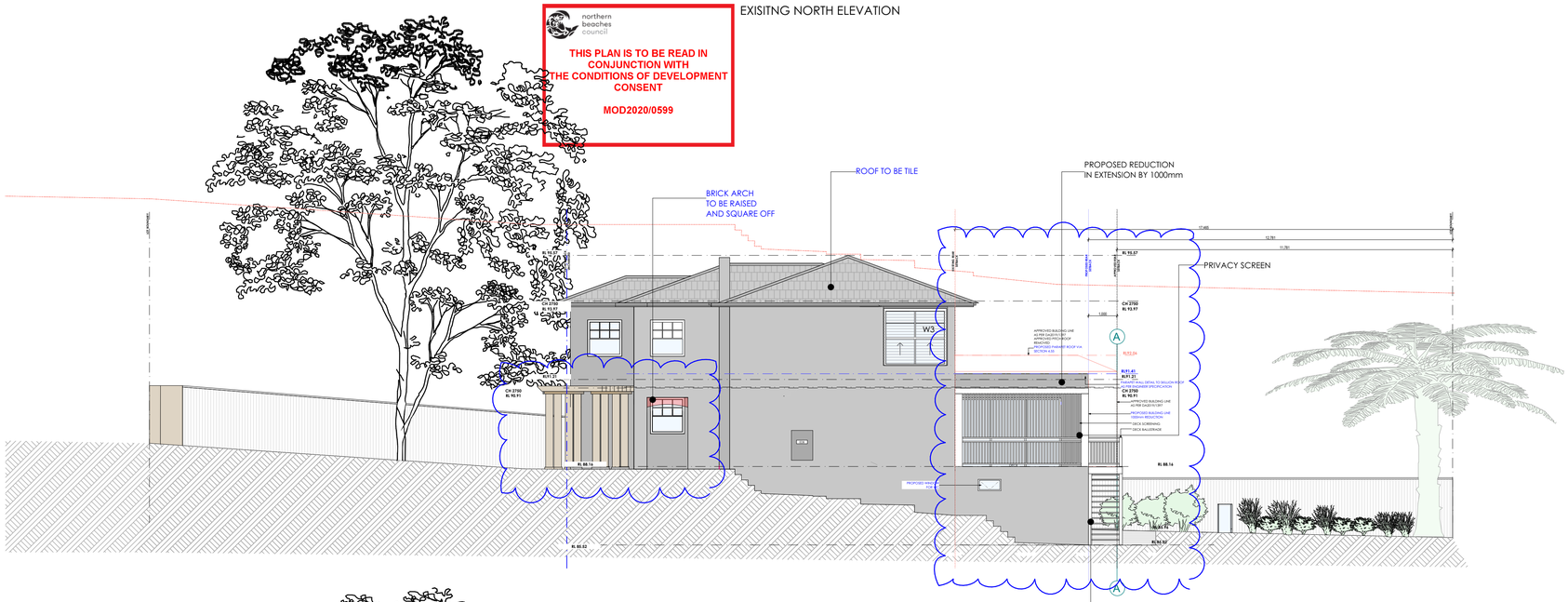
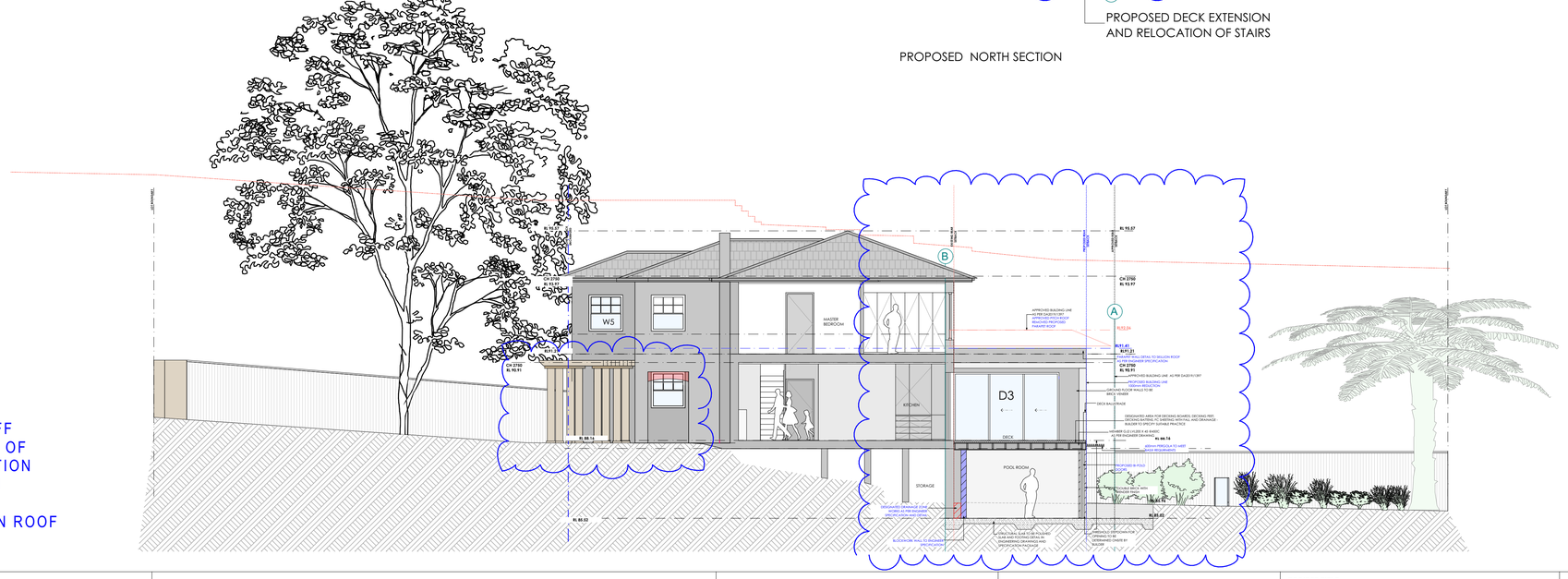
MOD2020/0599



PROPOSED NORTH SECTION



PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

EXISTING PERGOLA TO BE RAISED

EXISTING BRICK ARCH TO BE RAISED AND SQUARED OFF

REDUCTION IN BUILDING FORM BY 1000MM FROM REAR OF PROPERTY TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION

DOOR 3 TO BE REDUCED BY 1000mm

REPLACE APPROVED KITCHEN HIP ROOF WITH SKILLION ROOF

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED WITH AMENDMENTS	23.10.19
E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

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SECTION 4.55 APPLICATION

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ABN | 48 630 675 339

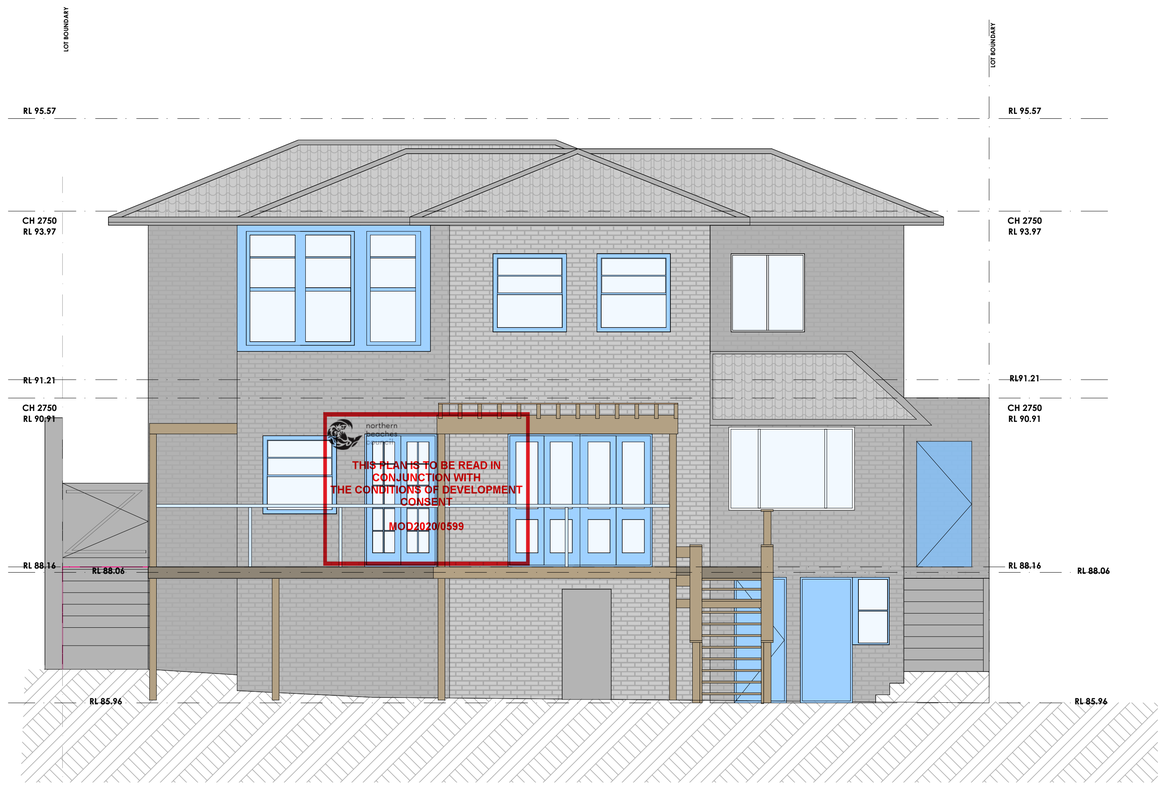
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

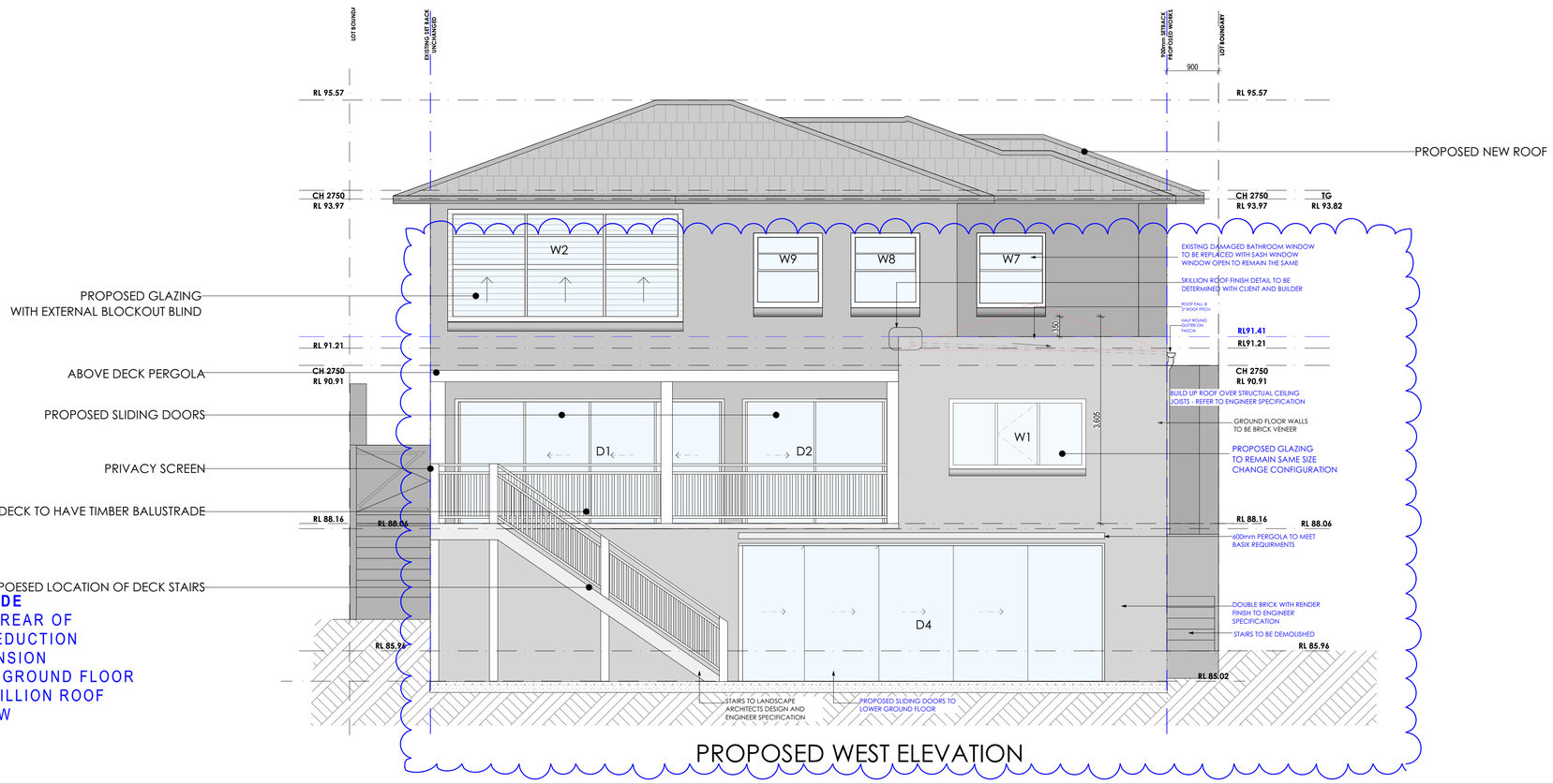
DRAWING TITLE.
NORTH
ELEVATION

DRAWING NO.
DA-011

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1



EXISITNG WEST ELEVATION



PROPOSED WEST ELEVATION

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE

REDUCTION IN BUILDING FORM BY 1000MM FROM REAR OF PROPERTY TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION

PROPOSED DOOR 4 TO BE INSTALLED TO LOWER GROUND FLOOR

REPLACE APPROVED KITCHEN HIP ROOF WITH SKILLION ROOF

W1 TO BE CHANGED TO FIXED/CASEMENT WINDOW

REV.	DESCRIPTION.	DATE.
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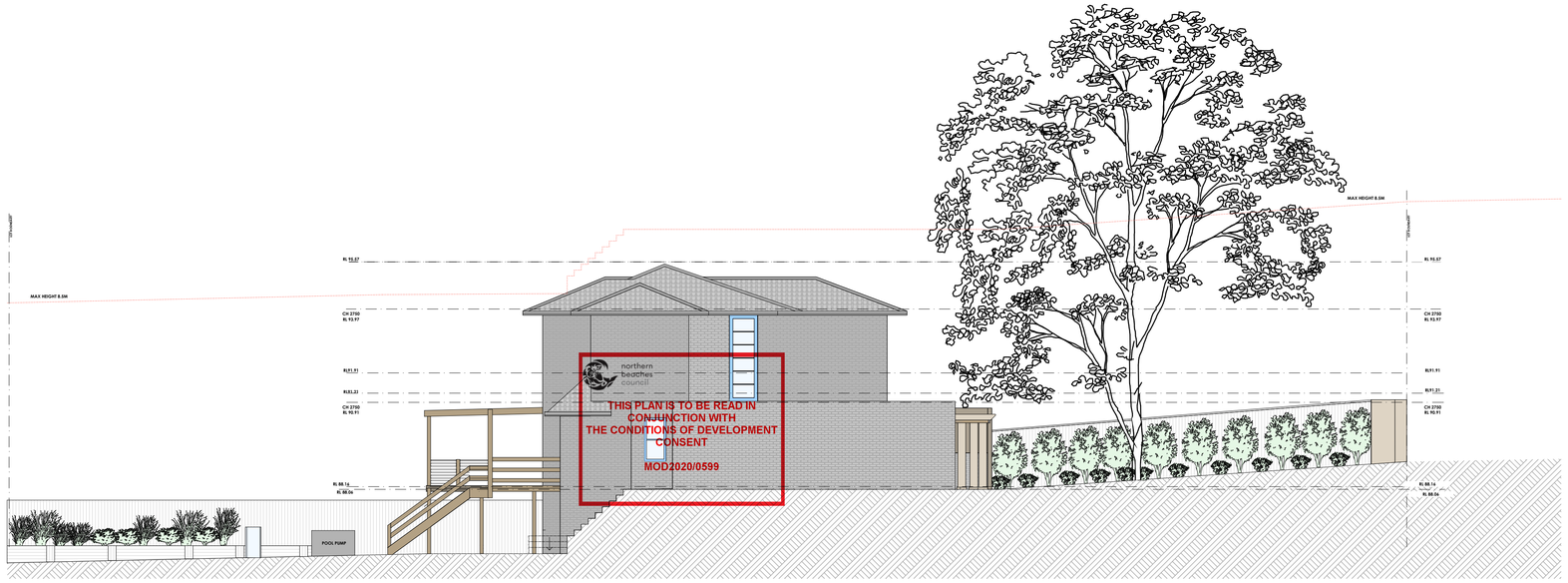
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

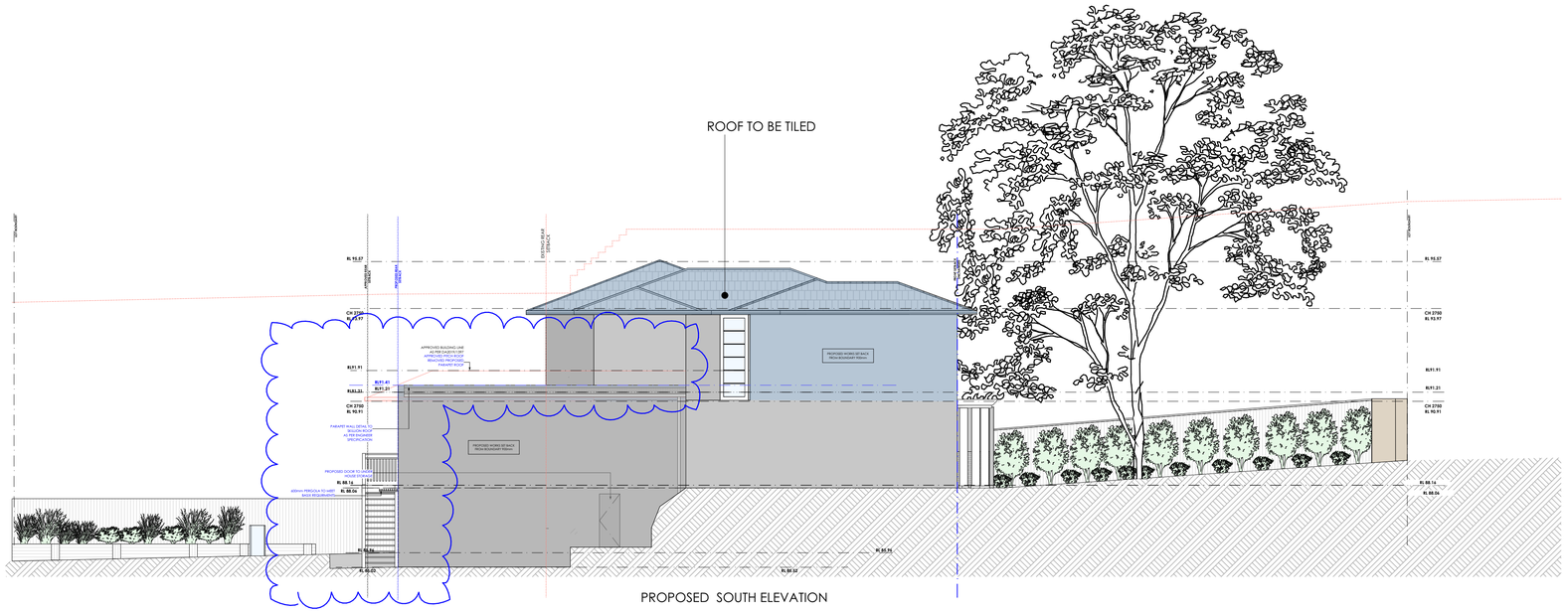
DRAWING TITLE.
WEST ELEVATION
REAR

DRAWING NO.
DA-012

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1



EXISITNG SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

PROPOSED MODIFICATION TO DA2019/1397 INCLUDE
REDUCTION IN BUILDING FORM BY 1000MM FROM REAR OF PROPERTY TOWARDS BEATRICE STREET. THIS REDUCTION CAPTURES PROPOSED DECK AND KITCHEN EXTENSION
PROPOSED DOOR TO UNDERHOUSE STORAGE/ACCESS

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
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DEMOLITION WORK

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SECTION 4.55 APPLICATION

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ABN | 48 630 675 339

PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

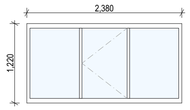
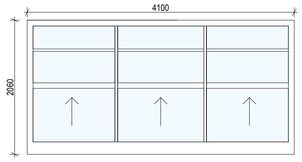
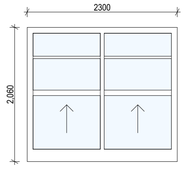
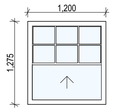
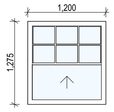
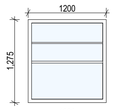
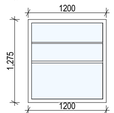
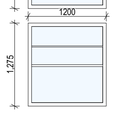
CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
SOUTH
ELEVATION

DRAWING NO.
DA-013

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1

WINDOW SCHEDULE

WINDOW	SIZE	QTY	LOCATION	MATERIAL	NOTE
W1 	2380mm x 1220mm	1	GROUND FLOOR KITCHEN	TIMBER PAINTED FRAME	FIXED/ CASEMENT
W2 	4100mm x 2060mm	1	FIRST FLOOR MAIN BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING W/ EXTERNAL BLIND
W3 	2300mm x 2060mm	1	FIRST FLOOR MAIN BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING W/ EXTERNAL BLIND
W4 	1200mm x 1275mm	1	FIRST FLOOR MAIN STUDY	TIMBER PAINTED FRAME	SHASH OPENING GLAZING
W5 	1200mm x 1275mm	1	FIRST FLOOR MAIN STUDY	TIMBER PAINTED FRAME	SHASH OPENING GLAZING
W6	800mm x 400mm	1	LOWER GROUND FLOOR WC	ALUMINIUM PAINTED FRAME	AWNING OPENING
W7 	1200mm x 1275mm	1	FIRST FLOOR BATHROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING
W8 	1200mm x 1275mm	1	FIRST FLOOR BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING
W9 	1200mm x 1275mm	1	FIRST FLOOR BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING

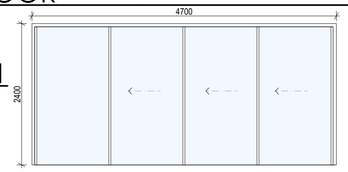
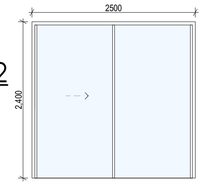
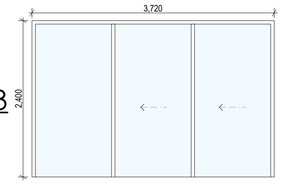
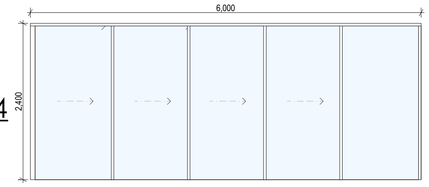
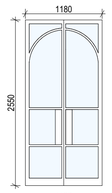
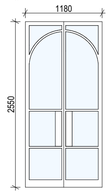
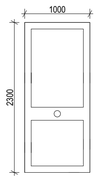
WINDOW OPENING SIZE TO REMAIN THE SAME AS EXISTING

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0599

DOOR SCHEDULE

DOOR	SIZE	QTY	LOCATION	MATERIAL	NOTE
D1 	4700mm x 2400mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	SLIDING
D2 	2500mm x 2400mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	SLIDING
D3 	3720mm x 2400mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	SLIDING
D4 			LOWER GROUND FLOOR	ALUMINIUM PAINTED FRAME	SLIDING
D5 	1180mm x 2550mm		GROUND FLOOR LIVING	PAINTED FRAME	FIXED PANEL SWING DOOR
D6 	1180mm x 2550mm		GROUND FLOOR LIVING	PAINTED FRAME	FIXED PANEL SWING DOOR
D7 	1000mm x 2300mm		GROUND FLOOR ENTRY	SOLID TIMBER DOOR	SWING DOOR

REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	21.03.19
B	ISSUED FOR PRELIMINARY REVIEW	06.06.19
C	ISSUED FOR REVIEW	20.09.19
D	ISSUED WITH AMENDMENTS	23.10.19
E	ISSUED FOR PRICING	04.11.19
01	ISSUED FOR CONSTRUCTION	08.05.20

DEMOLITION WORK

FONT IN BLUE DENOTES PROPOSED AMENDMENTS AS PART OF THIS SECTION 4.55 APPLICATION

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SCALE 1:20 @ A1

SECTION 4.55 APPLICATION

Figured dimensions take precedence to scale readings. Verify all dimensions on site.
Report any discrepancies to the Designer for decision before proceeding with the work.

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ABN | 48 630 675 339

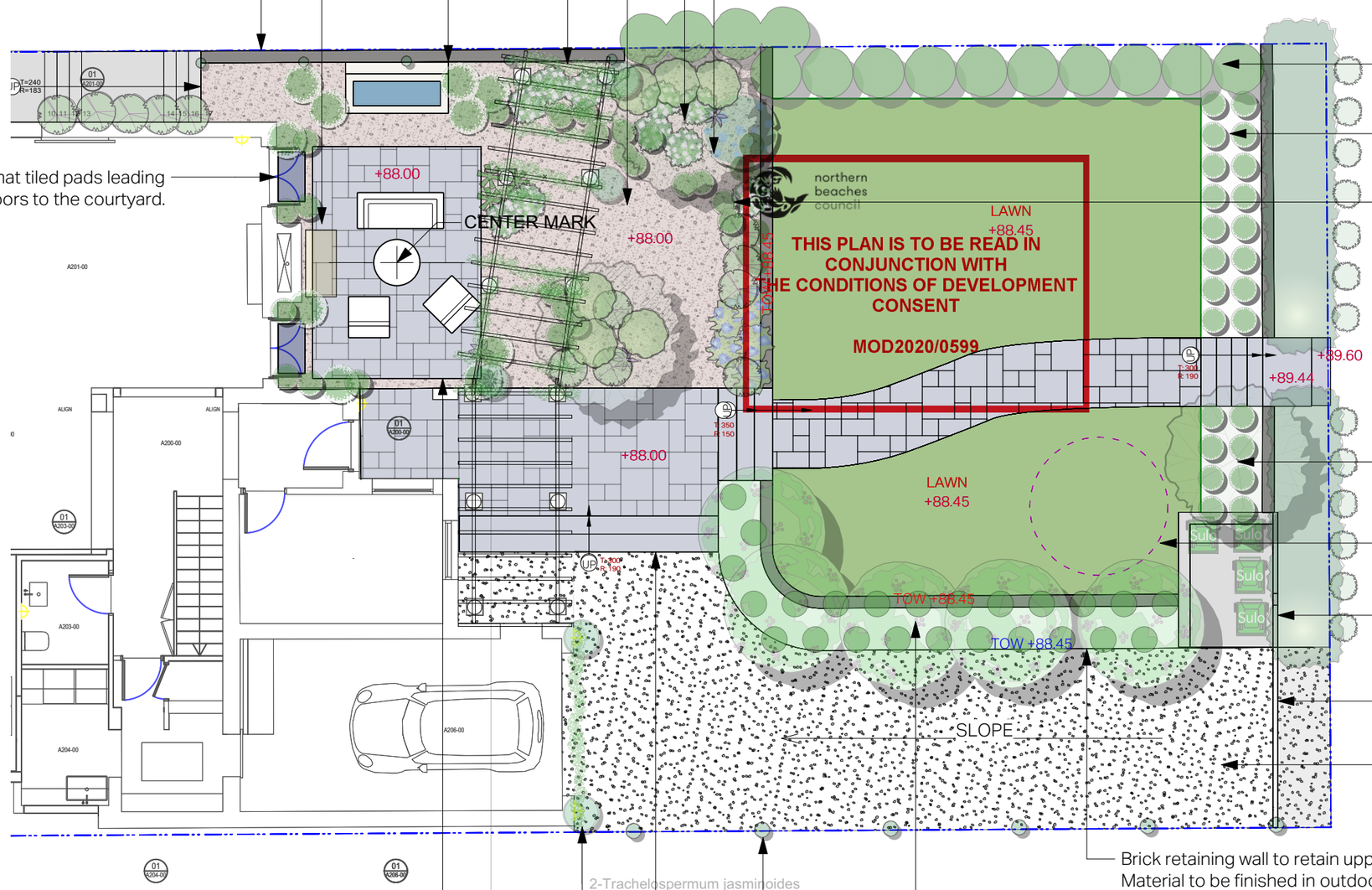
PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
WINDOW & DOOR SCHEDULE

DRAWING NO.
DA-014

DATE | 8.09.2020
REVISION | 01
SCALE | 1:50 at A1



Water feature to create focal point in courtyard.

Location of table. (Supplied by client)

Proposed height of wall to match existing screen.

Large format tiled pads leading from doors to the courtyard.

Natural stone paved pad, surrounded by pebble surface area. (E.g. sandstone pave pattern)

Steel wire to train Bougainvillea spp. over garage opening.

Proposed wide, long steps leading from driveway to upper landing pad.

Upgrade existing pergola structure to 2.8M in height from exidting ground level

Pebble pathway with areas of compact resin gravel. Details to be confirmed throughout design process. (Proposed pebbles to be 'Wild Honey' 7-10mm)

2 x Feature trees aside pergola to compliment overall scale of the space. (E.g. Lagerstroemia indica)

Pockets of planting below specimen trees.

Proposed screen planting along boundary. (E.g. Syzygium australe)

Sloped garden bed with evergreen planting en masse. (E.g. Liriope 'Evergreen Giant')

Mixed planting to border upper lawn area.

2 x Proposed feature trees to define entrance into property.

Feature tree to screen bins area from within the property.

Proposed location of in-ground trampoline.

Retain existing bins location. Self-climbing species grown to disguise platform base.

Existing driveway gate to be retained.

New driveway surface, supplied and installed by other.

Brick retaining wall to retain upper lawn area. Material to be finished in outdoor paint.

Avenue planting adjacent to driveway and lawn area. (E.g. Pyrus nivalis with Hedera spp. groundcover to spillover wall)

Introduce self-climbing species to boundary fence. (E.g. Ficus pumila)

Notes

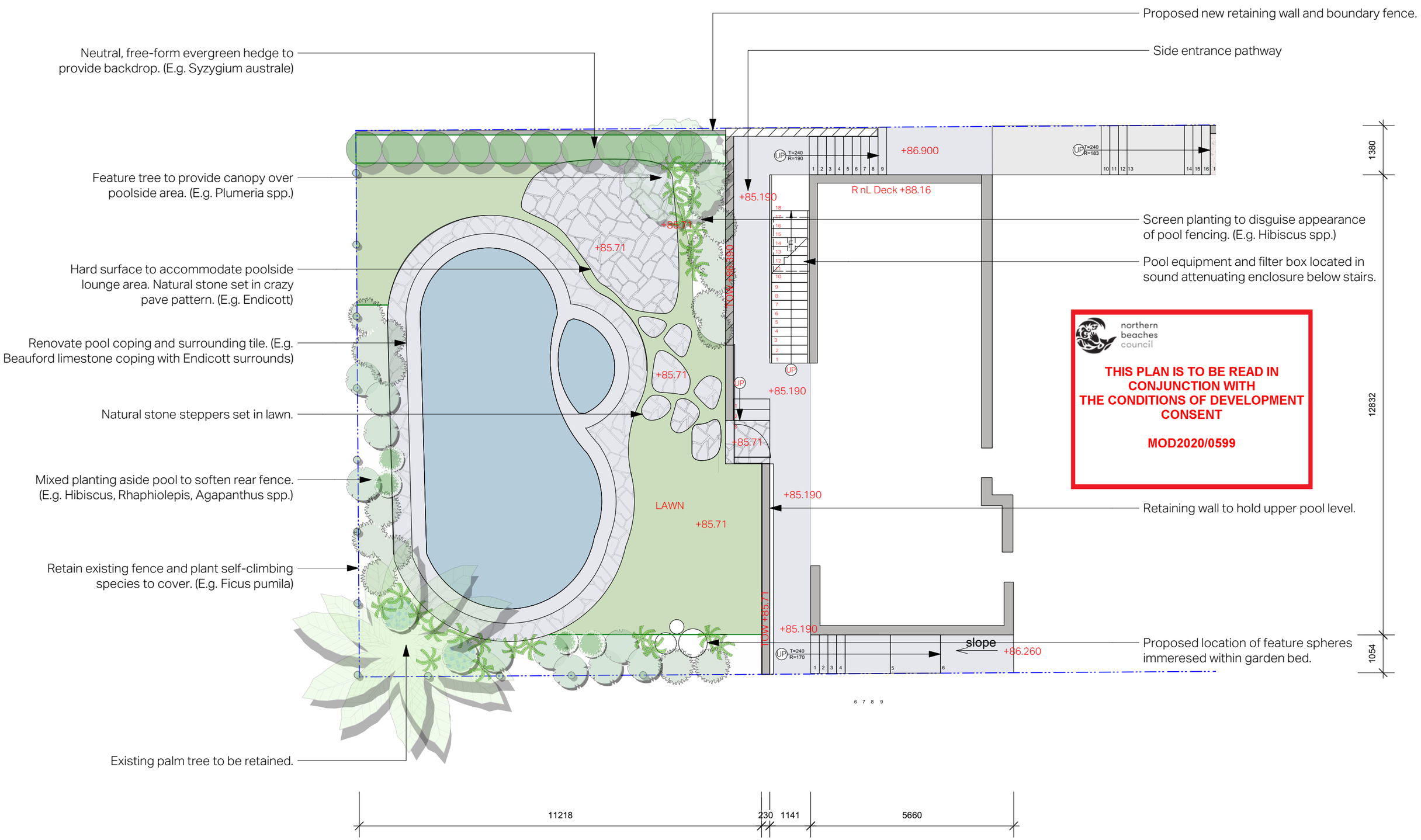
This drawing is for design guidance only. Final details are determined on site to meet site conditions, relevant authorities and applicable building standards. All dimensions verified on site prior to site fabrications.

GOODMANORS
Pool + Garden
02 9818 3377
goodmanors.com.au

Project
Hearne Residence
67 Beatrice Street.
Balgowlah Heights

Drawn	Scale	Date	Dwg No	Rev
Drawn By: TC	1:100 @ A3	25.09.20	CLP F01	S4.55

Drawing Title
Concept Landscape Plan Front



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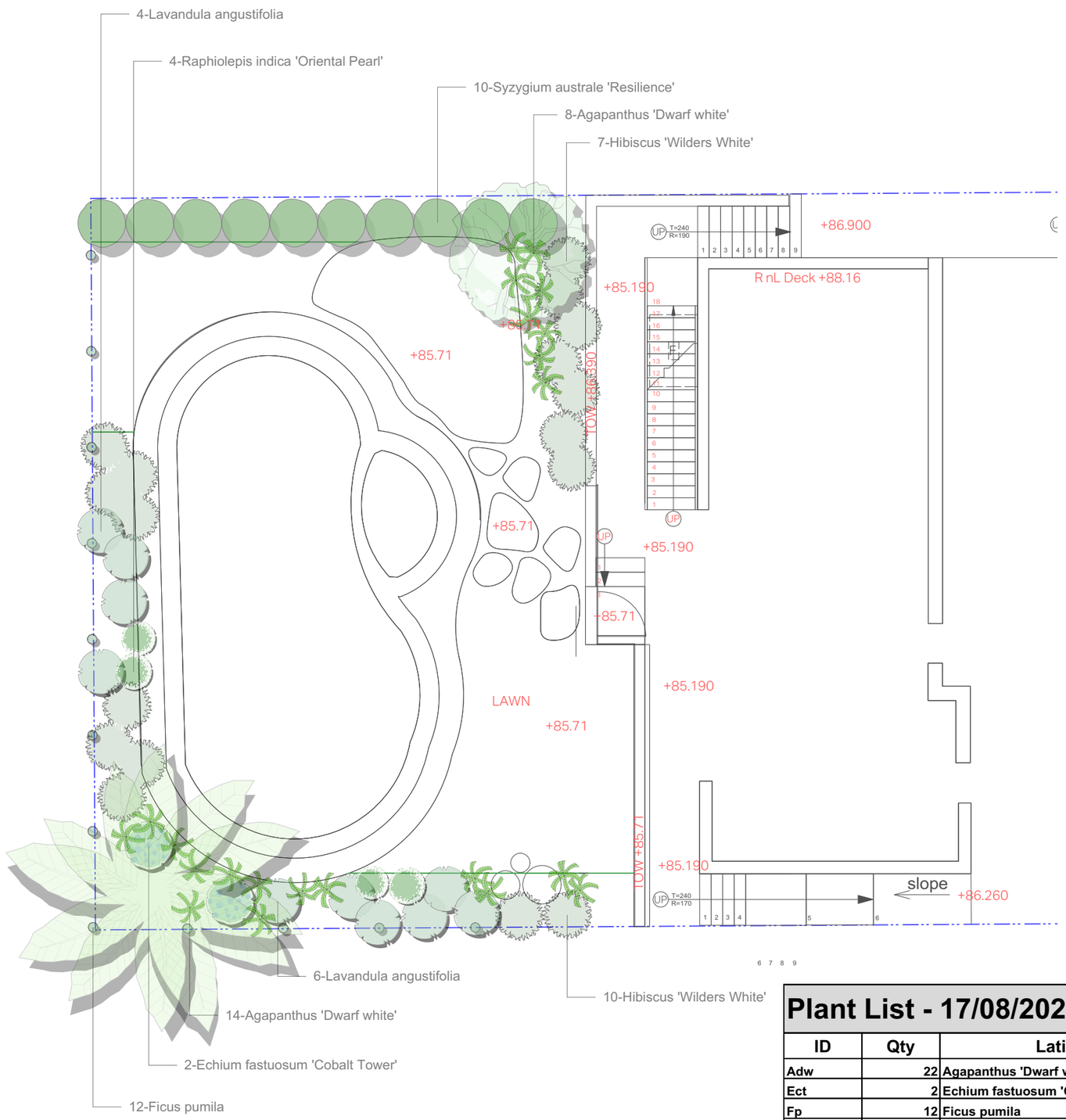
Drawn	Scale	Date	Dwg No	Rev
Drawn By: TC	1:100 @ A3	25.09.20	CLP R01	S4.55

Drawing Title
Concept Landscape Plan Rear



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0599

Plant List - 17/08/2020 Rear

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Adw	22	Agapanthus 'Dwarf white'	Dwarf white agapanthus	150 mm	Existing
Ect	2	Echium fastuosum 'Cobalt Tower'	Pride of Madeira	150mm	
Fp	12	Ficus pumila	Creeping fig	150mm	
HWW	17	Hibiscus 'Wilders White'	hibiscus	300mm	
La	10	Lavandula angustifolia	English Lavender	175mm	
Rop	4	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorn	200mm	
Syr	10	Syzygium australe 'Resilience'	Lillypilly	300 mm	

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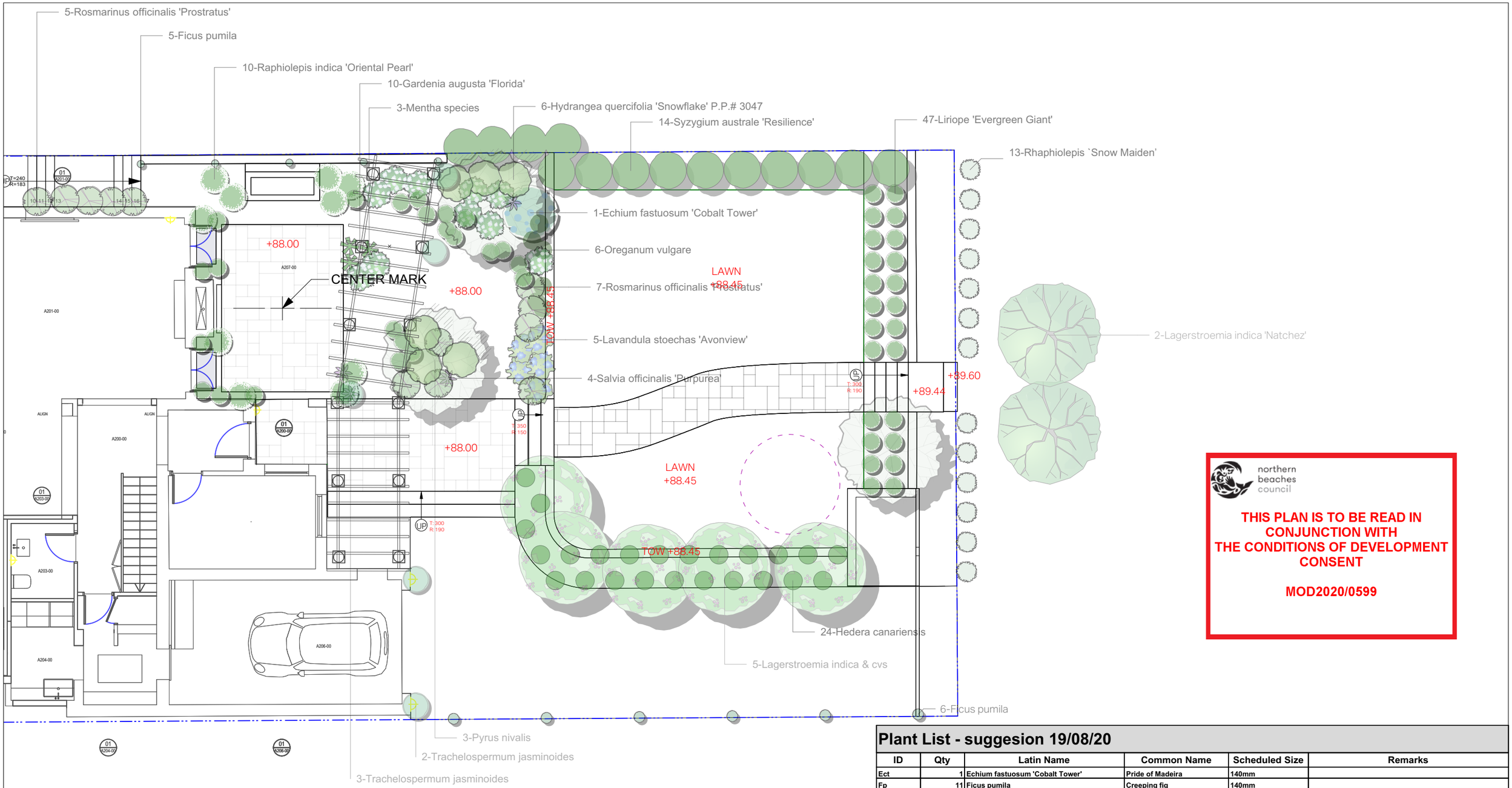
67 Beatrice Street.
Balgowlah Heights

Drawn	Scale	Date	Dwg No	Rev
Drawn By: TC	1:100 @ A3	17.08.20	PP R01	S4.55

Drawing Title
Planting Plan Rear



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0599

Plant List - suggesion 19/08/20

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Ect	1	Echium fastuosum 'Cobalt Tower'	Pride of Madeira	140mm	
Fp	11	Ficus pumila	Creeping fig	140mm	
Gf	10	Gardenia augusta 'Florida'	Gardenia	200mm	
Hc	24	Hedera canariensis	Algerian ivy	140 mm	«comments»
HSno	6	Hydrangea quercifolia 'Snowflake' P.P.# 3047	Snowflake Oakleaf Hydrangea	300mm	
LaInNa	2	Lagerstroemia indica 'Natchez'	Crepe Myrtle	75 Ltr	
Lg	47	Liriope 'Evergreen Giant'	Turf Lily	200mm	
Li	5	Lagerstroemia indica & cvs	Crepe Myrtle	75 Ltr	
LsA	5	Lavandula stoechas 'Avonview'	Lavandula Avonview	200 mm.	
Ms	3	Mentha species	Mint	150mm	
Ore	6	Oreganum vulgare	Oregano	150 mm	
Pn	3	Pyrus nivalis	Snow Pear	100 Ltr	
Rop	10	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorn	200mm	
Rpr	12	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	200mm	
RSM	13	Rhaphiolepis `Snow Maiden'	dwarf indian hawthorn	200mm	
Sop	4	Salvia officinalis 'Purpurea'	Purple Sage	150 mm	
Syr	14	Syzygium australe 'Resilience'	Lillypilly	300 mm	
Tj	5	Trachelospermum jasminoides	Chinese Star Jasmine	300 mm	A

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Drawn	Scale	Date	Dwg No	Rev
Drawn By: TC	1:100 @ A3	19.08.20	PP F01	S4.55

Drawing Title

Planting Plan Front