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ABN: 32829136273



<u>Perspective</u>

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General Notes:

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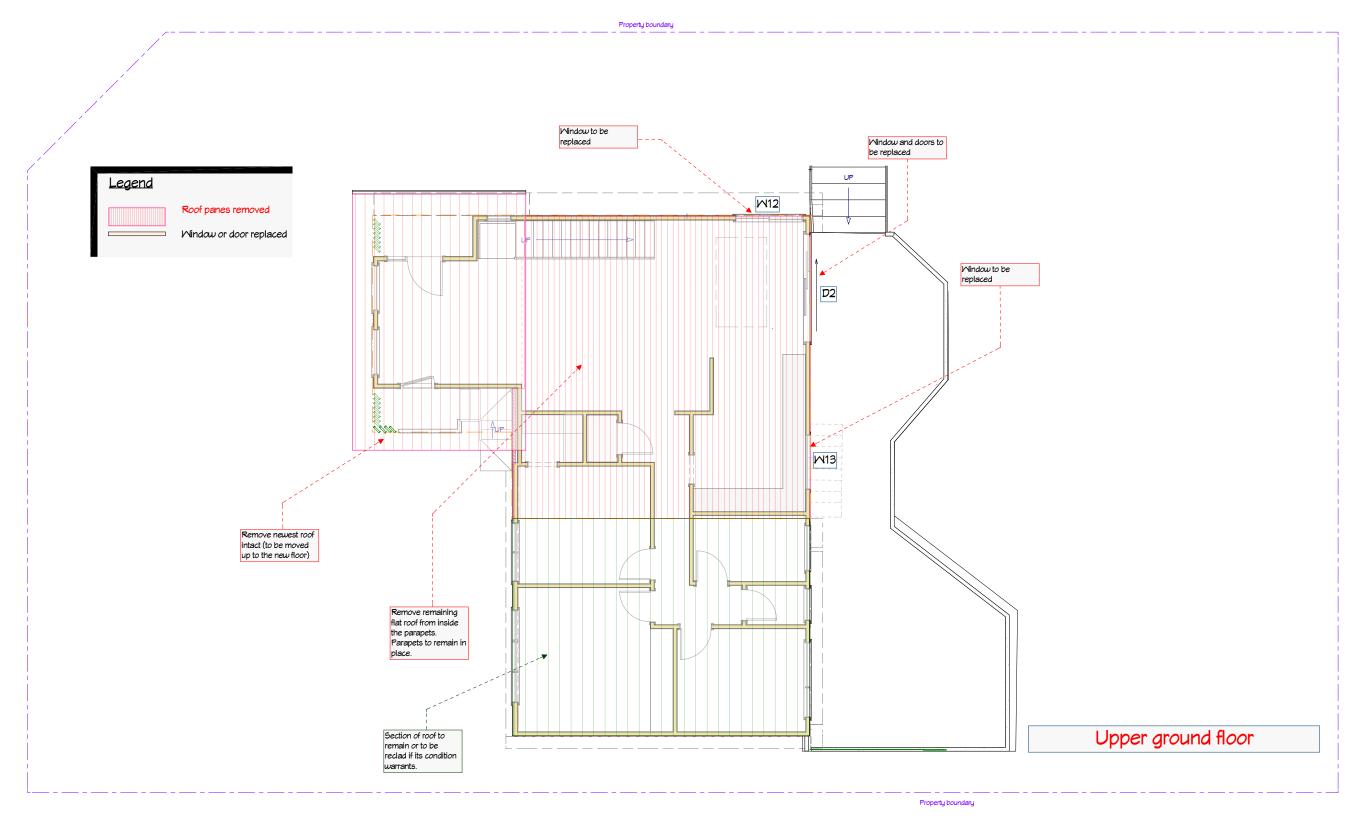
Additional floor Lot 10, DP 216532 98 Waratah Street Mona Vale

Scale: Size: Date:

15/08/2023 Drawing No:

Alan & Julie-Ann Erdman

Version: 4.3.2



Demolition plan (only roof is removed)

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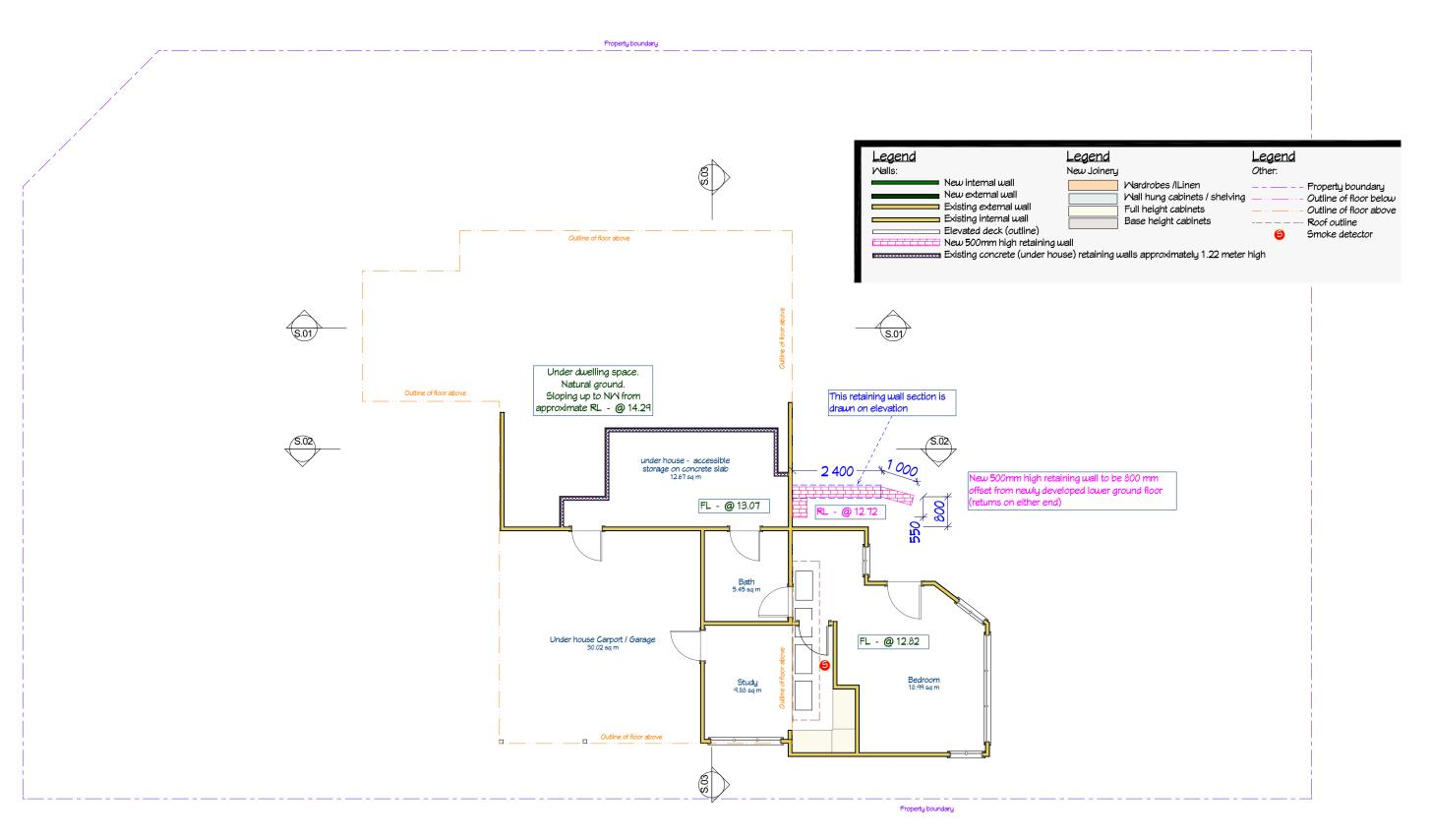
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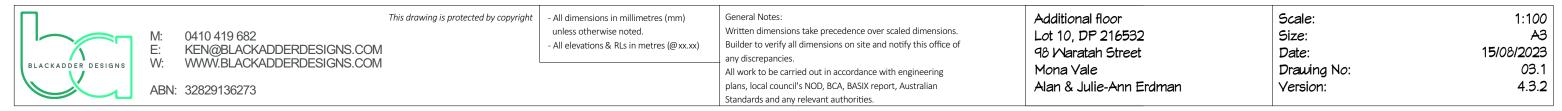
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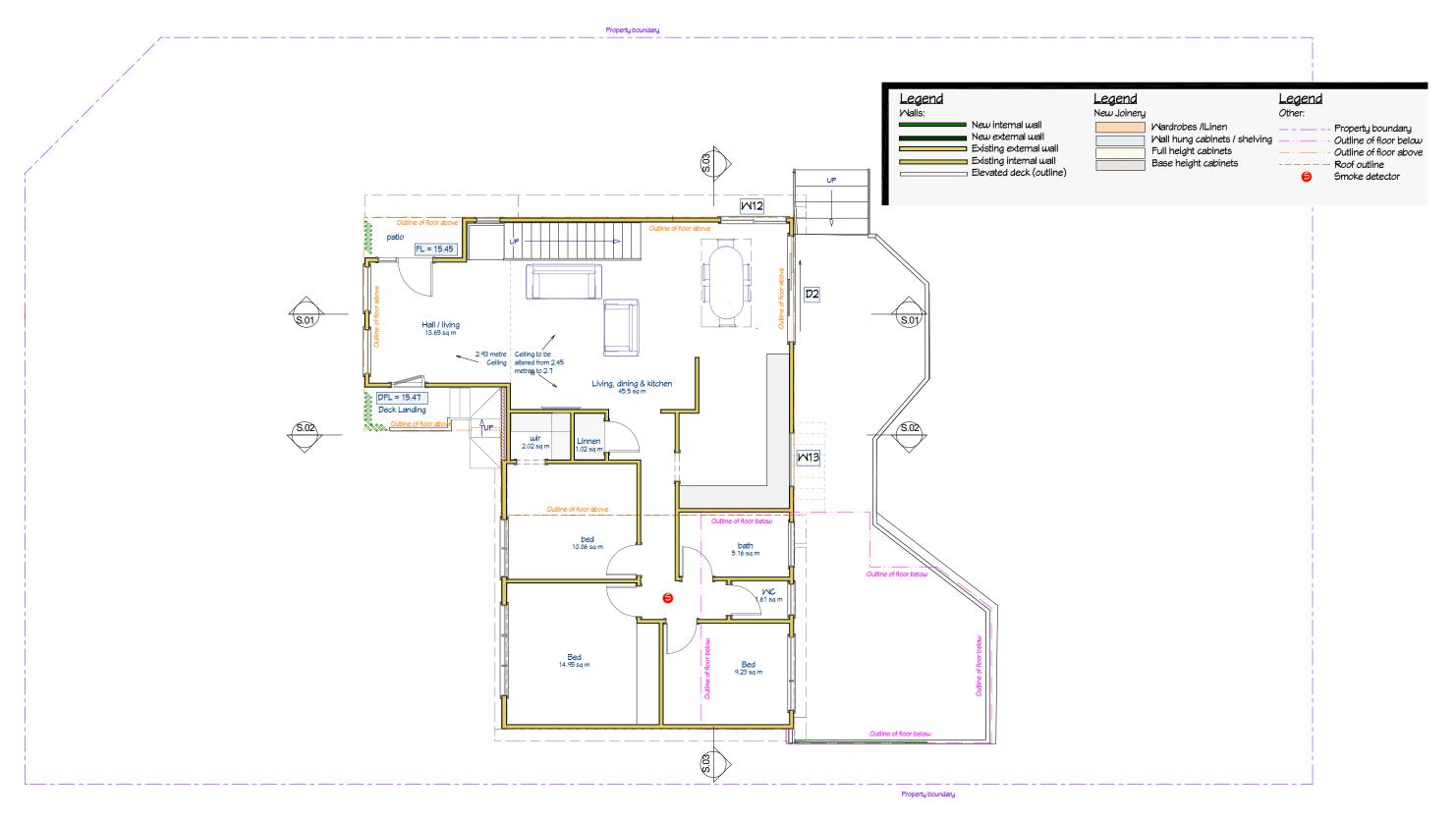
Additional floor Lot 10, DP 216532 98 Maratah Street Mona Vale Alan & Julie-Ann Erdman Scale: Size: Date: Drawing No: Version:

1:100 A3 15/08/2023 02.1 4.3.2

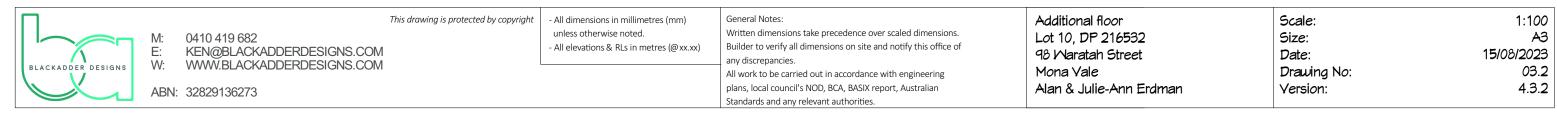


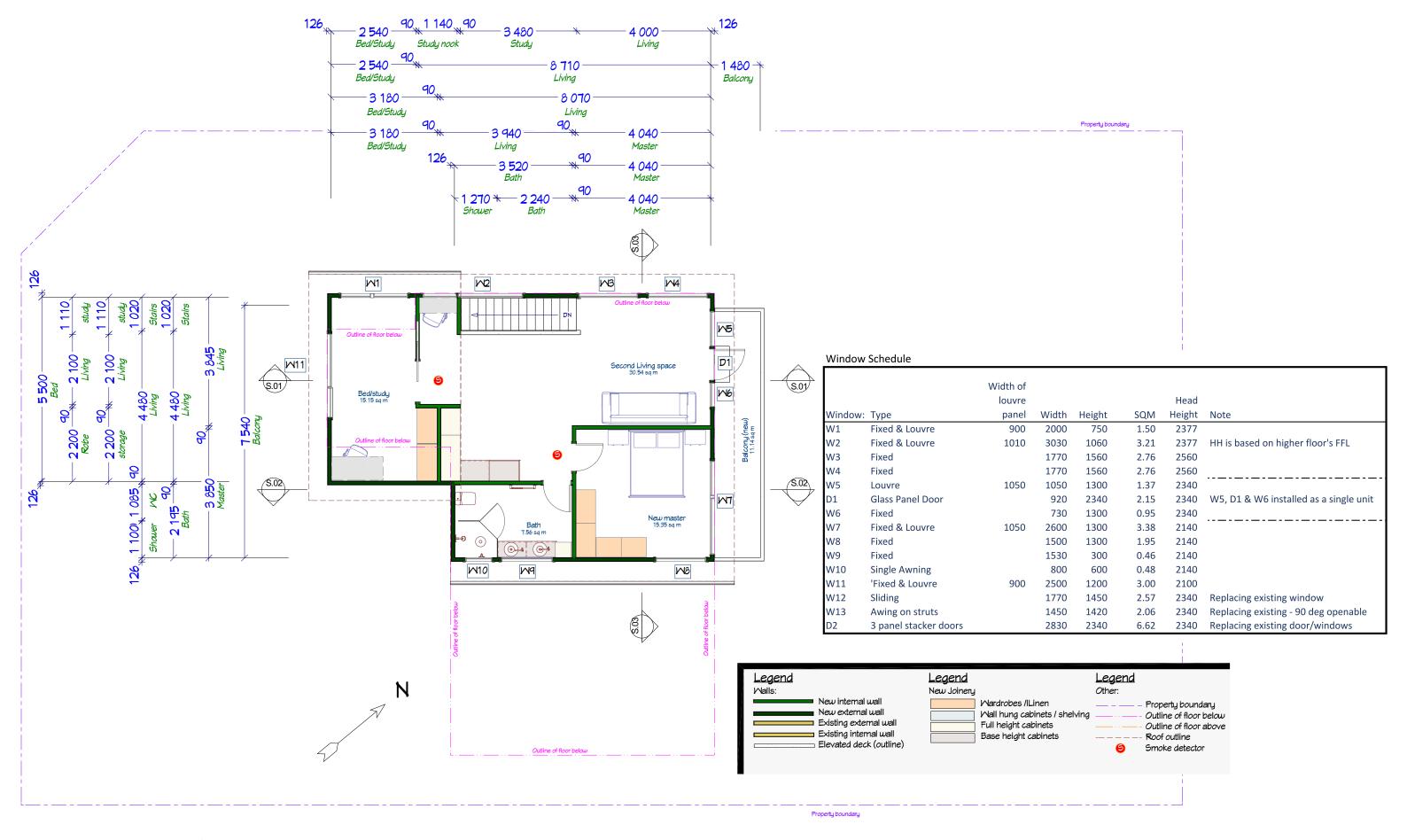
Floor plan, existing lower ground floor



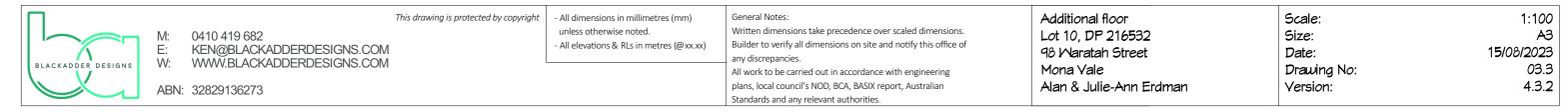


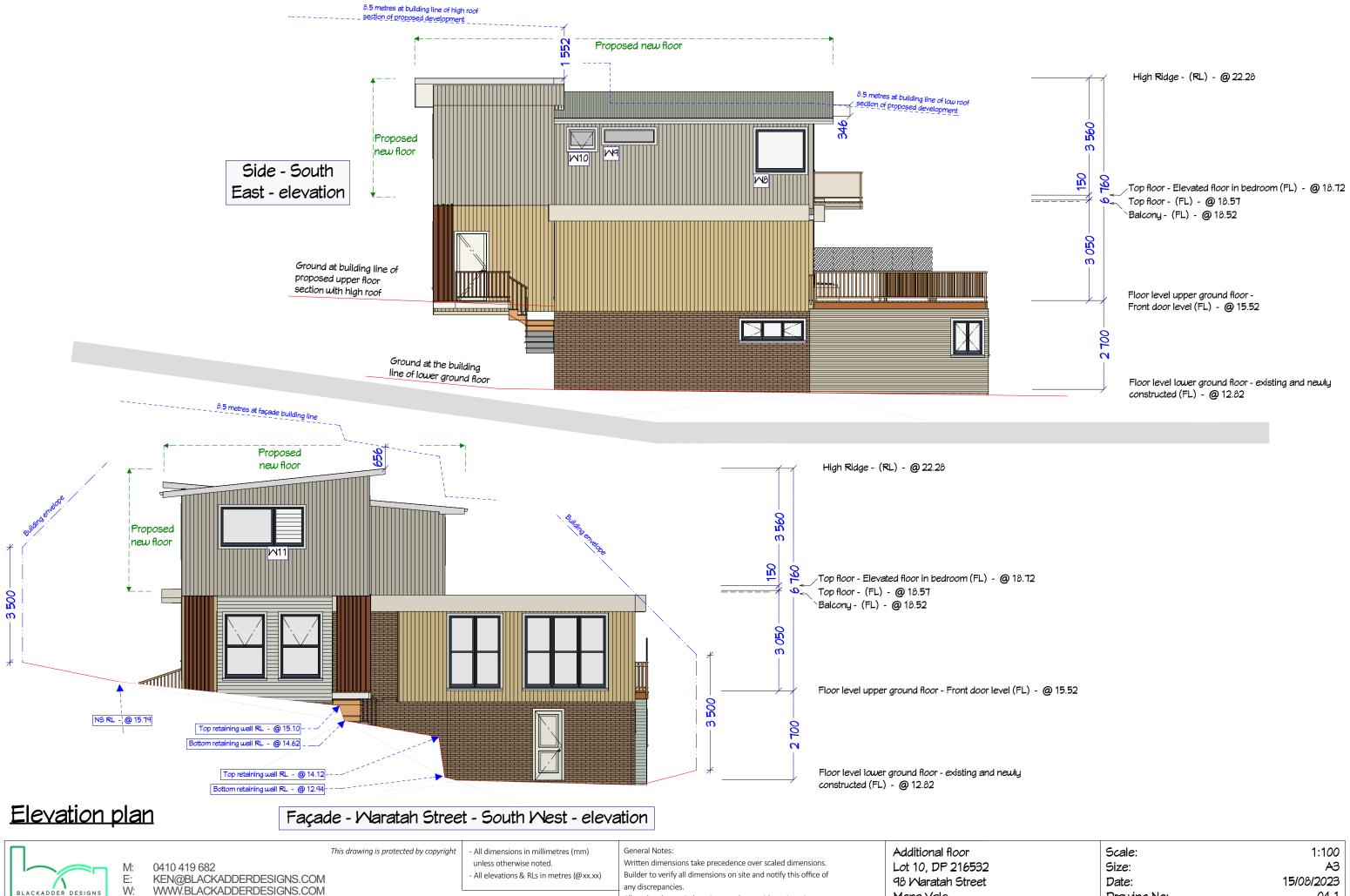
Floor plan, existing upper ground floor





Floor plan, new first floor





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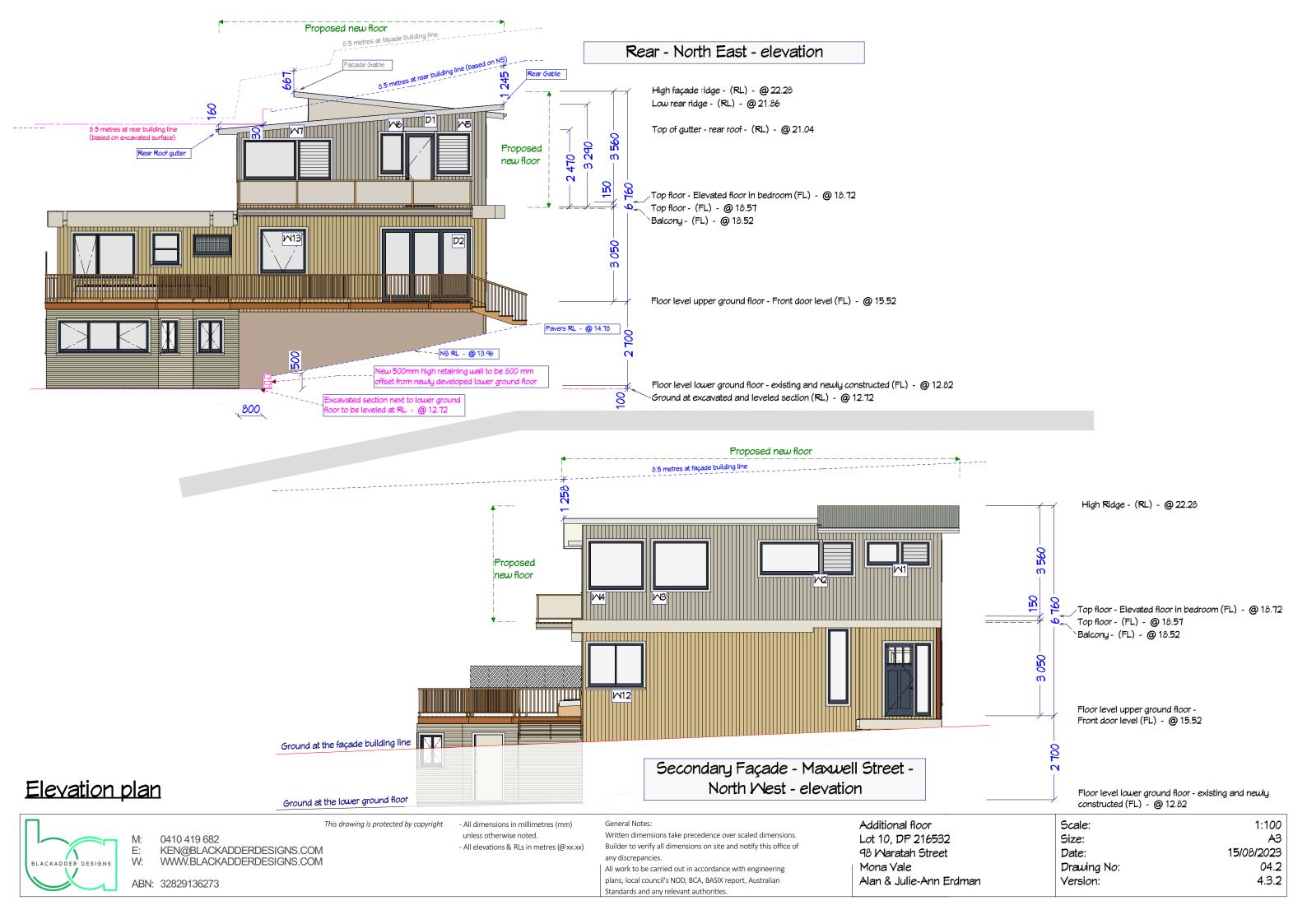
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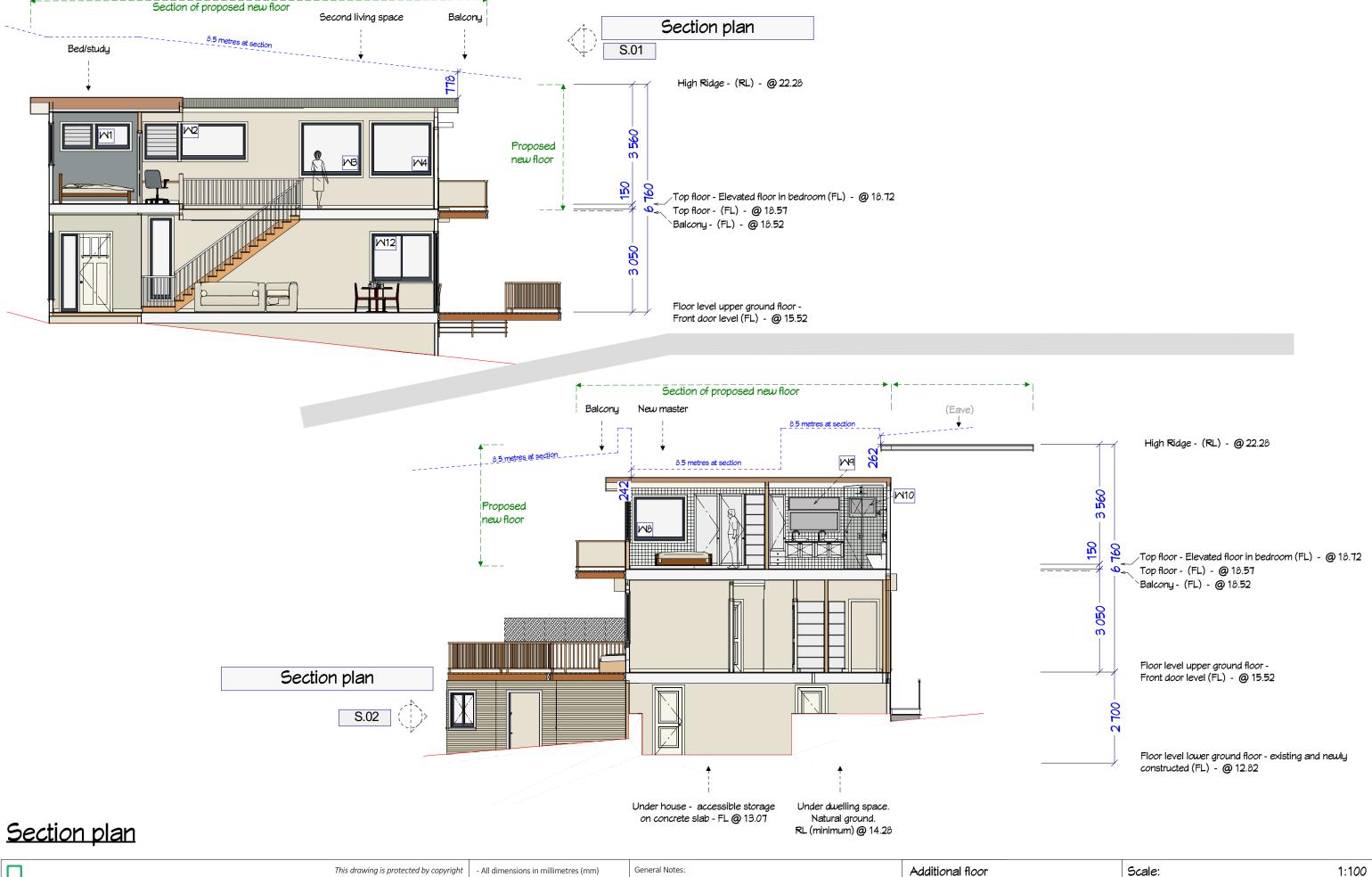
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Mona Vale Alan & Julie-Ann Erdman Drawing No: Version:

04.1 4.3.2





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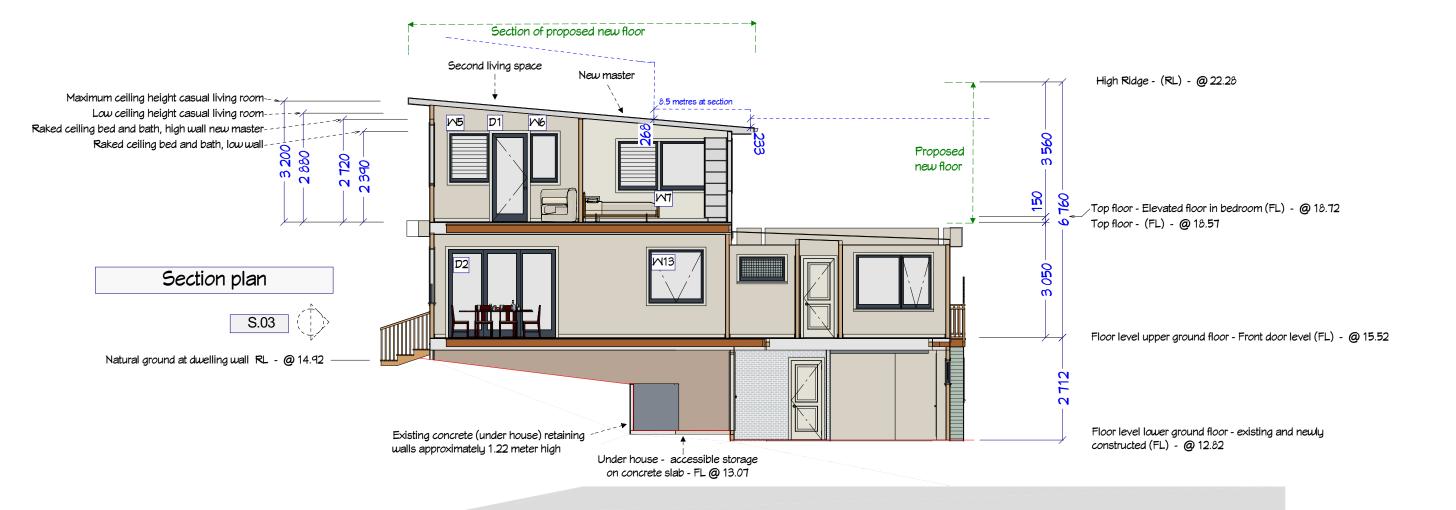
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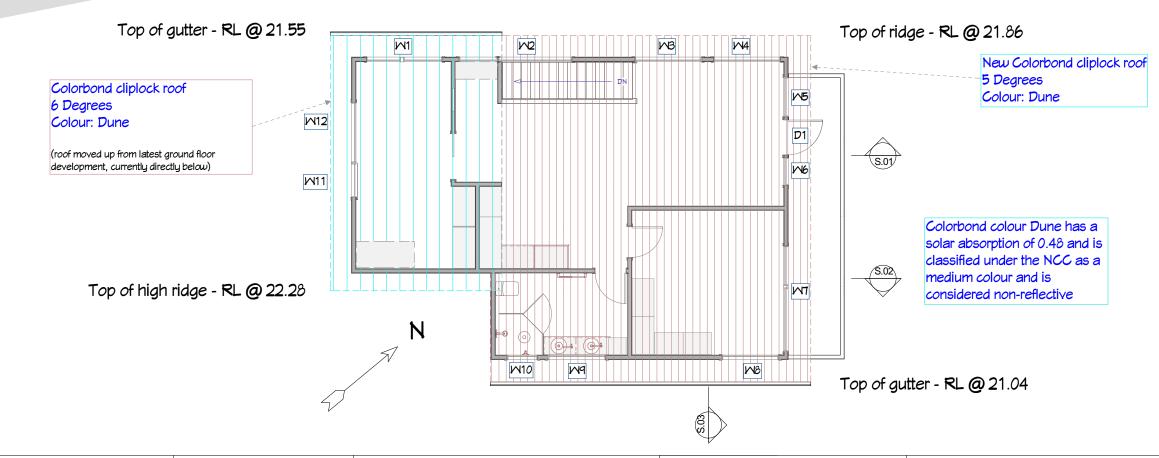
Lot 10, DP 216532 98 Waratah Street Mona Vale Alan & Julie-Ann Erdman Size: Date: 15/08/2023 Drawing No: 05.1

Version:

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Additional floor Lot 10, DP 216532 98 Waratah Street Mona Vale

Alan & Julie-Ann Erdman

Size:
Date:
Drawing No:
Version:

Scale:

1:100 A3 15/08/2023 No: 05.3/06 4.3.2

MAXWELL STREET Wind Summer WARATAH STREET SOM

mpervious area vs landscaped area calculation	SQM		+ 6% S	QM	SQM	
Property / Site area				=	689.2	100%
Fotal impervious areas: Existing and after proposed build are the same.						
Dwelling footprint including new floor	156.5	22.7%				22.7%
Existing rear deck not over the dwelling including steps	27.7	4.0%				4.0%
Metal Shed	7.2	1.0%				
Concrete driveway	49.7	7.2%				
Paved second parking space	33.8	4.9%				
Concrete path (existing) on south eastern side of house			9.7	1.4%		
Paved area on north western side of house	10.6	1.5%				
New entry path (western corner to front door)			18.8	2.7%		
Steps by garage and backdoor not covered by new floor	0.8	0.1%				0.1%
(front path on survey has been removed)						0.0%
						0.0%
Total existing hard surfaces: 40% allowed plus up to 6% for recreational outdoor	286.3	41.5%	28.5	4.1%	314.8	45.7%
Fotal existing landscaped area			_	_	374.4	54.3%

Site and site analysis plan

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Additional floor Lot 10, DP 216532 98 Maratah Street Mona Vale Alan & Julie-Ann Erdman Scale: Size: Date: Drawing No: Version:

1:200 15/08/2023 07.1 4.3.2

Legend;

Shadow cast prior to development

21 June - winter solstice



@ 09:00

Shadow cast - current



@ 12:00 (noon)

Shadow cast - current



@ 15:00

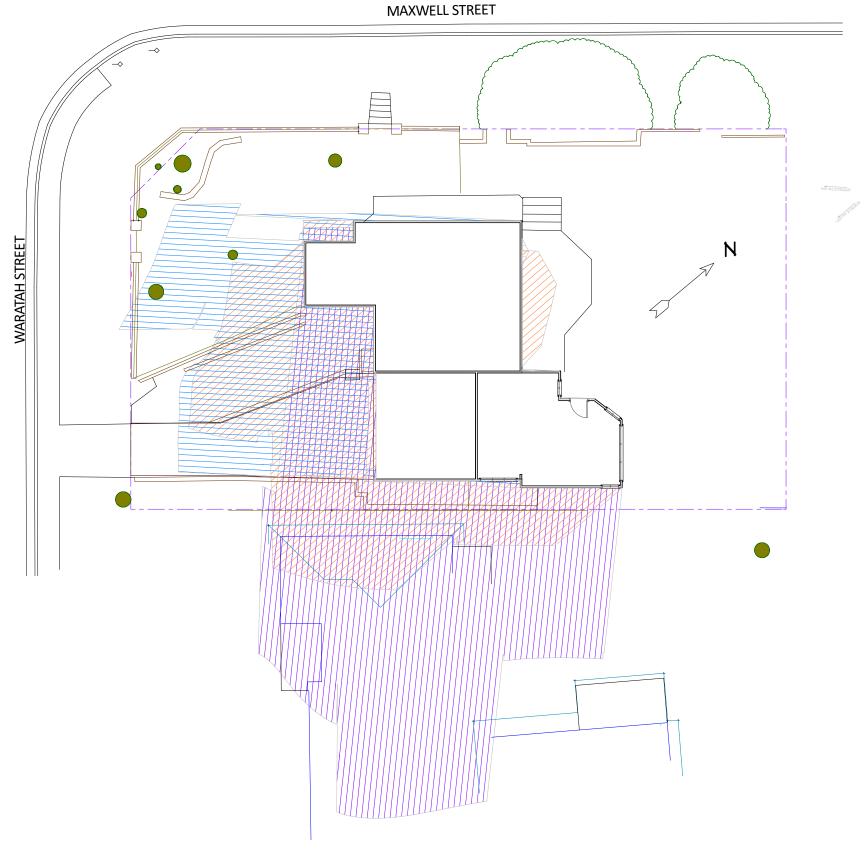
Shadow cast - current

Note:

- Shadow is ground projection taking ground slope into account.
- o low garden structures, retaining walls and trees are ignored by shadow diagram

Assumption:

Adjacent properties' land slopes with a similar degree as the subject property



Shadow diagram existing



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1:200 15/08/2023 08.1 4.3.2

MAXWELL STREET

Legend;

Shadow cast - post development

21 June - winter solstice



@ 09:00

Shadow cast post new development



@ 12:00 (noon)

Shadow cast post new development



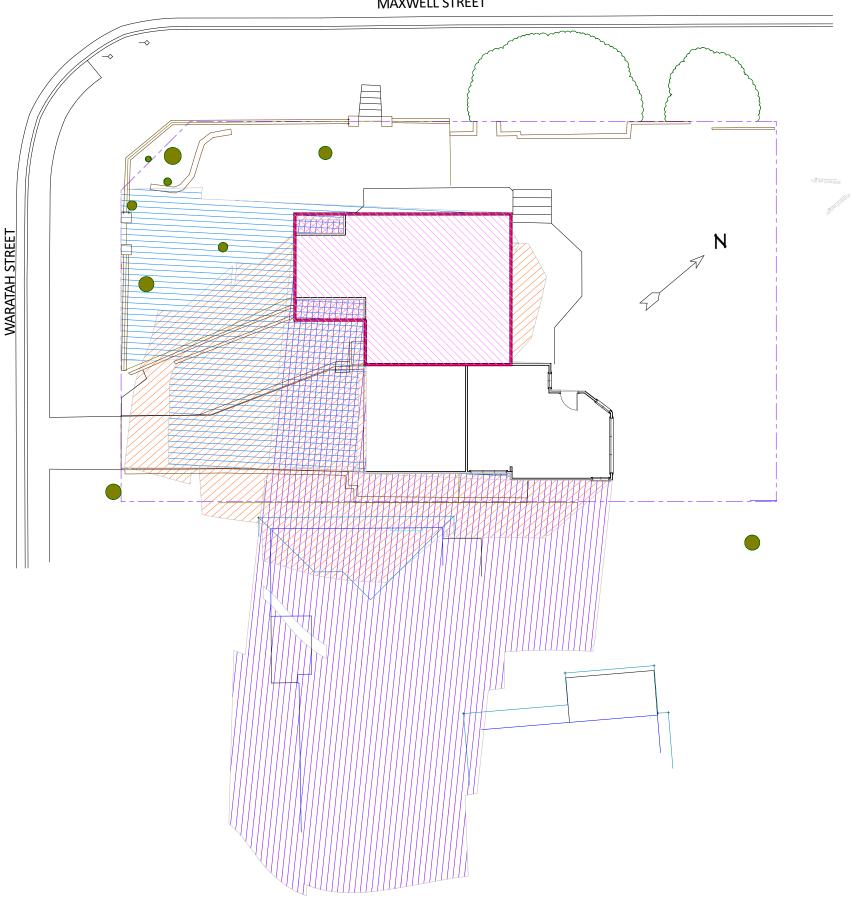
@ 15:00

Shadow cast post new development

- Shadow is ground projection taking ground slope into account.
- o low garden structures, retaining walls and trees are ignored by shadow diagram
- 9:00 am Shadow has not been projected over the street

Assumption:

 Adjacent properties' land slopes with a similar degree as the subject property



Shadow diagram proposed



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15/08/2023 08.2 4.3.2 Version:

1:200

Waste Management Plan

General notes:

- Reasonable access exists for waste removal, skip location and product delivery via the existing driveway
- All significant on-site trees are retained
- Ample street parking for trade vehicles

The following waste is sorted on site and removed

Waste Management Plan - Demolition

Brick & concrete

- No brick or concrete is expected to be removed during demolition
- o If, however there is any brick or concrete waste it is to be recycled at the Kimbriki crusher or an alternate stone recycling plant.

Metal roofing and guttering

- 320 kilos (64.0 sqm) of metal roof sheets are removed with an optional 225 kilos (45 sqm) removed.
- o To be recycled at the Kimbriki metal depot or any alternate metal recycling plant.

Other materials consisting of framing timbers, windows, doors, plaster board, replaced cladding, etc.

- Estimated to be less than 1.5 tonne
- To go to landfill.

Soil

No soil is to be removed.

Asbestos

- o It has not been determined as yet if asbestos exists on site.
- o If asbestos is found and required to be removed then this will be removed, double wrapped and discarded in accordance with the appropriate standards and codes.

Waste Management Plan - Build

Excess building waste / cut offs

o To be kept to a minimum and deposited in on-site skip for landfill.

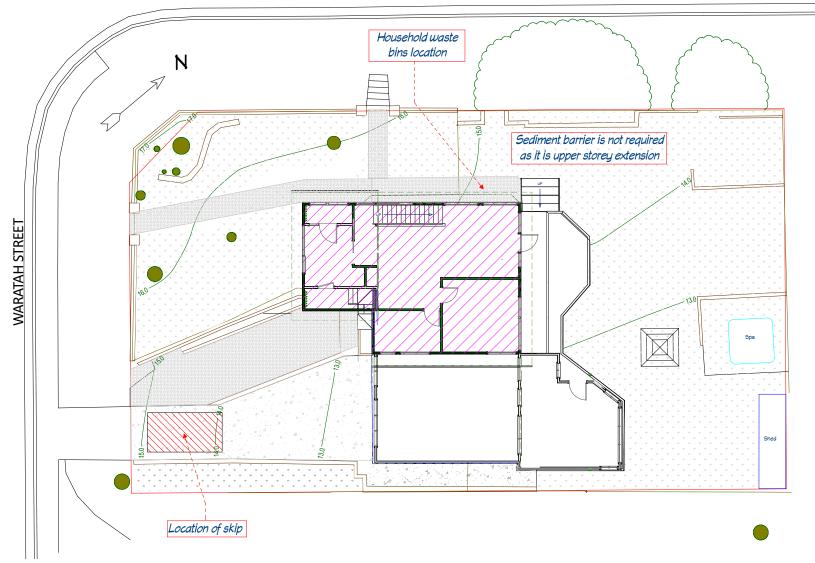
Roof cut-offs

- Steel roof and gutter leftovers to be removed by the roofing company and recycled
- o Particular care is to be made that small metal shrapnel and rivet pins are collected and do not find their way into the lawn that surrounds the house as these may cause injuries.

Other

• Builder will provide on-site recycle and waste bins for appropriate disposal and recycling of coffee cups, lunch containers, food waste, etc. These bins are periodically emptied in the appropriate household's yellow, blue and red lidded bins.





Waste management - Ongoing

The House is currently occupied by the one family, and this will remain unchanged after completion and as such ongoing waste management remains the same.

Council waste bins:

- Green waste is collected weekly in the council provided green bin
- Plastic household containers, aluminium & steel cans and glass bottles are fortnightly collected in the council provided yellow bin
- All cardboard and papers are fortnightly collected in the council provided blue bin All remaining household waste is collected weekly

Maste management plan and sediment control plan



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