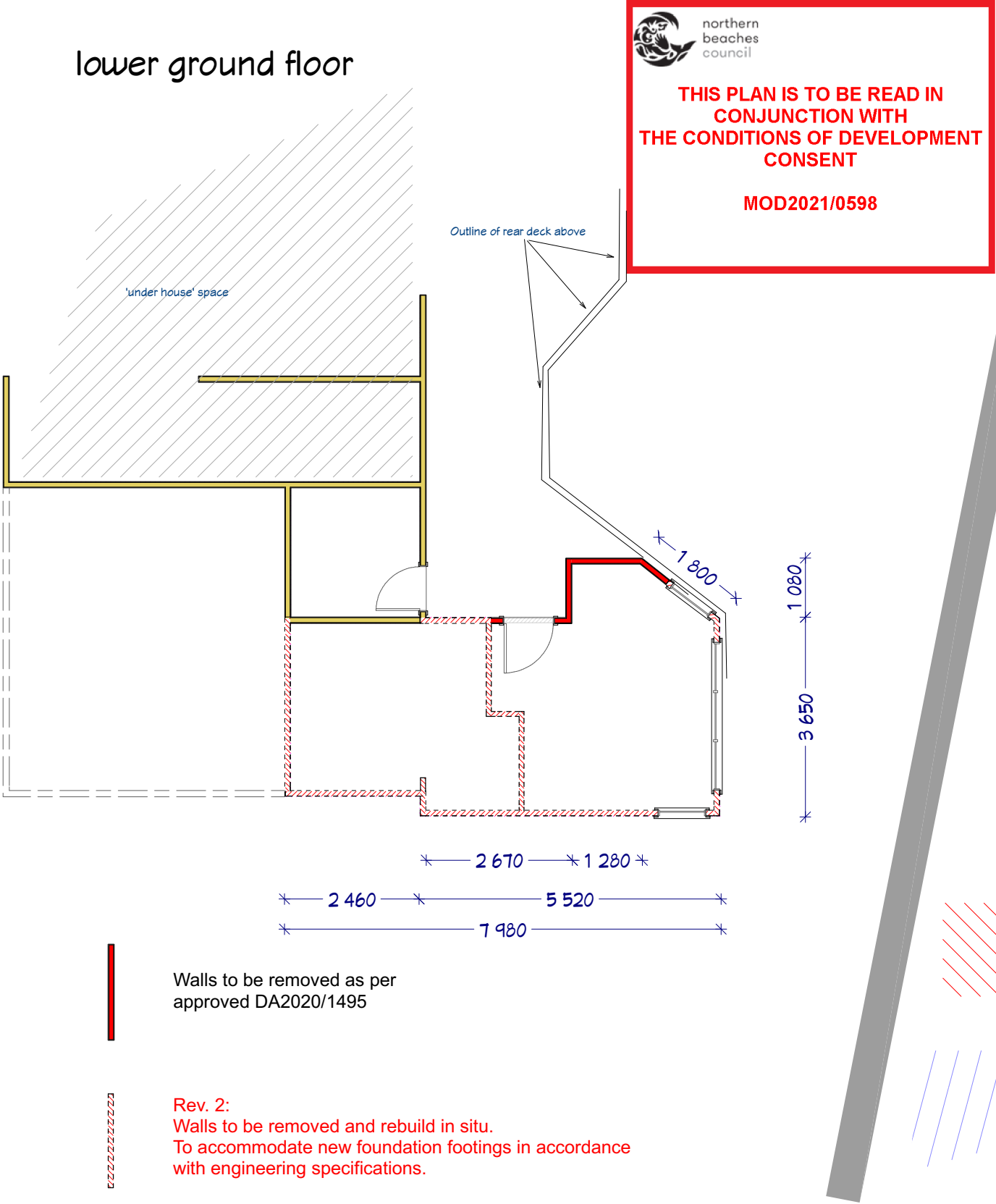
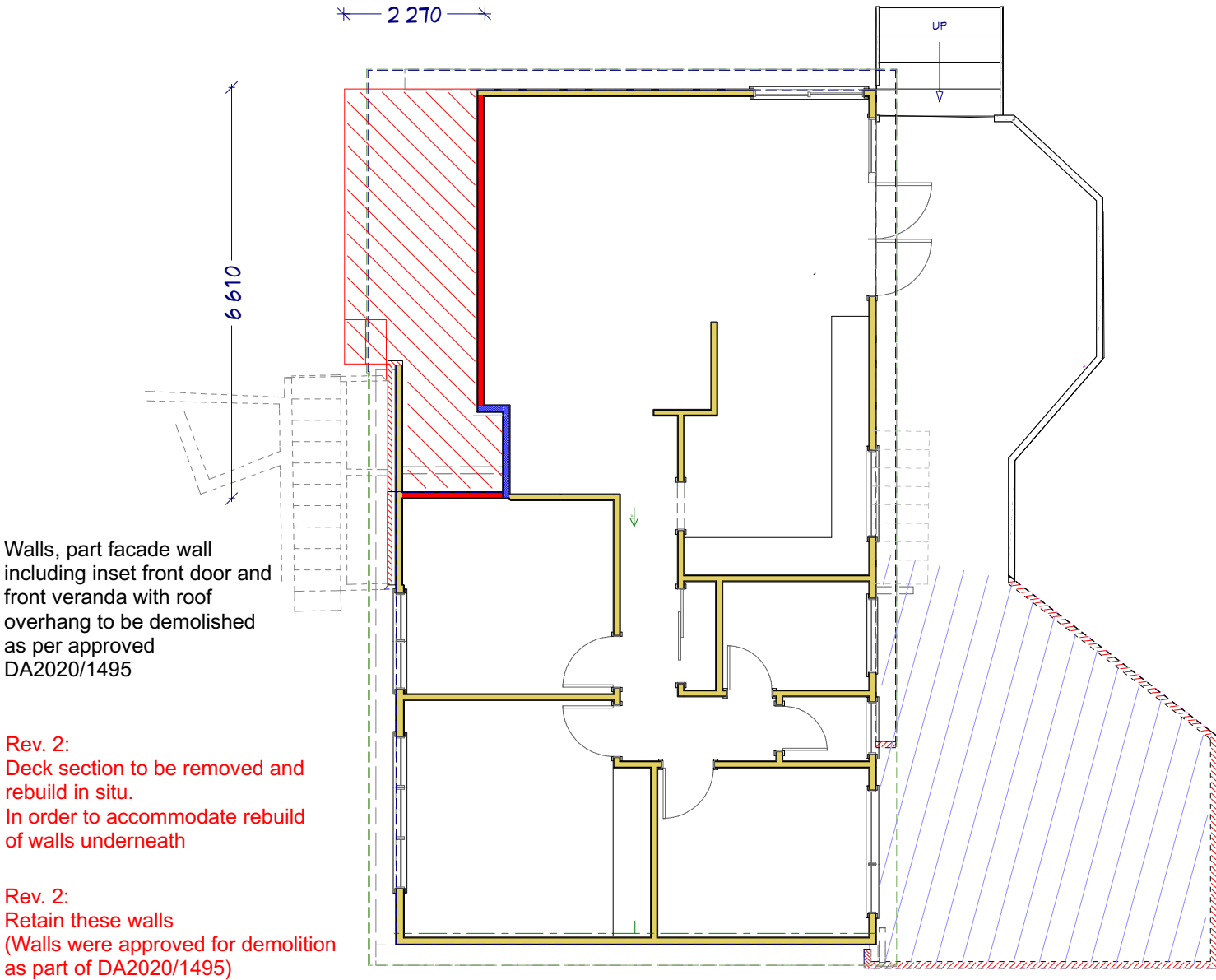


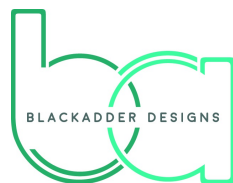
lower ground floor



upper ground floor

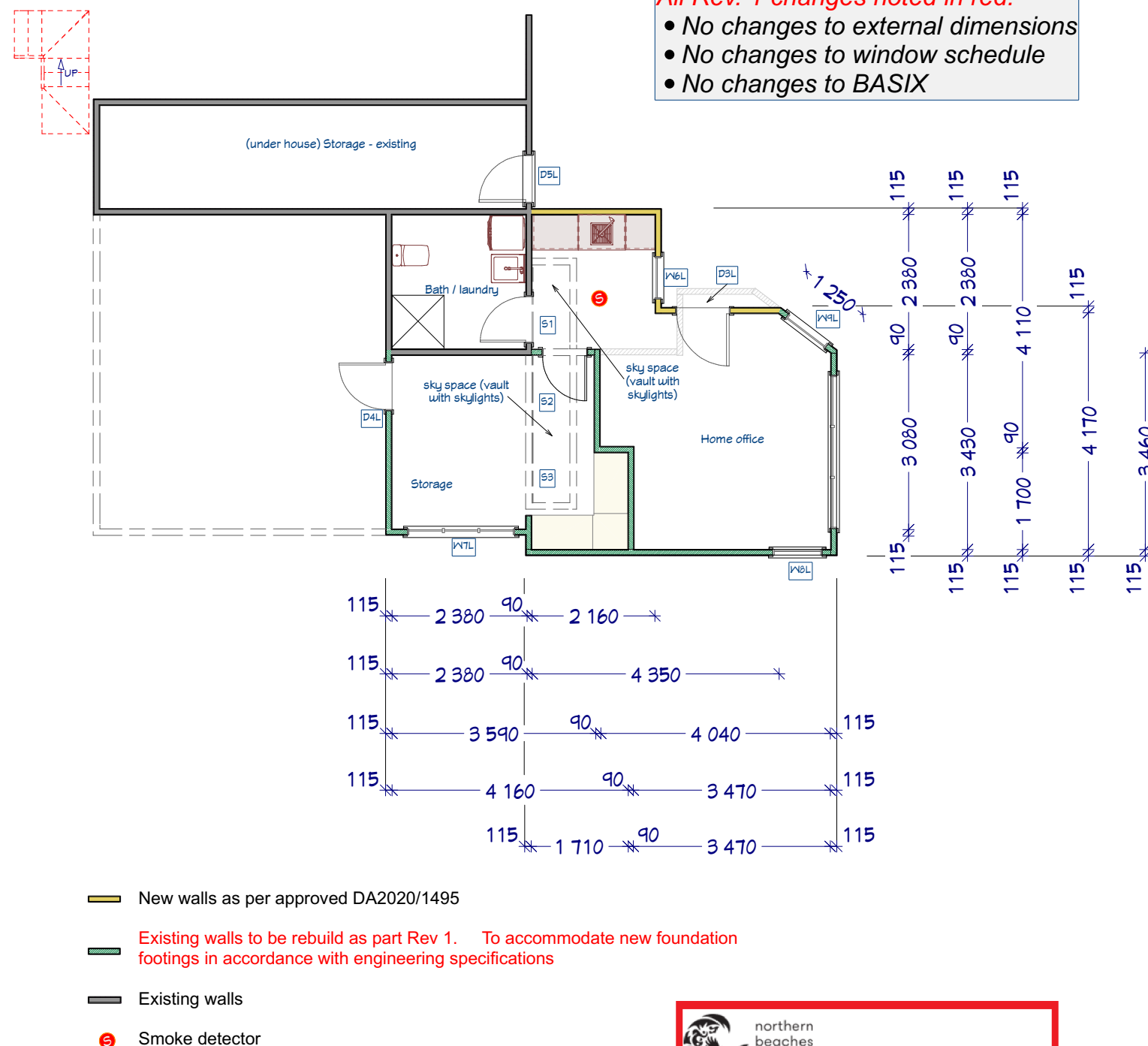


Demolition plan; lower ground floor and upper ground floor - (Rev. 2)

 BLACKADDER DESIGNS	M: 0410 419 682	- All dimensions in millimetres (mm) - All elevations (marked as @) in metres (m)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with local council codes, BCA, Australian Standards and any relevant authorities.	<u>Lower ground renovation & ground floor extension</u> Lot 10, DP 216532, 98 Waratah Street Mona Vale Alan & Julie-Ann Erdman	Scale:	1:100
	E: KEN@BLACKADDERDESIGNS				Size:	A3
	W: WWW.BLACKADDERDESIGNS.COM				Date:	22/07/2020
	ABN: 32829136273				Drawing No:	02
					Version:	9.5.2.3

All Rev. 1 changes noted in red.

- No changes to external dimensions
- No changes to window schedule
- No changes to BASIX



Construction of the lower ground floor to comply with recommendations of the Flood Risk Management Plan by Taylor Consulting dated October 2020- Section 6.1. In particular but not limited to:

- Stud walls to be steel framed fibre cement wall linings.
- Entrance door to be solid panel.
- All existing electrical power points located below flood planning level of 13.88 AHD to have residual current devices installed.
- Hazardous or potentially polluting materials shall not be stored below the Flood Planning Level
- Goods, materials or other products which may be highly susceptible to water damage are to be located/stored above the Flood Planning Level.

Please note plan number 05 for full BASIX commitment

Window (& door) schedule lower ground floor

Type	Width	Height	Head Height	Glazing
W6L Double hung / sliding	750	900	2040	Single clear, (U-Value 6.44, SHGC: 0.75)
W7L 3 panel; outer sliding & centre fixed	1890	500	2250	Single clear, (U-Value 6.44, SHGC: 0.75)
W8L Fixed	870	900	2040	Single clear, (U-Value 6.44, SHGC: 0.75)
W9L Fixed	870	900	2040	Single clear, (U-Value 6.44, SHGC: 0.75)
D3L Panel door	820	2040		No glass
D4L Panel door	820	2100		No glass
D5L Panel door	820	1900		No glass

Skylights; lower ground floor

Type	Width	Height	Glazing
S1 Fixed	470	600	'Walk-on' glass
S2 Fixed	470	600	'Walk-on' glass
S3 Fixed	470	600	'Walk-on' glass

Floor plan; lower ground floor - Rev. 1

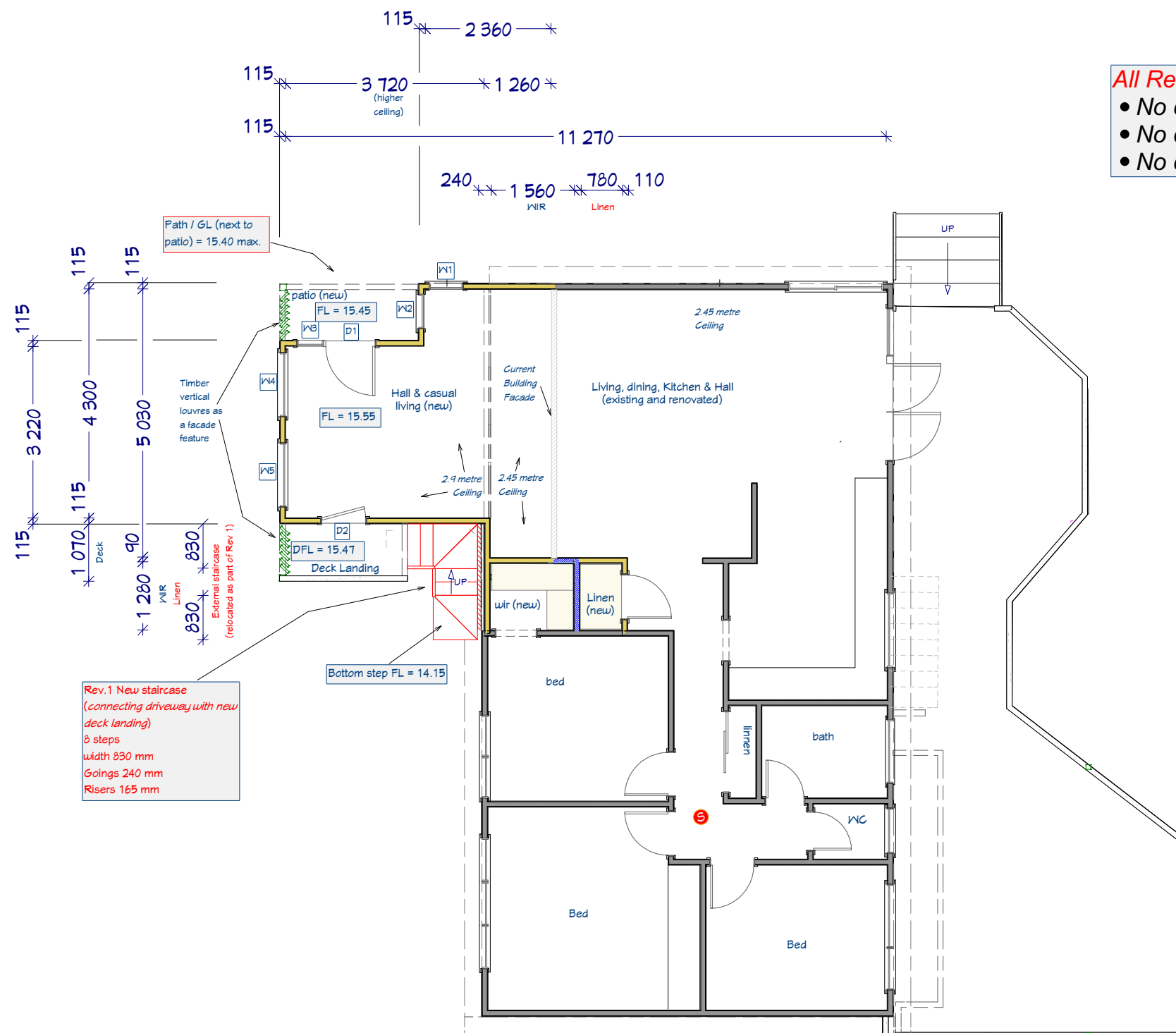


Construction to comply with recommendations of the Preliminary Geotechnical Assessment by Ascent Geotechnical Consulting (pages 4 to 7). Ref: AG 20229 dated 9th September 2020

In particular but not limited to:

- Any permanent batters must not exceed 30 degrees. As noted on site plan.
- New retaining walls to be back filled (note page 6)
- Footings and piers in accordance with page 6 and engineering detail
- All storm water to be piped to existing network (note page 7)

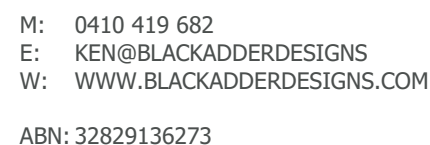
Please note plan number 05 for full BASIX commitment



Window (& door) schedule upper ground floor

				Head	
Type		Width	Height	Height	Glazing
W1	Fixed (frosted)	640	2300	2700	Single clear, (U-Value 6.44, SHGC: 0.75)
W2	Fixed Frosted)	640	2300	2700	Single clear, (U-Value 6.44, SHGC: 0.75)
W3	Fixed	500	2340	2340	Single clear, (U-Value 6.44, SHGC: 0.75)
W4	Double hung / sliding	1200	1940	2340	Single clear, (U-Value 6.44, SHGC: 0.75)
W5	Double hung / sliding	1200	1940	2340	Single clear, (U-Value 6.44, SHGC: 0.75)
D1	Fixed panel (no glass)	920	2340		Single clear, (U-Value 6.44, SHGC: 0.75)
D2	Fixed panel (no glass)	920	2040		Single clear, (U-Value 6.44, SHGC: 0.75)

Floor plan: upper ground floor - Rev. 1



- All dimensions in millimetres (mm)
- All elevations (marked as @) in metres (m)

General Notes:
Written dimensions take precedence over scaled dimensions.
Builder to verify all dimensions on site and notify this office of any discrepancies.
All work to be carried out in accordance with local council codes, BCA, Australian Standards and any relevant authorities.

Lower ground renovation & ground floor extension
Lot 10, DP 216532,
98 Waratah Street
Mona Vale
Alan & Julie-Ann Erdman

Scale:	1:100
Size:	A3
Date:	22/07/2021
Drawing No:	04
Version:	9.5.2.3

Basix Certificate number: A396754

Insulation requirements:
New or altered construction (floor(s), walls, and ceilings/roofs) must be constructed in accordance with the specifications listed in the table below, except that
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

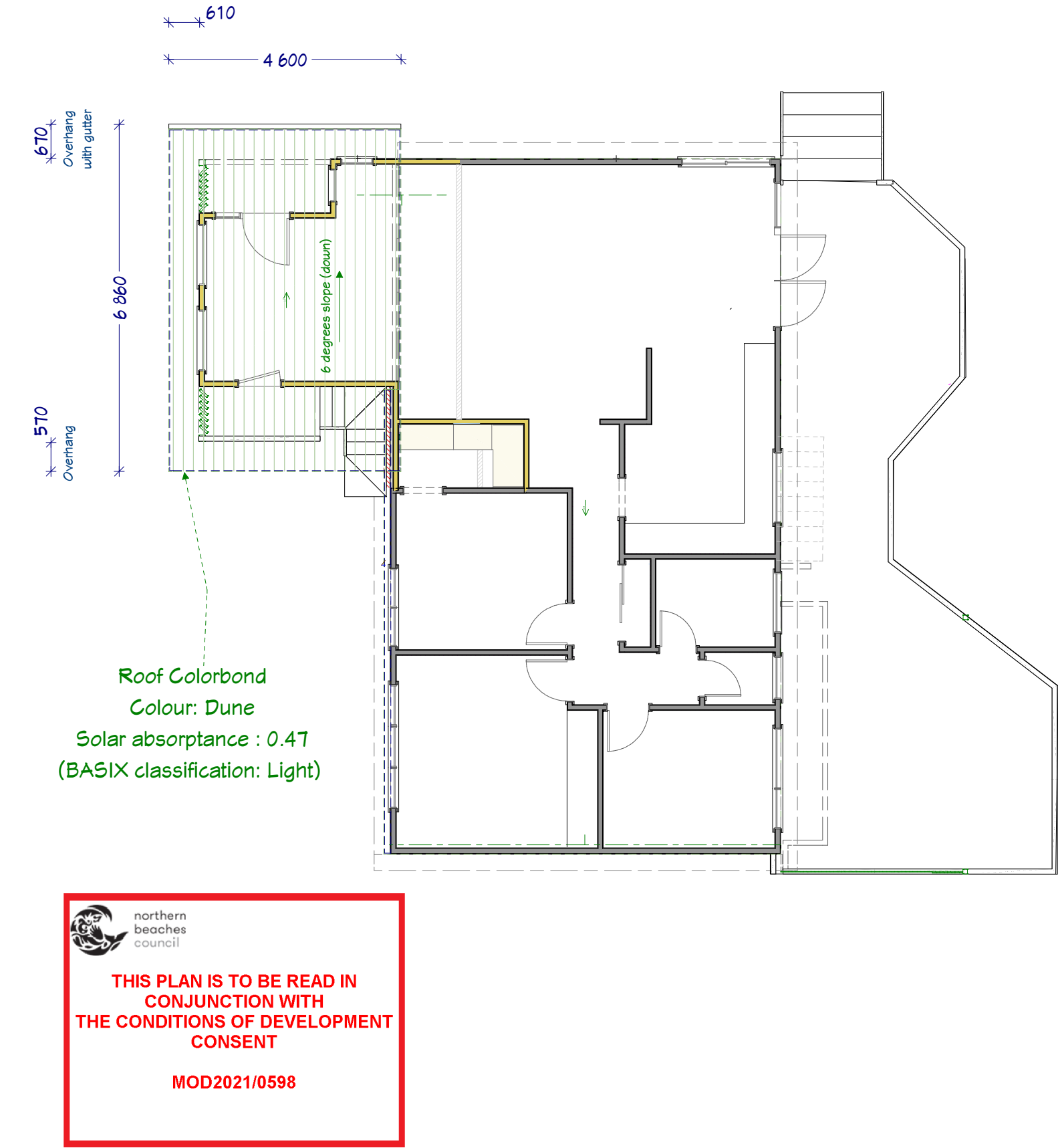
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorptance < 0.475)

Windows and glazed doors
Windows, glazed doors and shading devices must be installed in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NW	1.47	20	0.1	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SW	1.47	20	0.1	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	NW	1.17	20	0.1	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SW	2.33	18	1	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SW	2.33	18	1	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6L	NE	0.68	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7L	SE	0.95	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8L	SE	0.78	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9L	N	0.78	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights
The skylights must be installed in accordance with the specifications listed in the table below.

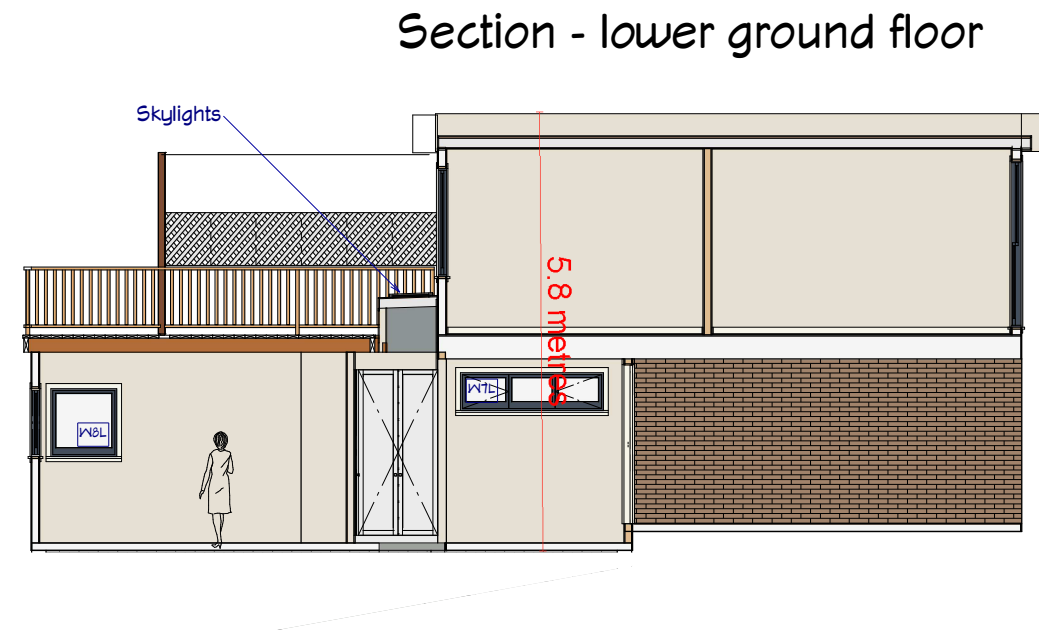
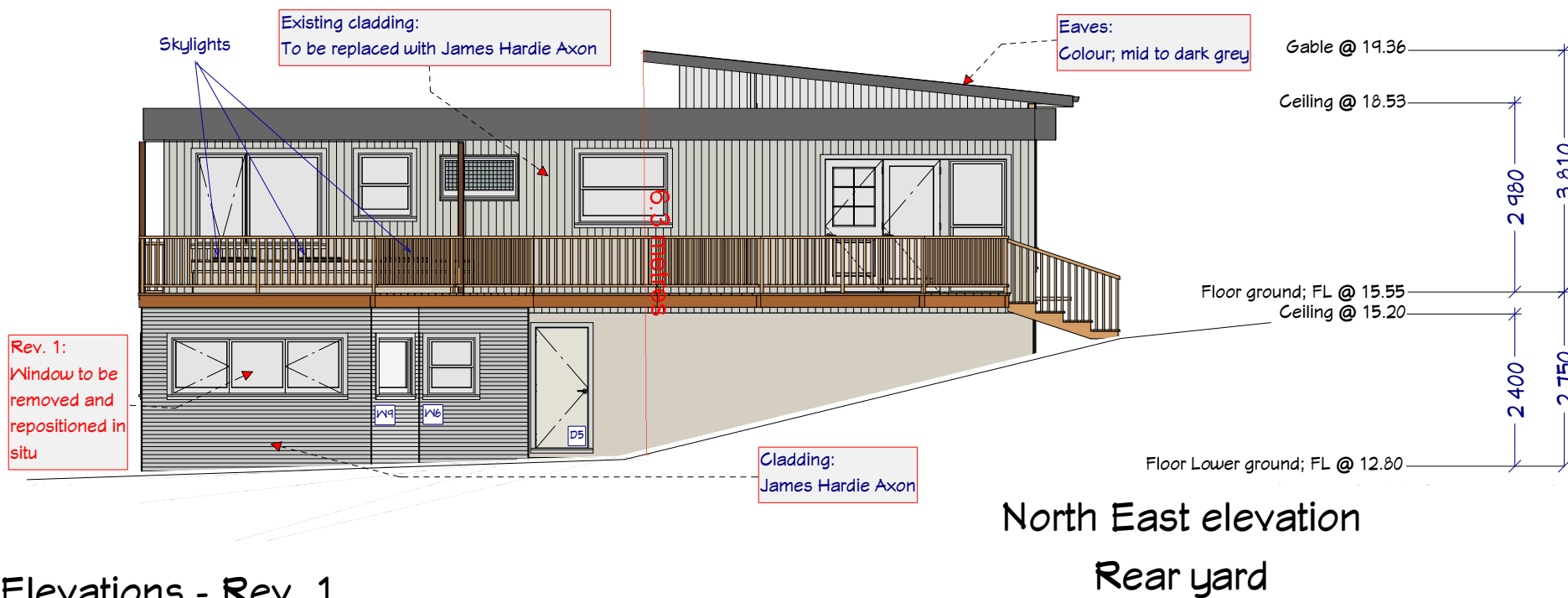
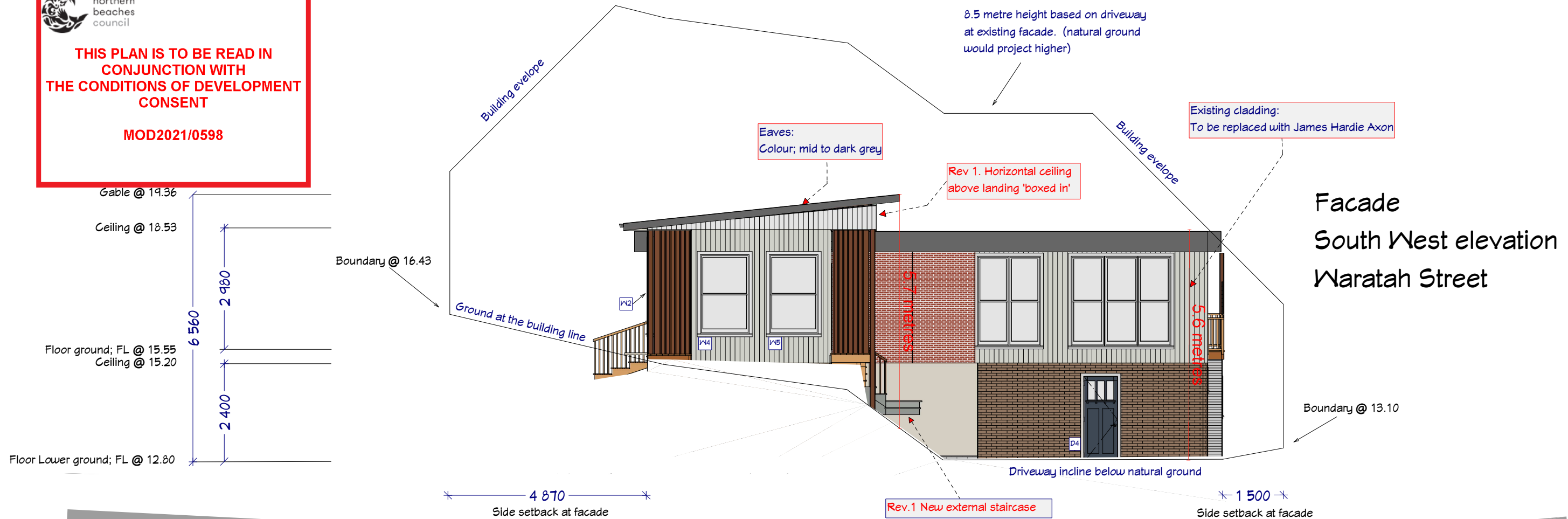
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.28	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.28	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S3	0.28	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



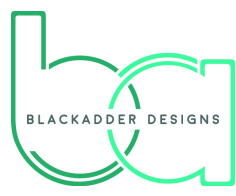
Floor plan; roof (unaltered) & BASIX commitment - Rev. 1

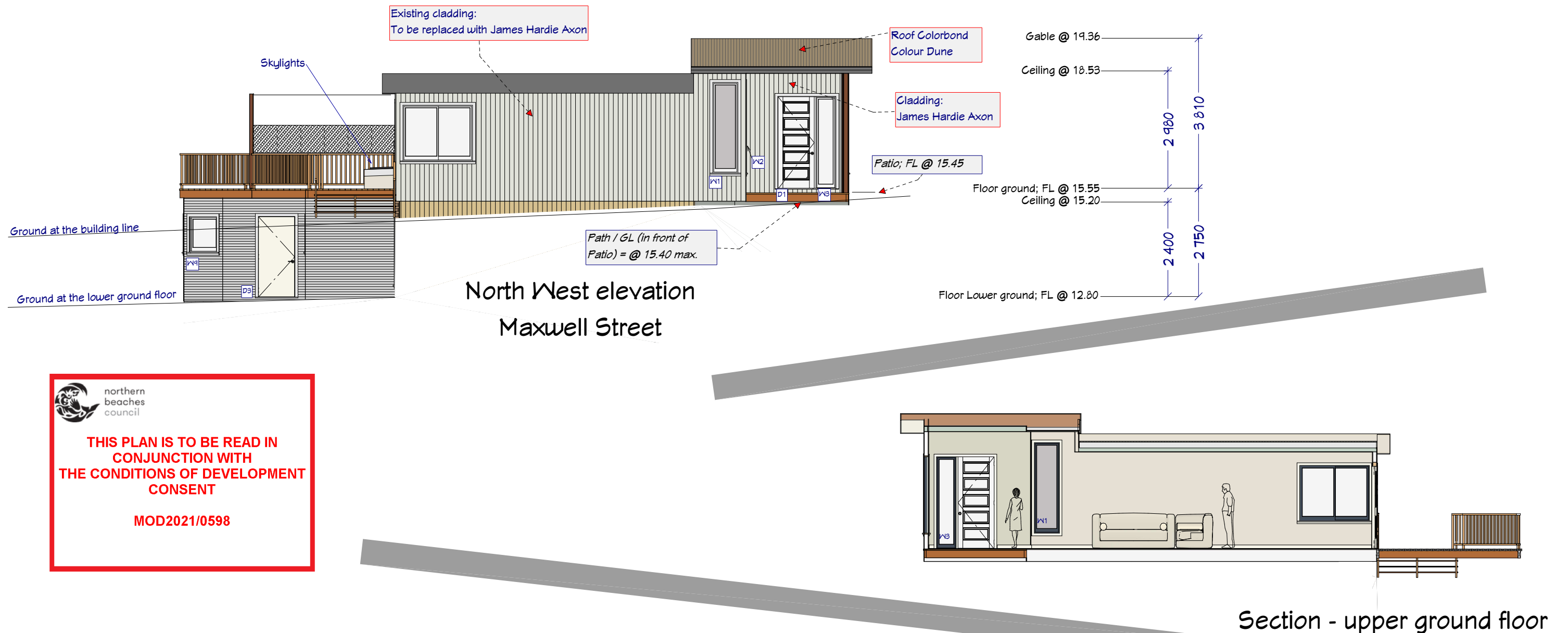
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0598



Elevations - Rev. 1

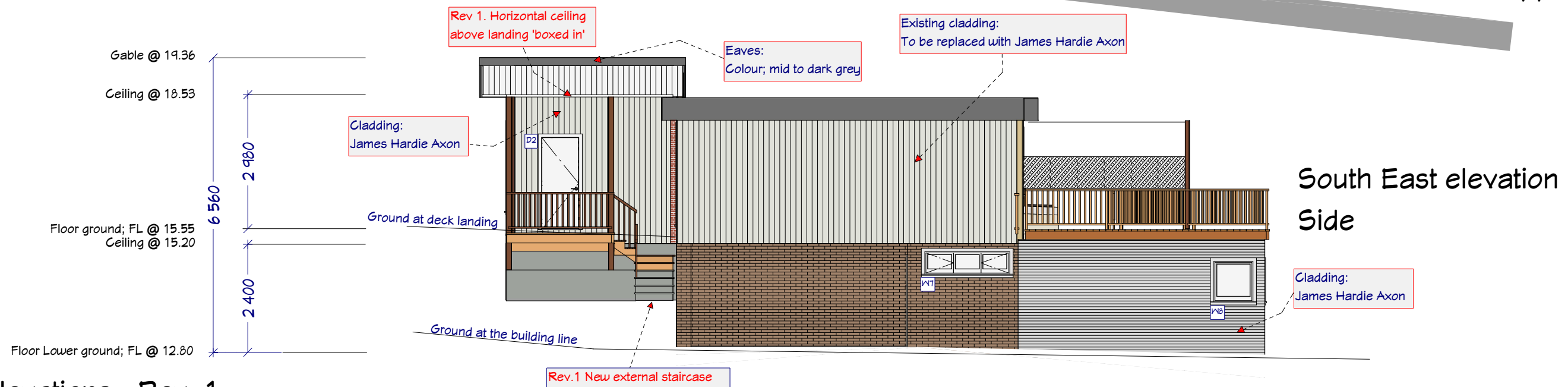
 M: 0410 419 682 E: KEN@BLACKADDERDESIGNS W: WWW.BLACKADDERDESIGNS.COM ABN: 32829136273	- All dimensions in millimetres (mm) - All elevations (marked as @) in metres (m)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with local council codes, BCA, Australian Standards and any relevant authorities.	Lower ground renovation & ground floor extension Lot 10, DP 216532, 98 Waratah Street Mona Vale Alan & Julie-Ann Erdman	Scale: 1:100 Size: A3 Date: 22/07/2021 Drawing No: 06 Version: 9.5.2.3
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northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2021/0598



Elevations - Rev. 1



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS
W: WWW.BLACKADDERDESIGNS.COM
ABN: 32829136273

- All dimensions in millimetres (mm)
- All elevations (marked as @) in
metres (m)

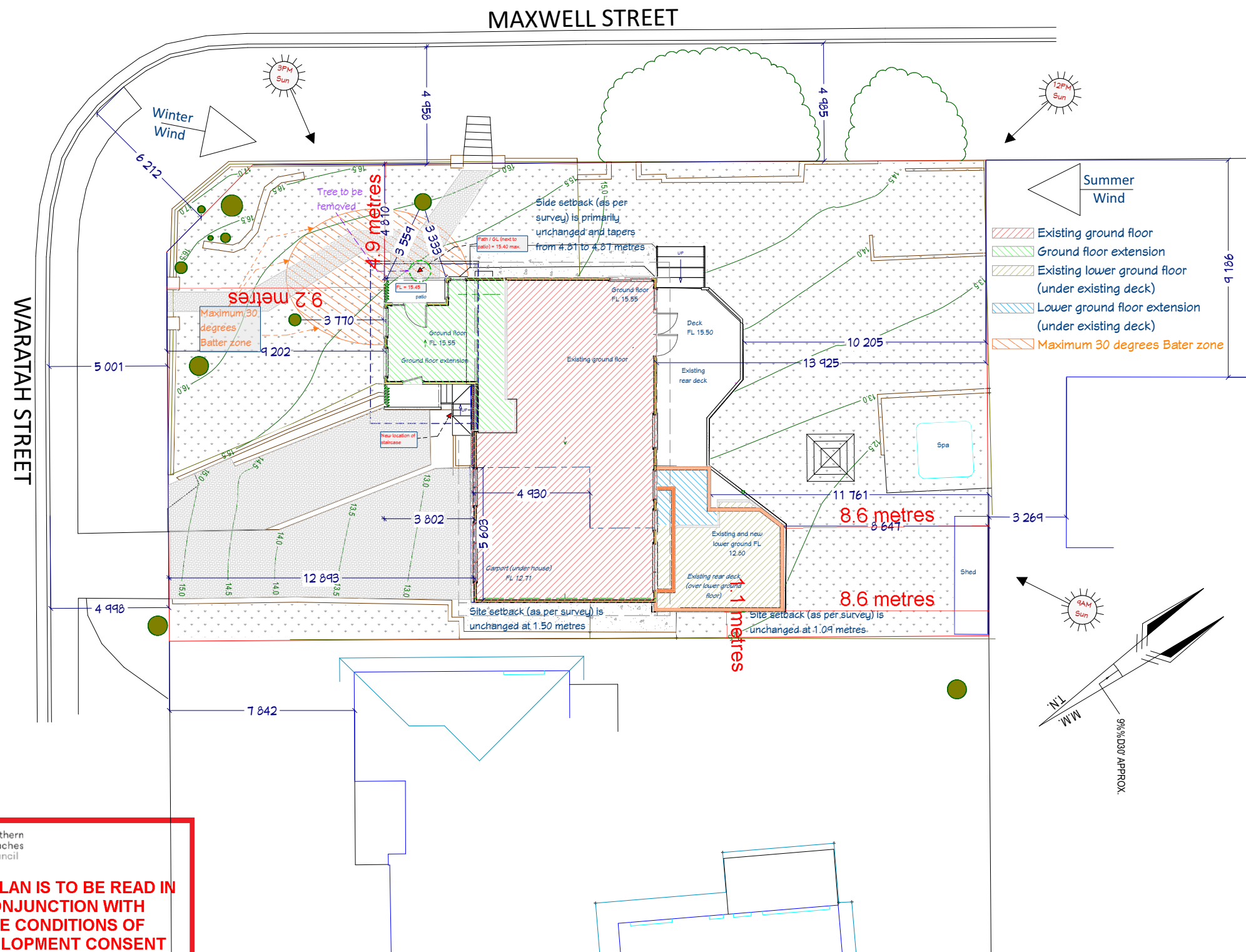
General Notes:
Written dimensions take precedence over scaled
dimensions.
Builder to verify all dimensions on site and notify this office
of any discrepancies.
All work to be carried out in accordance with local council
codes, BCA, Australian Standards and any relevant
authorities.

Lower ground renovation & ground floor extension
Lot 10, DP 216532,
98 Waratah Street
Mona Vale
Alan & Julie-Ann Erdman

Scale:	1:100
Size:	A3
Date:	22/07/2021
Drawing No:	07
Version:	9.5.2.3

Width - property frontage;
 @ Waratah Street = 16.46 metres
 @ street corner = 5.17 metres
 @ Maxwell Street = 31.02 metres

	SQM	SQM	SQM	SQM	SQM
Property / Site area					689.2 100.0%
Existing dwelling			98.6		14.3%
Existing rear deck (with steps)			52.3		7.6%
New extension; ground floor:					
Ground floor		22.9			
Patio (by front door)		2.8			
Entry deck		4.0			
Total new build ground floor			29.7		4.3%
New ext.; lower ground floor (under existing deck)	5.9				
Total dwelling including new build 'foot print'				180.6	26.2%
To be demolished;					
Existing porch (replaced by new build)	-12.4				
Total to be demolished;	-12.4				
Other structures:					
Metal Shed in the eastern corner of the rear yard		7.2			
Total other structures				7.2	1.0%
Additional hard surfaces - rear yard:					
Concrete and paved surface - northwestern side		10.9			
Concrete surface - southeastern side		10.5			
Total additional hard surfaces - rear yard				21.4	3.1%
Additional hard surfaces - Front of dwelling:					
New (& existing) paved path; gates to front door		17.6			
Paved driveway		48.8			
Paved area next to driveway		30.9			
Total Additional hard surfaces - Front of dwelling				97.3	14.1%
Total of all buildings and hard surfaces				306.5	44.5%



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF
DEVELOPMENT CONSENT**

MOD2021/0598

	Metres	SQM	
Site area		689.2	
Width of site at front boundary	16.5		
Width of allotment at building line	20.1		
Total area of site in from building line		172.4	100.0%
landscaped area in front of building line		102.5	59.5%
Total landscaped area		342.0	100.0%
Rear garden landscaped area		234.4	68.5%
Existing rear deck (part of private open space)		48.6	
Total private open space		283.0	

Carspaces; 2 in carport;	
- Distance behind building line	3.8
- Width	5.6
- Length	4.9
- Distance to Boundary	1.0

Rev. 1:
Site Analysis calculation: - No material change
Site Plan:
Maximum 30 degrees batter zone has been noted in line with geotechnical engineering report.

General Notes:
- Significant trees; for clarity purposes only trunks are drawn while the canopies have been omitted. Refer to the survey plan for canopy information.