



Perspective



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM
ABN: 32829136273

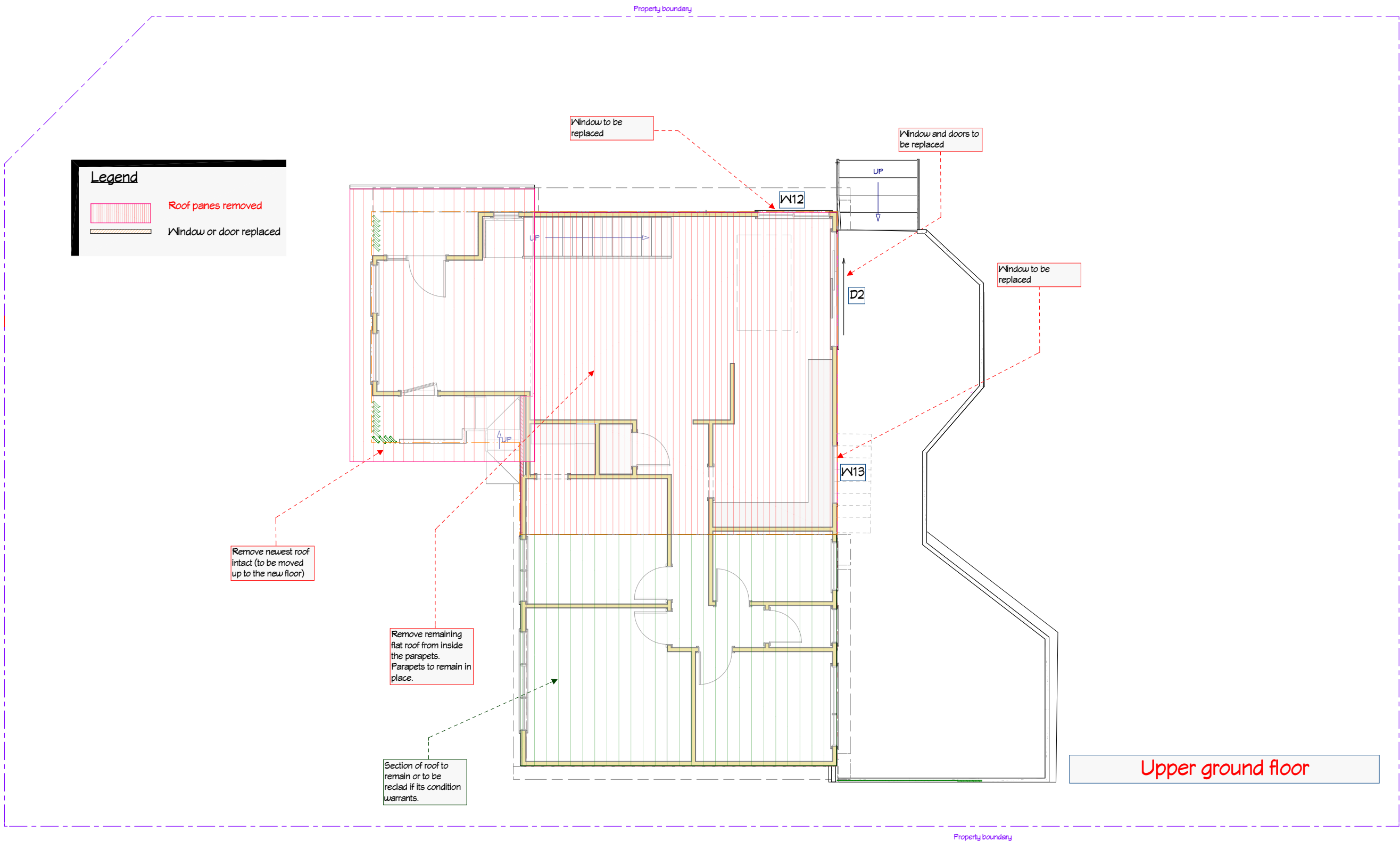
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- All elevations & RLs in metres (@ xx.xx)

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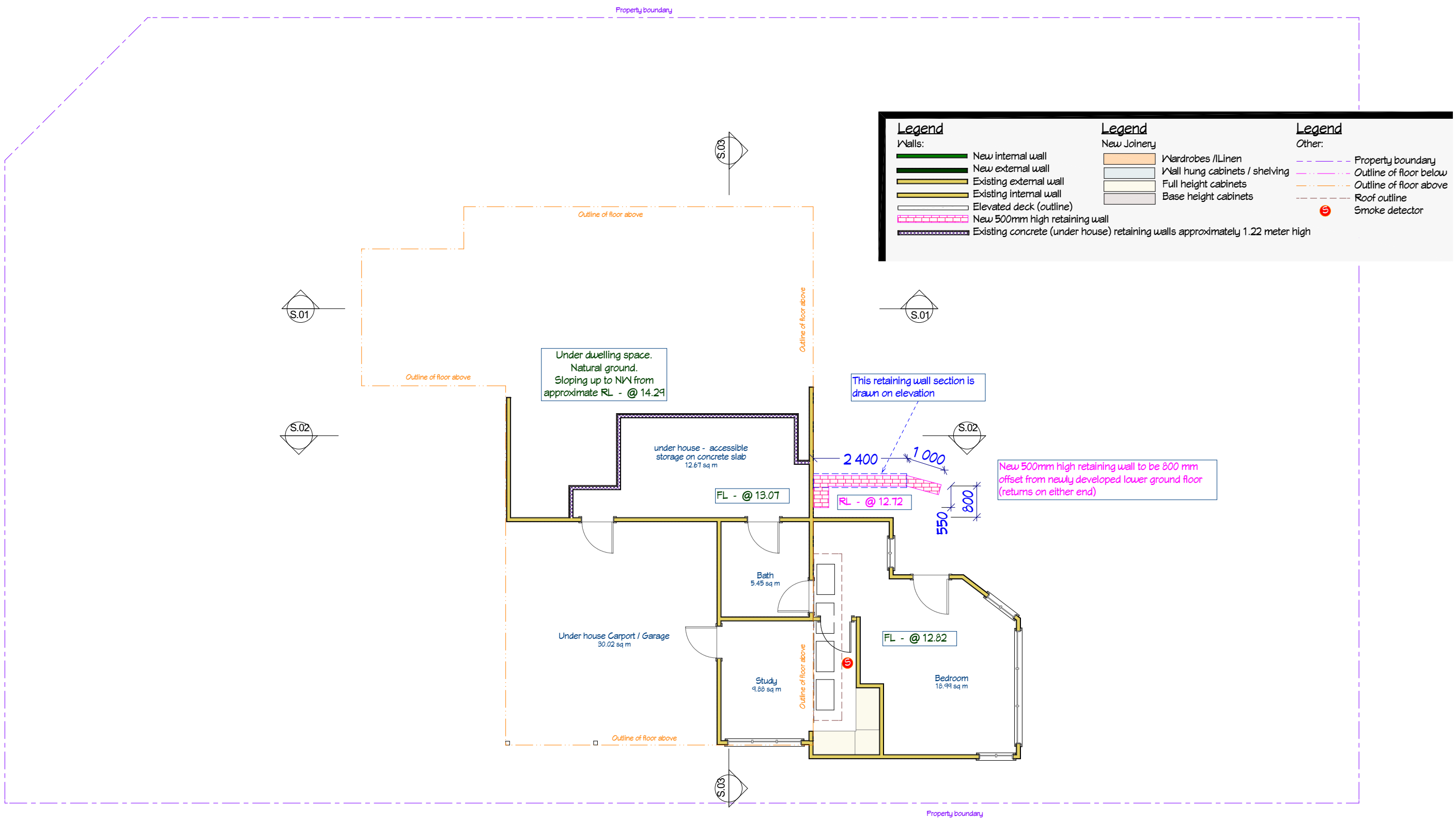
Additional floor
Lot 10, DP 216532
98 Waratah Street
Mona Vale
Alan & Julie-Ann Erdman

Scale:	N/A
Size:	A3
Date:	15/08/2023
Drawing No:	01
Version:	4.3.2



Demolition plan (only roof is removed)

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Scale:	1:100													
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Floor plan, existing lower ground floor



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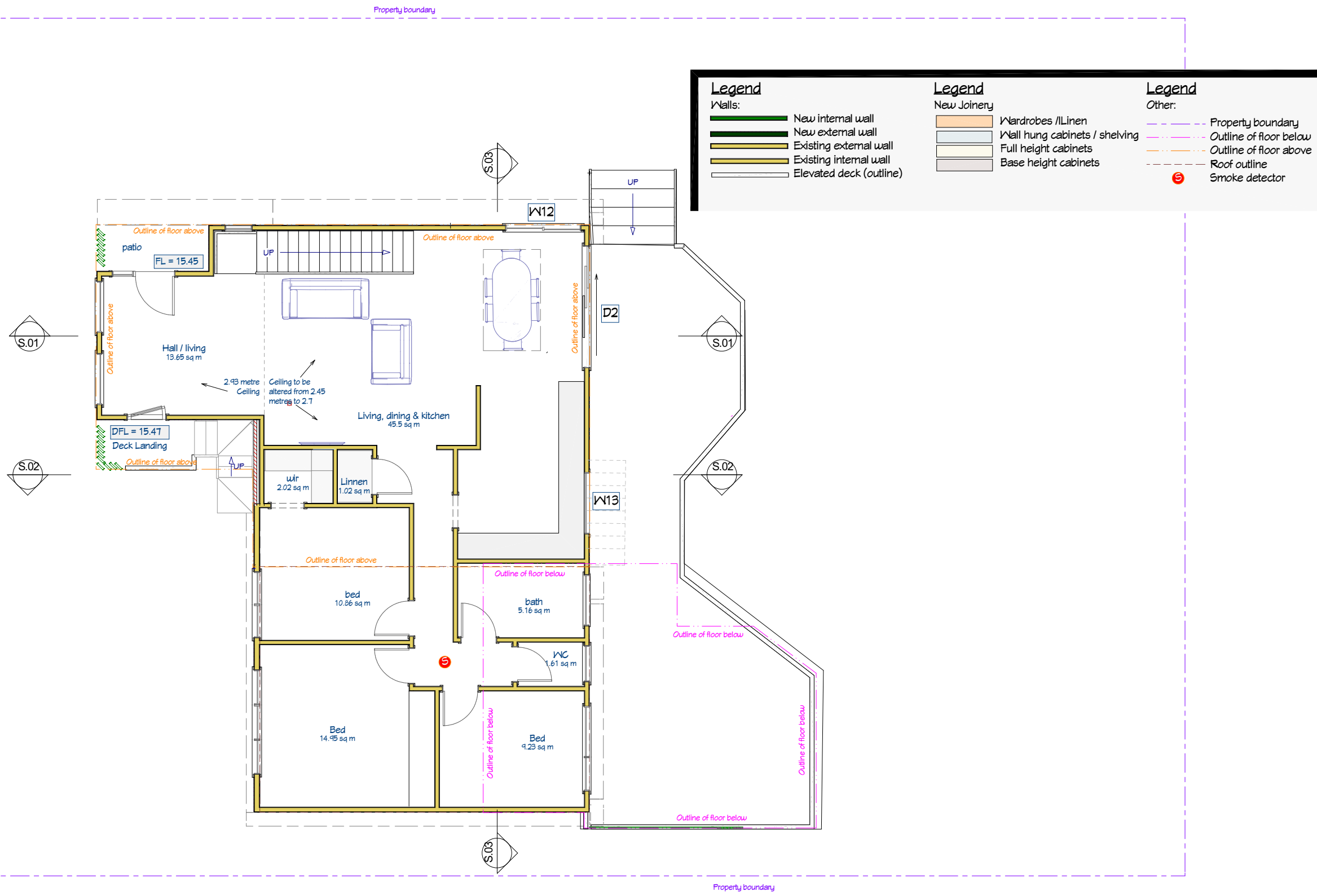
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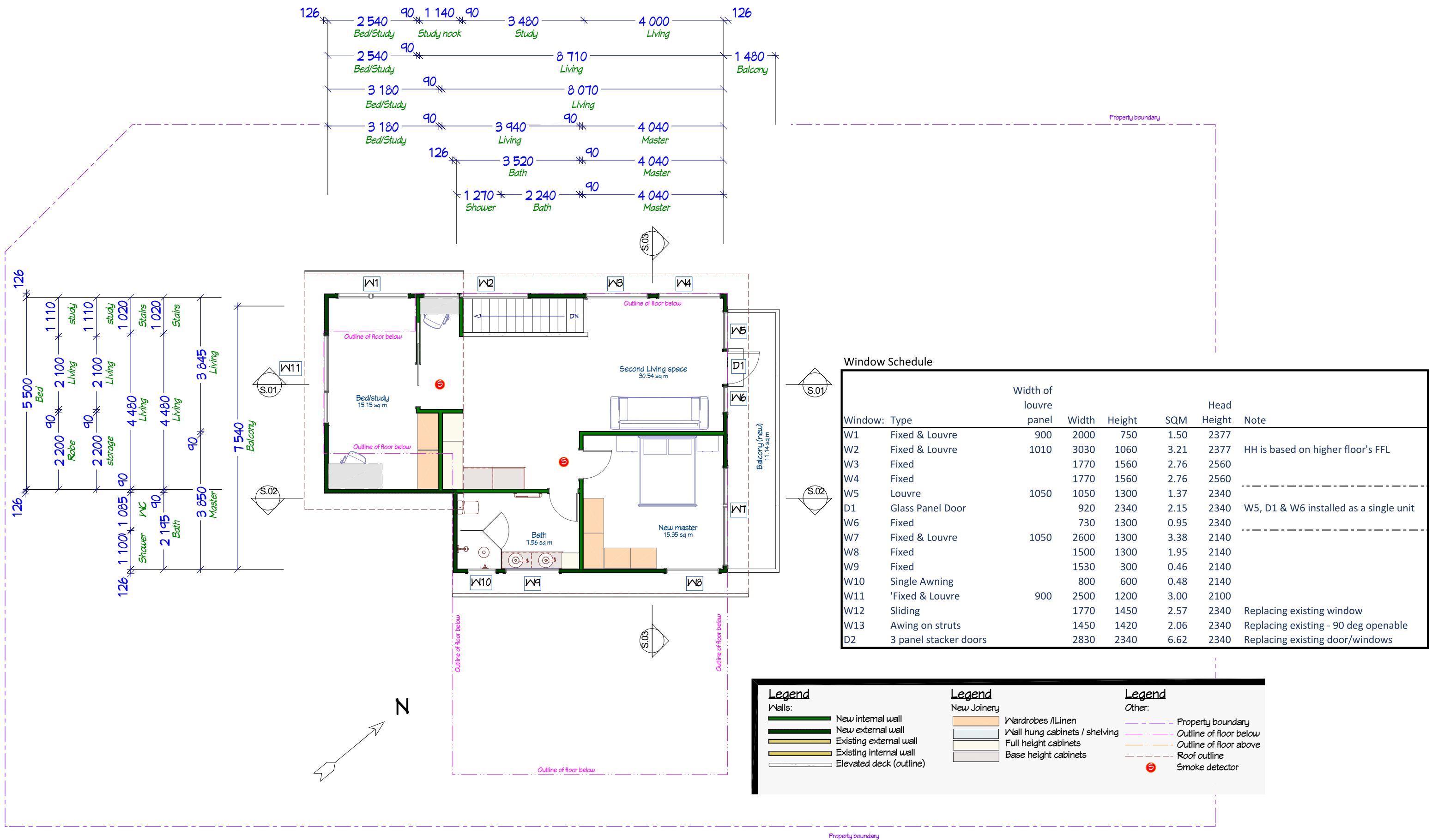
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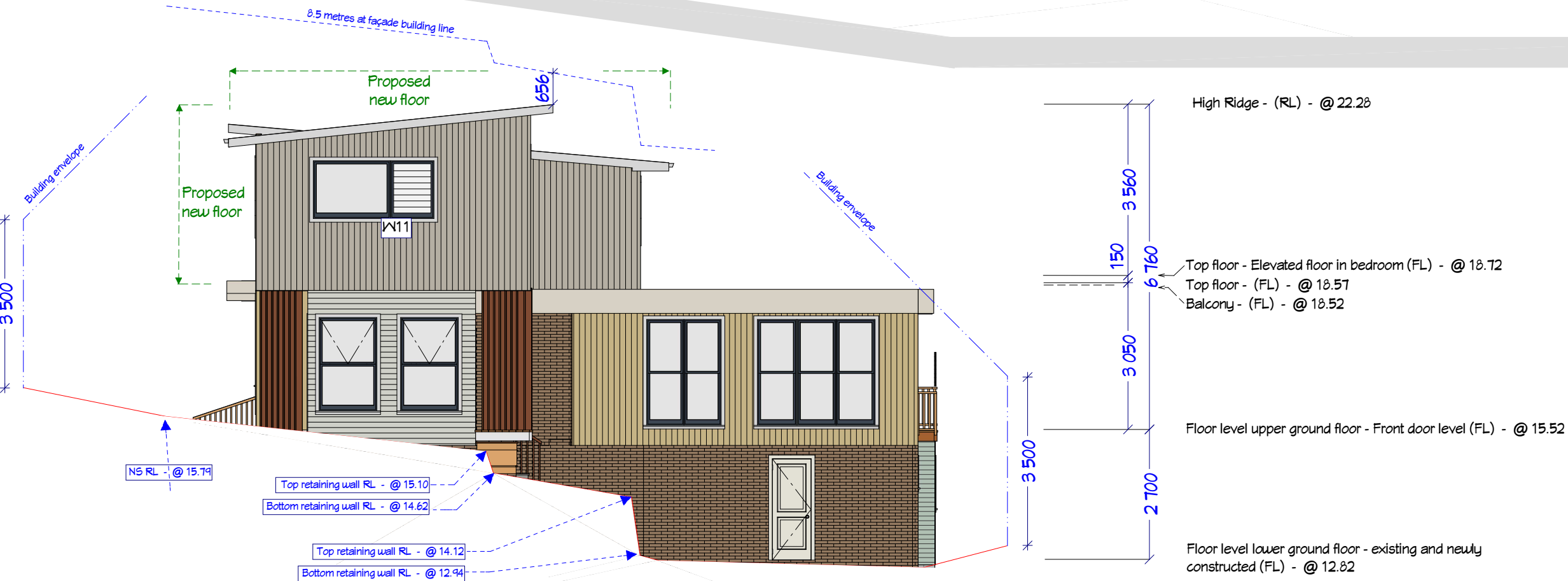
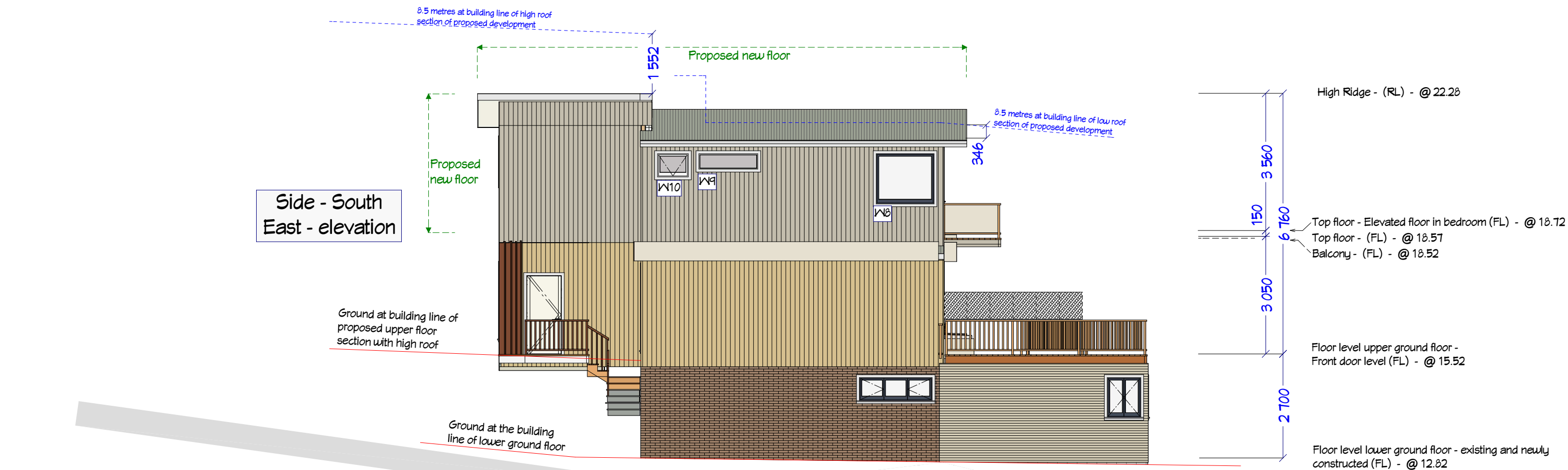
Scale: 1:100
Size: A3
Date: 15/08/2023
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Version: 4.3.2



Floor plan, existing upper ground floor

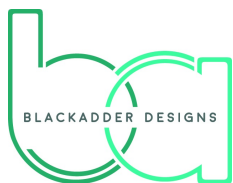


Floor plan, new first floor



Elevation plan

Façade - Waratah Street - South West - elevation



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Scale: 1:100
Size: A3
Date: 15/08/2023
Drawing No: 04.1
Version: 4.3.2

Elevation plan



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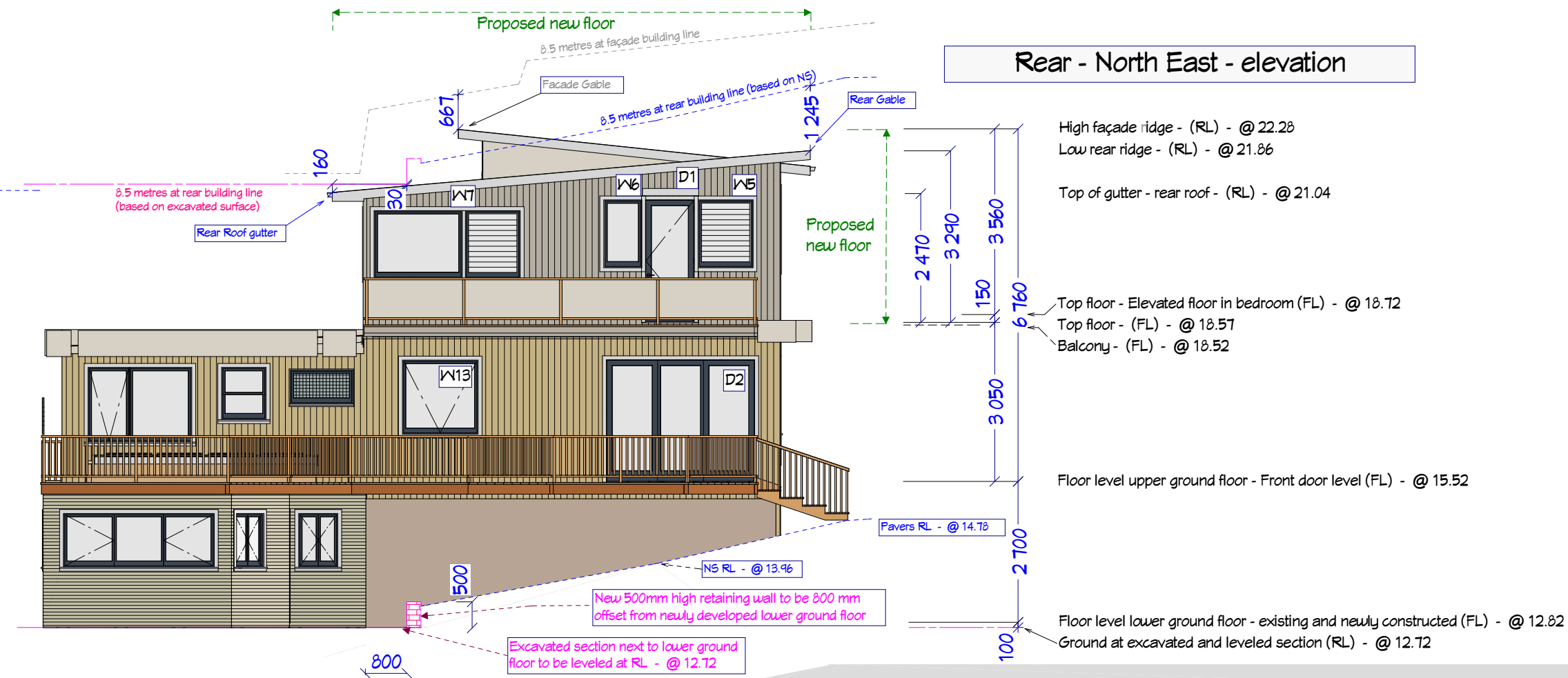
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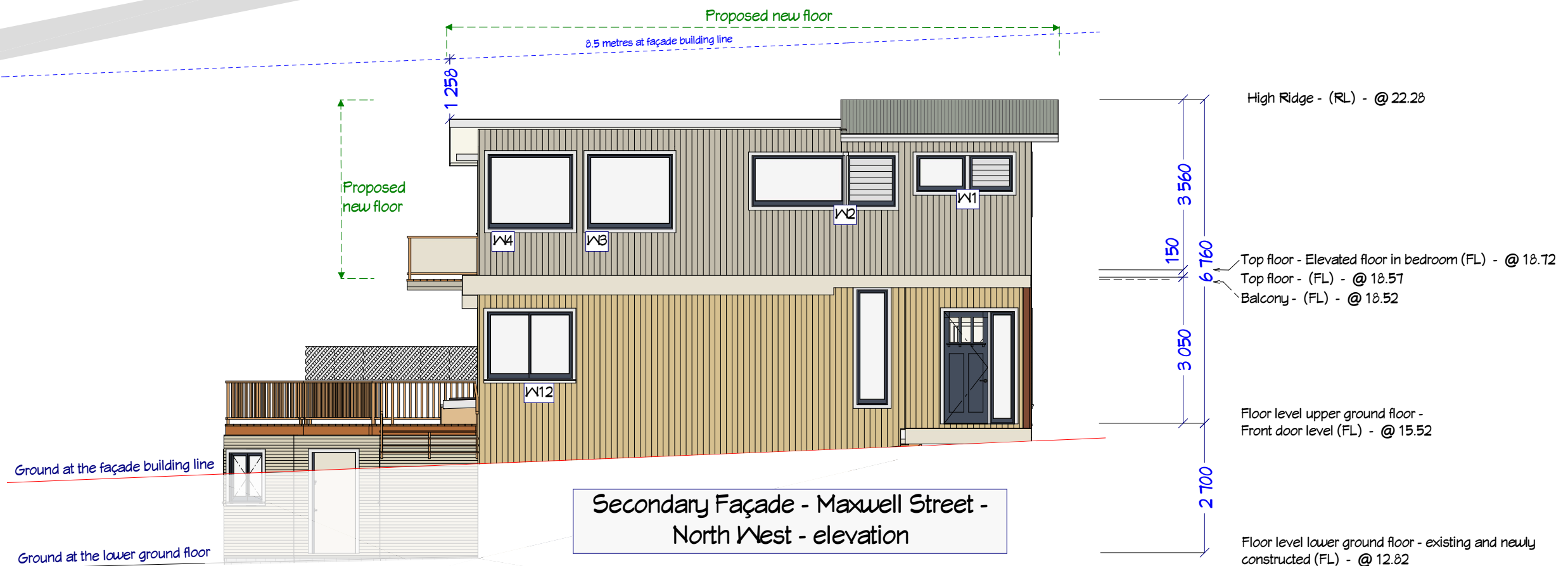
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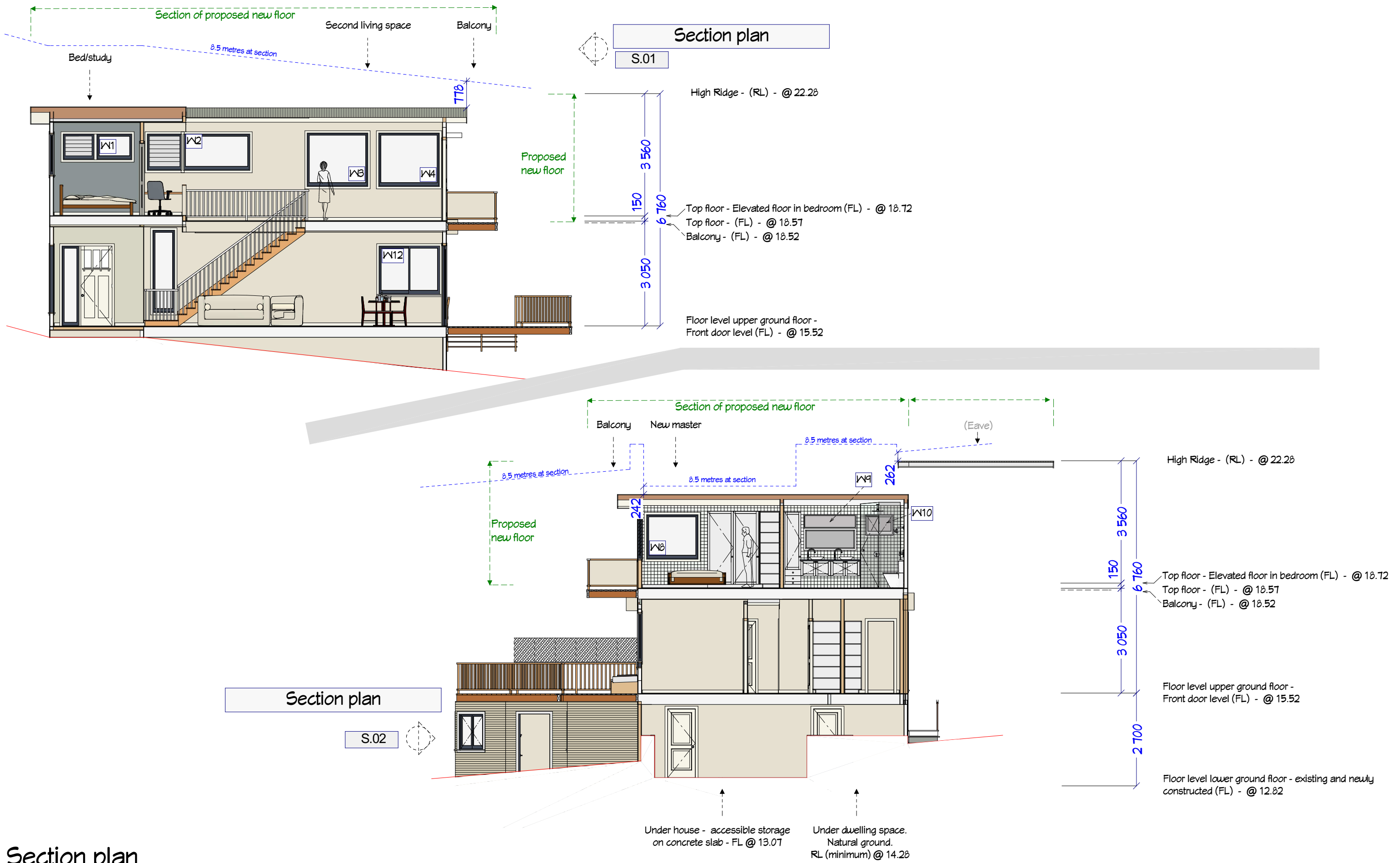
Scale:	1:100
Size:	A3
Date:	15/08/2023
Drawing No:	04.2
Version:	4.3.2

Rear - North East - elevation



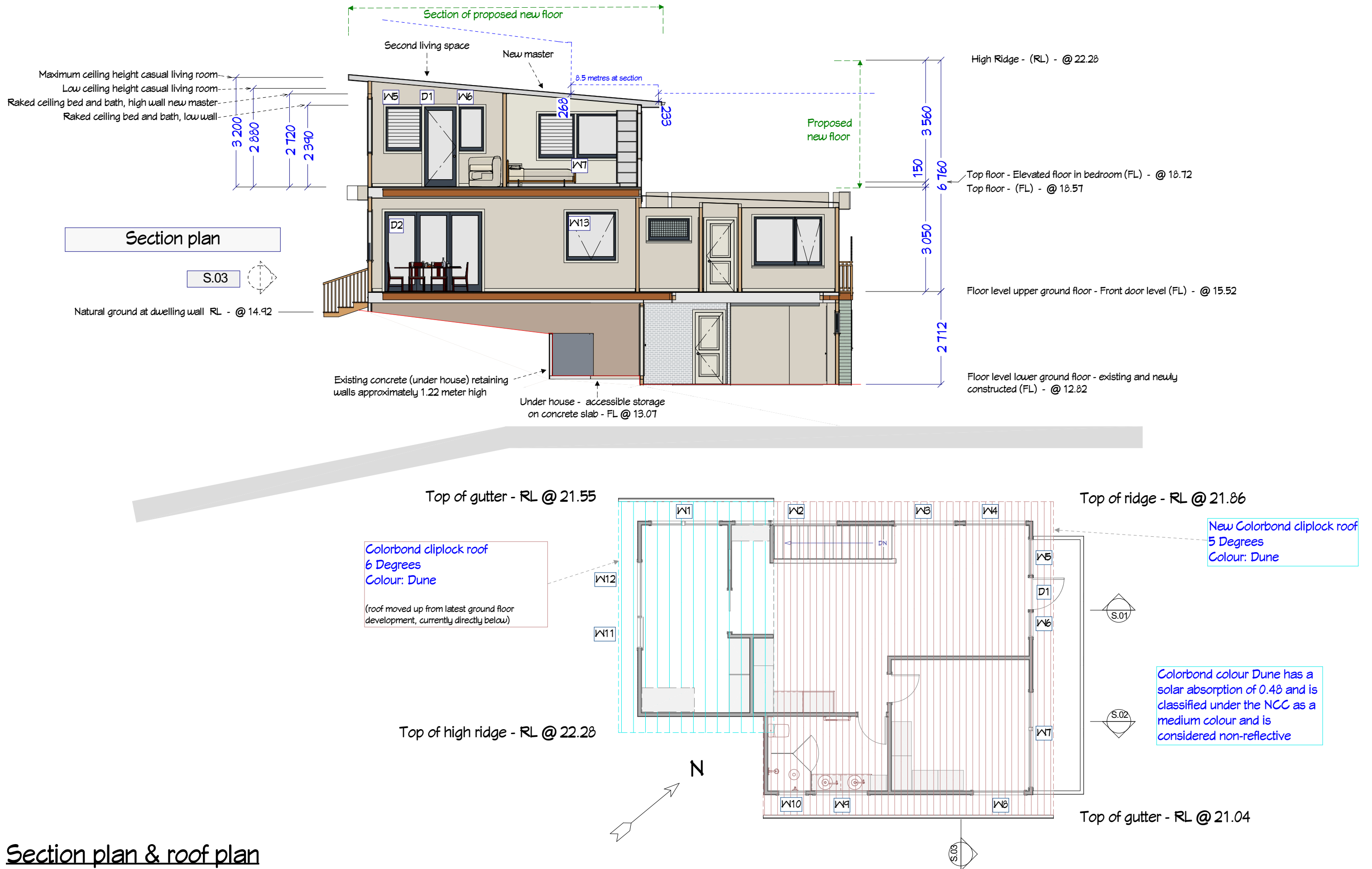
Secondary Façade - Maxwell Street - North West - elevation



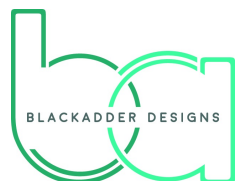


Section plan

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Section plan & roof plan



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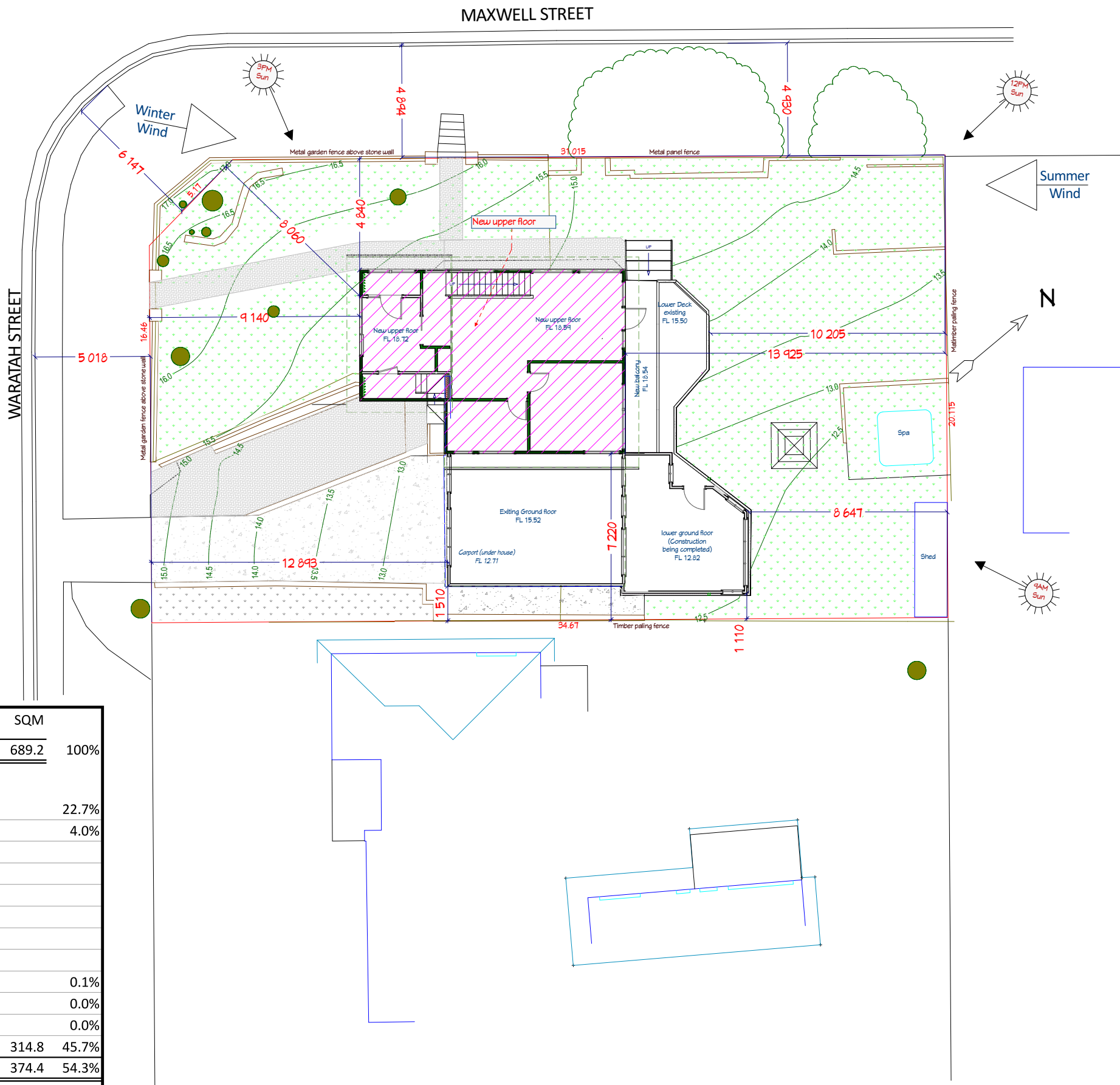
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Drawing No: 05.3/06
Version: 4.3.2

Impervious area vs landscaped area calculation	SQM		+ 6% SQM		SQM	
Property / Site area					689.2	100%
Total impervious areas : Existing and after proposed build are the same.						
Dwelling footprint including new floor	156.5	22.7%				22.7%
Existing rear deck not over the dwelling including steps	27.7	4.0%				4.0%
Metal Shed	7.2	1.0%				
Concrete driveway	49.7	7.2%				
Paved second parking space	33.8	4.9%				
Concrete path (existing) on south eastern side of house			9.7	1.4%		
Paved area on north western side of house	10.6	1.5%				
New entry path (western corner to front door)			18.8	2.7%		
Steps by garage and backdoor not covered by new floor	0.8	0.1%				0.1%
(front path on survey has been removed)						0.0%
						0.0%
Total existing hard surfaces: 40% allowed plus up to 6% for recreational outdoor	286.3	41.5%	28.5	4.1%	314.8	45.7%
Total existing landscaped area					374.4	54.3%
Note: Paths and steps narrower than 1 mete have been excluded from calculations						



Shadow diagram existing

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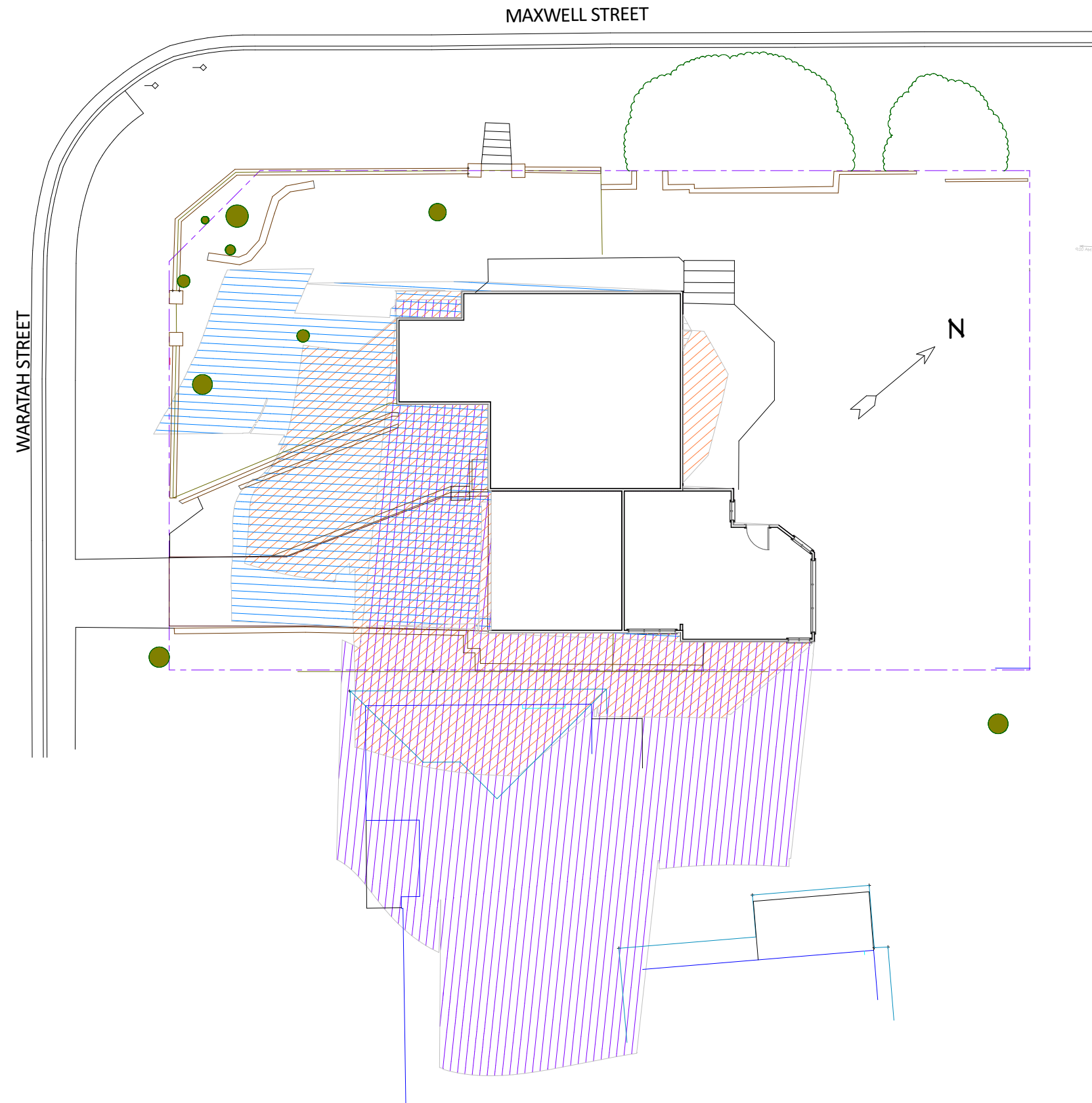
- Legend;**
- Shadow cast - prior to development
- 21 June - winter solstice
-  @ 09:00
Shadow cast - current
-  @ 12:00 (noon)
Shadow cast - current
-  @ 15:00
Shadow cast - current

Note:

- Shadow is ground projection taking ground slope into account.
- low garden structures, retaining walls and trees are ignored by shadow diagram

Assumption:

- Adjacent properties' land slopes with a similar degree as the subject property



Shadow diagram proposed

Legend;

Shadow cast - post development

21 June - winter solstice

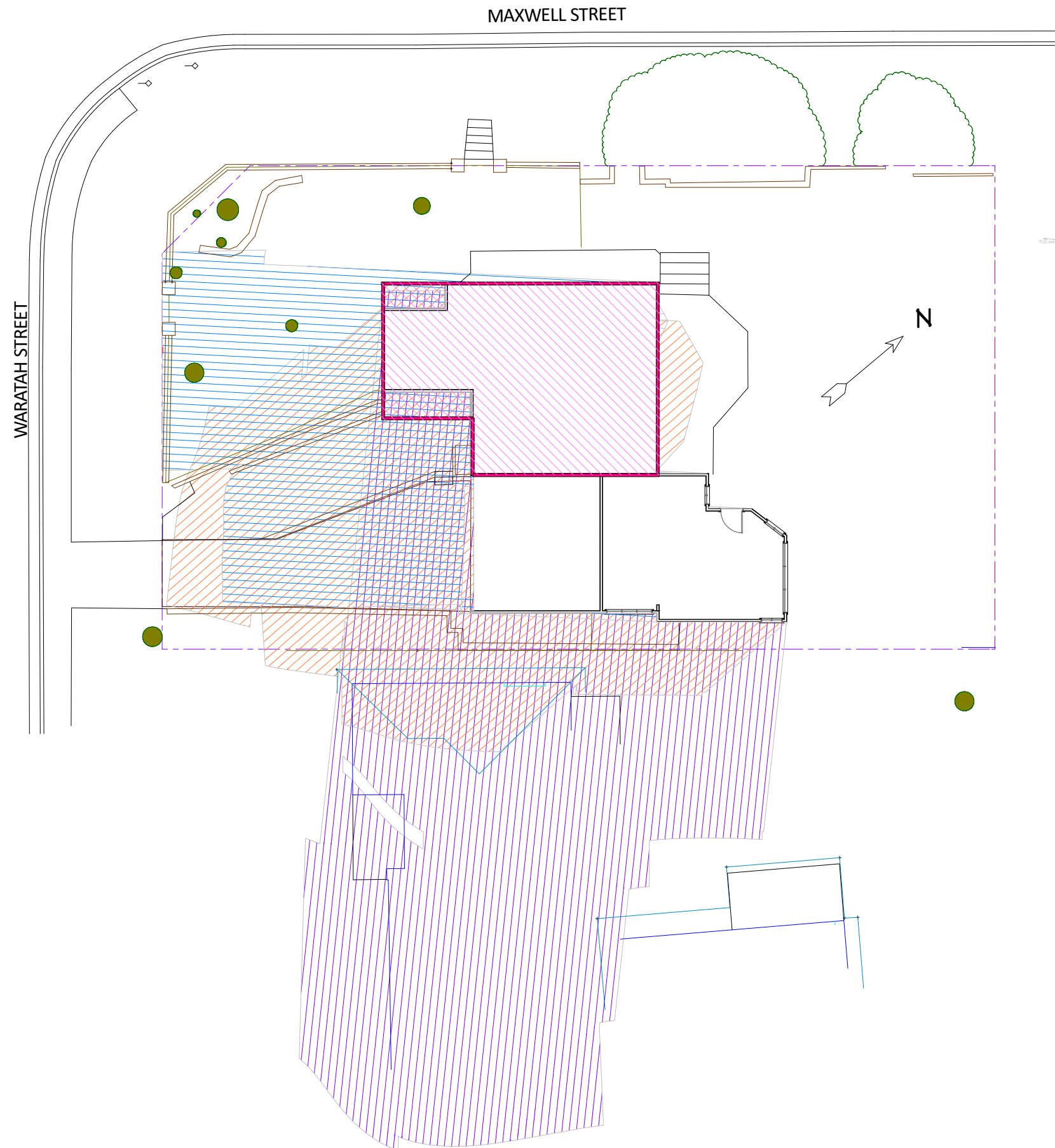
-  @ 09:00
Shadow cast post new development
-  @ 12:00 (noon)
Shadow cast post new development
-  @ 15:00
Shadow cast post new development

Note:

- Shadow is ground projection taking ground slope into account.
- low garden structures, retaining walls and trees are ignored by shadow diagram
- 9:00 am Shadow has not been projected over the street

Assumption:

- Adjacent properties' land slopes with a similar degree as the subject property



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