



**SY Planning
Services PTY LTD**

Statement of Environmental Effects

Alterations and additions to
dwelling, swimming pool and
detached studio

Address:

25 Hay Street Collaroy 2097
LOT 37 SECTION 12 DP 10648

Date:

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1. Introduction

This Statement of Environmental Effects (SEE) has been prepared by SY Planning and accompanies a Development Application for the following development at 25 Hay Street Collaroy 2097 (LOT 37 SECTION 12 DP 10648).

- Alterations and additions to existing dwelling house
- Installation of a swimming pool
- Erection of a detached studio
- Erection of a new outdoor fireplace
- Ancillary earthworks including retaining wall
- Demolition

This SEE describes the subject site and the proposed development, assessing the impacts of the development as required by the EP&A Act.

2. Overview of Planning Provisions

Basic Details	
Address	25 Hay Street Collaroy 2097
Real Property Description	LOT 37 SECTION 12 DP 10648
Current Use	Existing dwelling house.
Land Size	685.2m ²
Zoning	R2: Low Density Residential
Local Government Area	Northern Beaches Council
Local Environmental Plan	Warringah Local Environmental Plan 2011
Development Control Plan	Warringah Development Control Plan 2011
Applicable LEP Development Standards	• Clause 2.3: Zone objectives and Land Use Table • Clause 2.7: Demolition requires consent • Clause 4.3: Height of buildings • Clause 6.2: Earthworks • Clause 6.4: Geotechnical hazards
Applicable State Environmental Planning Policies	• State Environmental Planning Policy (Sustainable Buildings) 2022 • State Environmental Planning Policy (Resilience and Hazards) 2021

Table 1: Overview of Planning Provisions

3. Site Description and Surrounding Context

The subject site, known as 25 Hay Street Collaroy 2097 (LOT 37 SECTION 12 DP 10648) is located within the R2: Low Density Residential under the Warringah Local Environmental Plan 2011. The site is a single standard lot with existing vehicular access via a Hay Street. The site is currently improved by a two storey dwelling house. Immediate surrounding land uses can be described to be comprised of a detached single dwelling house.

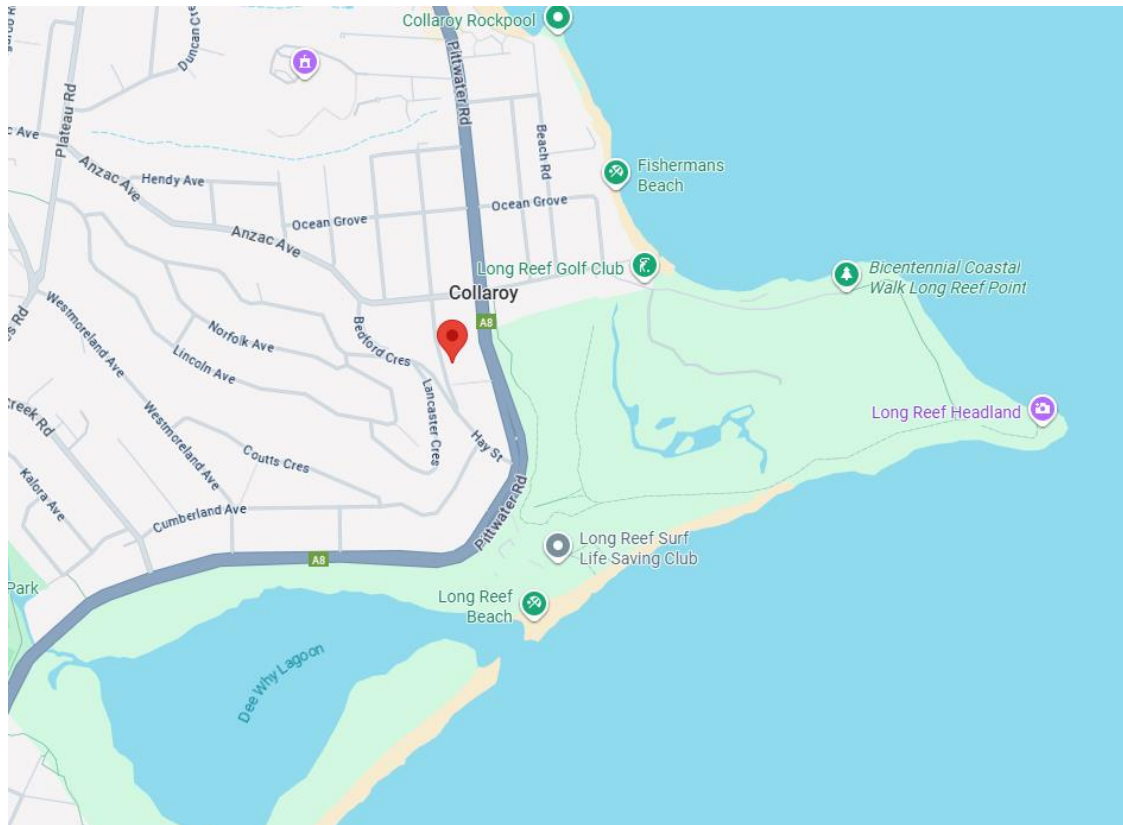


Figure 1: Locality Map of subject site (Source: Google Maps)

4. Proposed Development

The proposed development involves the alterations and additions to existing dwelling house, installation of a swimming pool, erection of a detached studio and ancillary earthworks. The development can be summarised below as:

Development Summary	
Item	Details
Alterations and Additions Dwelling House	
Gross Floor Area	Increased from 140m ² to 251m ²
Number of storeys	2 (No Change)
Building Height	Retains existing maximum building height of approximately 7.7m
Setbacks	Lower Level Front: No change Side (North): Increased from boundary (deck) to 1.1m (deck) Side (South): No change at 813mm for existing structure. Dwelling additions to increase setback to 900mm Rear: Reduced from 19m to 16.65m Ground Level Front: No change Side (North): Decreased from 3.2m to 1.69m Side (South): No change at 813mm for existing structure. Dwelling additions to increase setback to 900mm Rear: Reduced from 24.5m to 18.72m
Swimming Pool	
Capacity	Approximately 37696kL inground swimming pool
Setbacks	Side (North): 1.84m Side (South): N/A Rear: 3.58m
Detached Studio	
Intended Use	Non-habitable building to be used as a household recreation facility.
Gross Floor Area	27m ²
Facilities	- Open plan recreational area 1x bathroom 1x sauna
Number of storeys	1
Building Height	2.9m
Setbacks	Side (North): N/A Side (South): 910mm Rear: 2.06m
Ancillary Works	
Earthworks	- Minor cut and fill of approximately 500mm on the lower level to allow rear additions. - Approximately 450mm cut at the rear and 1.5m fill to erect detached studio and install swimming pool. - Retaining wall of approximately 1.45m high.
Vegetation Clearing	Removal of 1 pine tree along the north east corner of the site.
Demolition	- Partial demolition of existing dwelling - Partial demolition of existing deck on lower floor - Removal of existing timber deck and skateboard ramp rear of the site
Fireplace	Erection of a new outdoor fire place

5. Environmental Planning Assessment Overview

This section provides an environmental assessment of the proposed development in respect of the relevant matters for consideration under Section 4.15(1) of the Environmental Planning and Assessment Act, 1979 (EP&A Act).

Under Section 4.15(1), the consent authority must take into consideration the provisions of:

- | | | |
|----|--------------------------|--|
| 1) | Section 4.15(1)(a)(i) | Environmental Planning Instruments; |
| 2) | Section 4.15(1)(a)(ii) | Draft Environmental Planning Instruments; |
| 3) | Section 4.15(1)(a)(iii) | Development Control Plans; |
| 4) | Section 4.15(1)(a)(iiia) | Planning Agreements; |
| 5) | Section 4.15(1)(a)(iv) | The Regulations; |
| 6) | Section 4.15(1)(b) | Likely impacts of the development on natural and built environments; |
| 7) | Section 4.15(1)(c) | Suitability of site for the development; |
| 8) | Section 4.15(1)(d) | Submissions; and |
| 9) | Section 4.15(1)(e) | The public interest. |

5.1 Section 4.15(1)(a)(1) – Any Environmental Planning Instrument

The relevant environmental planning instruments applicable to this proposal include:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- Warringah Local Environmental Plan 2011

5.1.1 State Environmental Planning Policy (Resilience and Hazards) 2021

The proposal is to be assessed under the relevant provisions of SEPP (Resilience and Hazards) 2021. Clause 4.6 under Chapter 4 of the SEPP requires that a consent authority must not consent to the carrying out of development on land unless;

- (a) it has considered whether the land is contaminated, and
- (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
- (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

The site has been created and used for the purpose of residential accommodation for a long period of time. Given that the site has not been previously used for purposes listed within Table 1 of the Managing Land Contamination Planning Guidelines. As such, it is considered that the site does not contain contaminated land and that the land is suitable for the proposed development without the need for remediation.

5.1.2 State Environmental Planning Policy (Sustainable Buildings) 2022

A BASIX Certificate demonstrating compliance with the minimum standards is submitted with the development application.

The proposed use will comply with the commitments as indicated in the BASIX Certificate.

5.1.3 Warringah Local Environmental Plan 2011

The table below outlines the applicable clauses relevant to the proposed development.

Clause	Provision	Proposed	Comment
2.3 Zone Objectives and Land Use Table	Consistent with zone objectives and land use permissibility	The site is zoned R2: Low Density Residential to which the proposed development is permitted with consent. Given that the development is unlikely to adversely impact the amenity of the locality, it is considered that the development is consistent with the objectives of the zone.	Complies
2.7 Demolition requires consent	The demolition of a building or work may be carried out only with development consent.	The proposed demolition work may not be carried out as exempt development under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008. This application seeks consent to carry out demolition work.	Approval for demolition sought.
4.3 Height of Buildings	Maximum building height of 8.5m.	The proposed development will retain the current site maximum building height of 7.7m	Complies
6.2 Earthworks.	earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.	The proposed development involves approximate cut of 500mm and 1.5m fill. A geotechnical assessment report has been prepared to support this.	Complies

6.4 Development on sloping land	(a) to avoid significant adverse impacts on development and on properties in the vicinity of development sites resulting from landslides originating either on or near sloping land, (b) to ensure the impacts of storm water runoff from development on or near sloping land are minimised so as to not adversely affect the stability of the subject and surrounding land, (c) to ensure subsurface flows are not adversely affected by development so as to not impact on the stability of existing or adjoining land.	The site is mapped as being within Area D of the Landslip Risk Map. A geotechnical assessment report has been prepared to support this application.	Complies
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5.2 Section 4.15(1)(a)(ii) - Any Draft Environmental Planning Instrument

There are no draft Environmental Planning Instruments which apply to the development.

5.3 Section 4.15(1)(a)(iii) - Provisions of any Development Control Plan

The Warringah Development Control Plan 2011 (WDCP 2011) applies to the site. Given the nature of the proposed development, the following WDCP 2011 chapter applies.

- Part B Built Form Controls
- Part C Siting Factors
- Part D Design
- Part E The Natural Environment

Control	Comments
Part B Built Form Controls	
B1 Wall Heights	
1.	The maximum wall height for the proposed development is approximately 6m. Complies
B3 Side Boundary Envelope	
1.	The proposed development would result in technical encroachments into the side boundary envelope. A review of the immediate surrounding suggests such encroachments are common along the eastern side of Hay Street due to the natural topography of the area. This is evident by the material encroachments resulting from the dwelling houses on 23 and 27 Hay Street (ie either side of the proposed development).

	The northern side boundary envelope encroachment is considered to be very minor resulting from the new stairwell. The expected impacts from the northern encroachment are expected to be negligible as the stairwell is a small structure and would not adversely impact on adjoining properties. The southern side boundary envelope encroachments are deemed to be appropriate for the following reasons: • The proposed development retains or improves existing building setbacks to the south, noting that new designs are constrained by the existing dwelling design. • The topography and slope of the site also constrains the development, and justify the design and situation of the additions and extensions, with technical non-compliances necessary to avoid having to extend the building further to the rear. • The proposed development minimises the bulk and scale of the new additions through a reduction of building height towards the rear. • Impacts such as privacy and overshadowing on adjoining dwelling (23 Hay Street) is considered to be minimal due to the difference in AHD for the properties. The topography and slope of the site also constrains the development, and justify the design and situation of the additions and extensions, with technical non-compliances necessary to avoid having to extend the building further to the rear. • Design reduces the southern encroachments through the increase of building setback for large parts of the rear addition. The proposed studio complies with the side boundary envelope. Meet the objectives
B5 Side Boundary Setbacks	
1.	The proposed development would result with the dwelling slightly encroaching into the setback to the south of with a setback of 816mm for a portion of the development (which is consistent with current setback for the dwelling) however the majority of the new rear additions increases the side set back to 900mm. This can be supported for the following reasons: • The southern building setback is retained, and the proposed development is constrained by the existing dwelling. • Additional impacts on solar access are expected to be minimal as the new additions does not increase the building height of the dwelling. Furthermore, the adjacent dwelling at 23 Hay Street is required by DA2021/1824 to have fixed 45 degree downward Bahama Shutters on all relevant windows, so there is no visual impact in terms of the perspective from 23 Hay Street. • As previously discussed, majority of the new rear additions increases the side setbacks to 900mm. • The sole new south facing window which would otherwise have some small risk of overlooking private open space on 23 Hay Street is a window in the shower section of ensuite of the proposed development which will have a fixed shutter which means there is no potential for overlooking. Indeed, this is for the benefit of both dwellings given its situation in the ensuite. The proposed studio complies with a side setback of at least 910mm. No worsening and meets the objectives.
2.	The proposed development improves the northern side setback area by including a new landscaped strip behind the existing driveway. Complies

B9 Rear Boundary Setbacks	
1.	The proposed development would result in a compliant rear setback for the dwelling house. However, the proposed studio would not comply with a rear setback of approximately 2.06m. this can be supported for the following reasons: • The proposed studio is small in scale with a building width of approximately 3.9m. Given that the lot width at the rear is approximately 15m, the proposed studio is not expected to visually dominate the rear. • The window along the eastern elevation of the studio will be appropriately screened by a 2m thick Leighton green hedge. This hedge will ensure that privacy to the adjoining dwelling to the east is protected. • The proposed studio is a single storey building with a building height of 2.9m. Overshadowing impacts is considered to be negligible. Meet the objectives
Part C Siting Factors	
C4 Stormwater	
-	A Stormwater Management Plan dated 28 October 2025 has been prepared by Taylor Consulting in support of this application. The plan details the installation of seven absorption trench rows, each measuring 500 millimetres in width and 6,000 millimetres in length, designed to capture runoff from the existing and proposed roof areas as well as adjoining paved and landscaped surfaces. The plan has been independently reviewed by Ascentgeo Geotechnical Consulting, who have certified that the proposed stormwater management measures present no significant geotechnical risk to property or life and are considered acceptable in accordance with the Australian Geomechanics Society Guidelines. Complies
C7 Excavation and Landfill	
1	It is proposed that excavated soils resulting from the development would be re-used on the site. Complies
2, 3, 4	Proposed earthworks are supported by a geotechnical report which accompanies this application. Complies
5	Large parts of the new fill will be used for landscaping purposes. Complies
6.	Proposed earthworks are supported by a geotechnical report which accompanies this application. Complies
C8 Demolition and Construction and C9 Waste Management	
1.	A waste management plan is submitted for council's consideration. Complies
Part D Design	
D1 Landscaped Open Space and Bushland Setting	
1	The proposed development would result in a soft landscaped area of 281m² (41%). Complies
D2 Private Open Space	
1	The proposed development would provide ample private open space exceeding 60sqm through the new balcony, deck and swimming pool.

	Complies
D6 Access to Sunlight	
1	The proposed development is unlikely to result in overshadowing on any public open space. Complies
2	Given the relative location of the private open space of adjoining dwellings to the proposed development, it is considered that the development would provide for At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21. Complies
D7 Views	
1.	The proposed development is not expected to obstruct any views of surrounding properties to the foreshore area due to the natural topography of the site There is no obstruction of views from the adjoining property to the north (27 Hay Street). Their views are predominantly to the east and the north. To the extent there is any oblique views to the south east, the proposed development should not materially impact on those views. There is no obstruction of views from the adjoining property to the south (23 Hay Street). Their views as predominantly to the east and, for the top floor only, there is a side view to the north east. These top floor views will not be constrained due to the sympathetic reduction in maximum roof height to the rear of the proposed dwelling. For the ground floor level, all north facing windows of 23 Hay Street are required by development consent DA2021/1824 to have fixed, 45 degree downward facing Bahama shutters, which means there is no existing views to the north (over 25 hay street) from those windows. Consequently, the minor addition to the rear does not obstruct any views to the adjoining property to the south. Complies
D8 Privacy	
1.	Privacy impacts have been considered in the design of the development generally. This is primarily achieved through the location of new windows and the incorporation of fixed shutters where appropriate as previously discussed to ensure there is no overlooking in to private open spaces from the one southern window in the proposed ensuite which would otherwise have potential to oversee some small sections of private open space. The design has also situated a master ensuite on the southern boundary so as to screen potential overlooking from the deck to the private open space of the south adjoining property. To the north, there is a well established and material vegetative screen on the adjoining property at 27 Hay Street which prevents overlooking to the that property. Complies
D9 Building Bulk	
1	The proposed development aims to reduce the building bulk through the increased setbacks along the southern building elevation. Building bulk from the rear is expected to be reasonable due to significant setbacks to the dwelling house. Complies
2	Large continuous wall planes on the upper level are articulated via a varied roof design, as well as the inclusion of new windows. Complies
4	The building height and scale generally relates to the topography of the site. Complies

5.	The principal dwelling will remain orientated to the street. Complies
6.	The proposed colour, materials and surface treatment is common for the development and compliments the façade of the existing dwelling and the site generally. Complies
7.	The proposed development includes the removal of a single pine tree which is considered to be an invasive species. No worsening
8.	Large continuous wall planes on the second storey are articulated via the numerous windows along the side and rear elevations to provide visual relief. Complies
D10 Building Colours and Materials	
3.	The proposed colour and materials used for the development generally is considered to be complementary to the locality. Complies
D11 Roofs	
2.	The proposed development would include a roof extension with various roof forms to ensure high visual aesthetic while complimenting the existing roof design. Complies
3.	Roof is articulated through the inclusion of a balcony. Complies
4.	Eaves are provided Complies
5.	The proposed roof material will not cause excessive glare and reflection. Complies
D12 Glare and reflection	
3.	The development will avoid using highly reflective glass. Complies
D14 Site Facilities	
1.	Locations of bin storage and clothes drying facilities are to be retained and visually obscured from the street. Complies
D16 Swimming Pools and Spa Pools	
1.	The proposed swimming pool is located behind the existing dwelling. Complies
3.	The proposed swimming pool is designed to comply with Australian Standard AS4970-2009. Complies
D20 Safety and Security	
1.	The dwelling will continue to overlook the street to allow casual surveillance. Complies
Part E The Natural Environment	

E10 Landslip Risk	
1 – 4	A geotechnical report has been prepared supporting this application. Complies

5.4 Section 4.15 (1) (a) (iiia) – Any Planning Agreement or Draft Planning Agreement

The site is not subject to any existing voluntary planning agreements.

5.5 Section 4.15(1)(a)(iv) –The Regulations

This application is prepared generally in accordance with Division 1 of the Environmental Planning and Assessment Regulation 2021.

5.6 Section 4.15(1)(b) Likely impacts of the development on natural and built environments;

Natural and Built Environment

The proposed development is small in scale and bulk and also minimises vegetation clearing. It is considered that the proposed development will not detrimentally effect the natural and built environment.

Social Impacts and Economic Impacts

The proposed development would retain the use of the site as a residential accommodation. The development would also provide for new construction contracts that would provide a positive economic impact.

5.7 Section 4.15(1)(c) – The Suitability of the Site for the Development

Given that the proposed development is generally consistent with the requirements under the WLEP 2011 & the WDCP 2011, it is considered that the proposed development is suitable for the site.

5.8 Section 4.15(1)(d) – Any Submissions made in relation to the Development

Not applicable prior to public notification of application.

5.9 Section 4.15(1)(e) –The Public Interest

The proposed development is consistent with the objectives of the Environmental Planning & Assessment Act 1979 in so far as it promotes the co-ordinated and orderly, and economic use and development of the land. Given this, the development is consistent with the public interest.

6. Conclusion

This DA seeks involves the alterations and additions to existing dwelling house, installation of a swimming pool, erection of a detached studio and ancillary earthworks. at 25 Hay Street Collaroy 2097 (LOT 37 SECTION 12 DP 10648).

The proposal is supported from a town planning perspective for reasons set out in this report, summarised as follows:

- The proposal is a permitted land use under the LEP and is consistent with all relevant clauses required under the LEP;
- The proposed development is generally consistent with the applicable SEPPs;
- The proposed development remains generally consistent with the development standards and/or objectives within the DCP;

Based on the reasons outlined in this report, it is our position that the proposal is consistent with the objectives and controls of the relevant planning framework and so therefore we recommend this DA be granted consent.

We trust that the SEE has addressed all the relevant sections as required by the state and local planning provisions and that the proposal is deemed to be compatible, appropriate and fit for purpose for the surrounding area.



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