

PROPOSED ADDITIONS & ALTERATIONS
9 SUFFOLK AVENUE, COLLARROY

DA DRAWING LIST

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GENERAL NOTES (NCC 2019 BCA VOL 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2.
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR / PRIVATE CERTIFIER AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- GLAZING TO AS1288, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
-BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND
-BCA VOL 1 PART 1.4 FOR CLASS 2 AND 9 BUILDINGS.
- WATERPROOFING AND WATER RESISTANCE OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
-RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
-GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
-2R + 16 = 700MM MAXIMUM AND 550MM MINIMUM
-WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS.
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
-1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
-865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
-VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND
-ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- STAIRWAY SHALL BE 850MM MIN. WIDTH CLEAR OF ALL OBSTRUCTIONS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2019 BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HANDRAILS TO BE MINIMUM 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE BUILDING IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.

- CONCRETE STUMPS:
-UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO.H.D. WIRE)
-1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO.H.D. WIRES)
-1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO.H.D. WIRES).
-100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4773.1-2015 'MASONRY IN SMALL BUILDINGS PART 1: DESIGN.
- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL STORM WATER DRAINAGE AND ROOF PLUMBING TO AS3500.3.
- SOLID MEMBRANE DAMP PROOF COURSES AND FLASHING SHALL BE INCORPORATED TO EXTERNAL WALLS. WEEPHOLES AT 1000MM MAX. CENTRES IN ACCORDANCE WITH STANDARD DOMESTIC GENERAL SPECIFICATION CLAUSE 3-11.
- PROTECTIVE COATINGS FOR EXPOSED STEELWORK. ALL EXTERNAL EXPOSED STEELWORK SUCH AS WINDOW OR DOOR LINTELS SHALL BE HOT DIPPED GALVANIZE 300G/M2 MIN.
- DEMOLITION TO BE IN ACCORDANCE WITH AS 2601 DEMOLITION OF STRUCTURES.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS / DETAILS / REPORTS.
- SITE PLAN MEASUREMENTS IN METRES - ALL OTHER MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF DESIGNED2YOU ('THE DESIGNER') FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT / CONSTRUCTION CERTIFICATE IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT / CONSTRUCTION CERTIFICATE.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF DESIGNED2YOU EXCEPT WHERE A REGISTERED BUILDING SURVEYOR / PRIVATE CERTIFIER MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT / CONSTRUCTION CERTIFICATE APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO DESIGNED2YOU.

- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR / PRIVATE CERTIFIER PRIOR TO IMPLEMENTING ANY VARIATION.
- ALL GENERAL TIMBER FRAMING MEMBERS ARE TO COMPLY WITH AS.1684 (2010).
FRAMING SPECIFICATION:

RAFTERS		REFER TO STRUCTURAL ENG.
ROOF BEAMS		REFER TO STRUCTURAL ENG.
ROOF BATTENS	25x50	F8 @600mm CTS
CEILING BATTENS	38x38	MGP10 @600mm CTS
POSTS		REFER TO STRUCTURAL ENG.
TOP PLATES	2/90x35	MGP10
BOTTOM PLATES	90x45	MGP10
COMMON STUDS	90x35	MGP10 @450mm CTS
CORNER STUDS	90x45	MGP10
JAMB STUDS	2/90x35	MGP10
NOGGINS	70x35	MGP10 - STAGGERED @ 1350mm MAX. HIGH

Alterations and Additions

Certificate number: A409912_06

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 08, July 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	20129_9 Suffolk Avenue Collaroy_06
Street address	9 Suffolk Avenue Collaroy 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP380519
Lot number	A
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Designed 2 You	
ABN (if applicable): 84697799721	

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 3937 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 110 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the outdoor spa.		✓	✓
Outdoor spa			
The spa must not have a capacity greater than 8.15 kilolitres.	✓	✓	✓
The spa must have a spa cover.		✓	✓
The applicant must install a spa pump timer.		✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development: gas.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W01	N	1.4	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W02	N	4.5	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D01	W	10.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D02	N	6.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

FLOOR LEVELS ARE TO BE CHECKED ON SITE.
REFER TO SURVEY DRAWINGS FOR DETAILS

TERMITE TREATMENT TO BE PROVIDED IN
ACCORDANCE WITH A.S 3660.1 & A.S 3660.2

REFER TO STRUCTURAL ENGINEER'S DRAWINGS
AND DETAILS FOR ALL STRUCTURAL ELEMENTS

SURVEY DRAWINGS TAKE PRECEDENCE OVER
ARCHITECTURAL DRAWINGS FOR BUILDING
SETBACKS TO BOUNDARIES. ALL BUILDING
SETBACKS ARE SHOWN INDICATIVE ONLY AND
ARE TO BE CHECKED BY THE SURVEYOR.

CONNECT ALL STORMWATER TO LEGAL
POINT OF DISCHARGE. STORMWATER SHOWN
INDICATIVE ONLY. REFER TO STORMWATER
ENGINEER'S DRAWINGS FOR DETAILS.

SITE AREA CALCULATIONS

SITE AREA 486.9m² (APPROX.)

EXISTING FLOOR AREA

GROUND FLOOR	111m ²
FIRST FLOOR	48m ²
TOTAL EXISTING FLOOR AREA	159m²
DECK	38m ²
GARAGE	27m ²

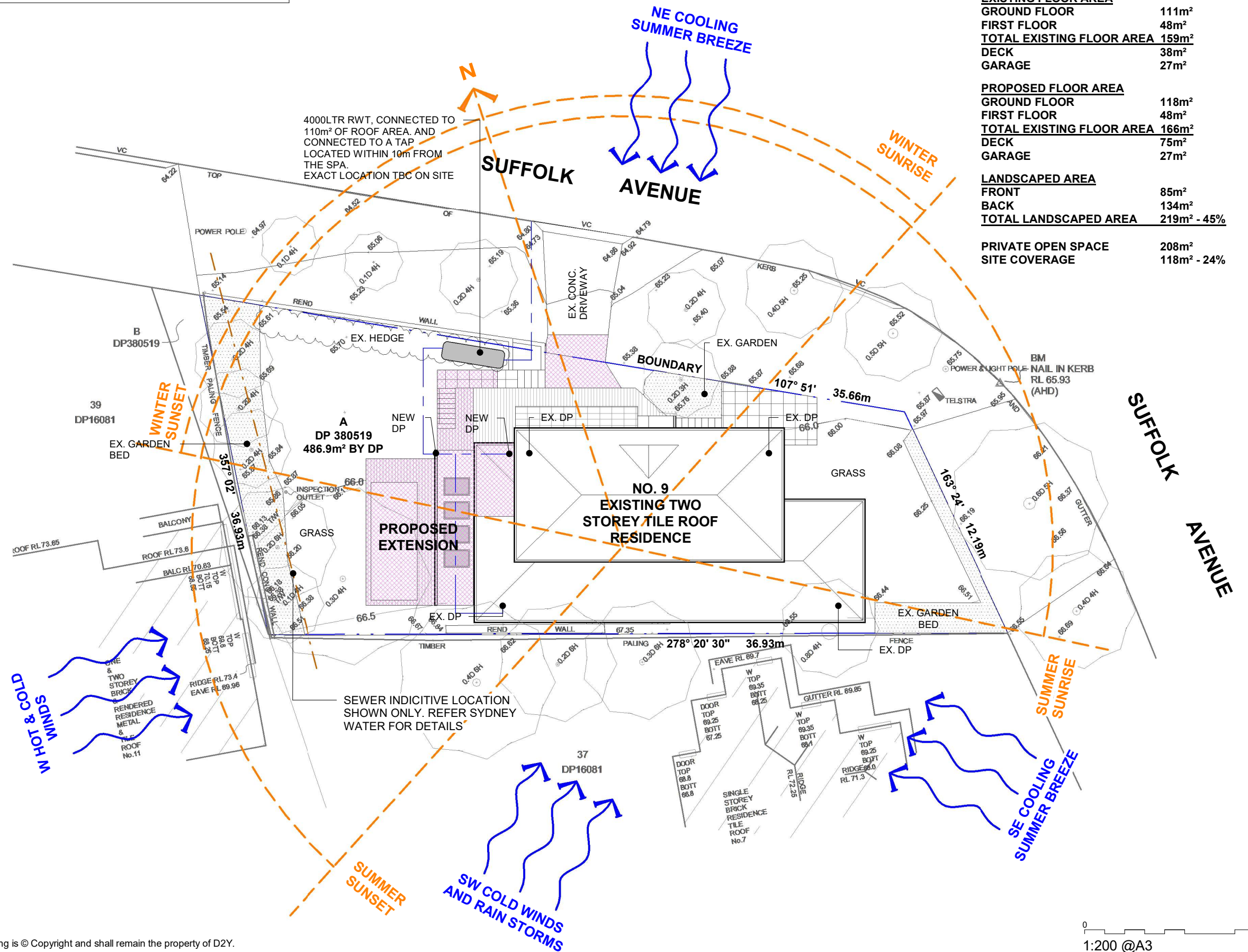
PROPOSED FLOOR AREA

GROUND FLOOR	118m ²
FIRST FLOOR	48m ²
TOTAL EXISTING FLOOR AREA	166m²
DECK	75m ²
GARAGE	27m ²

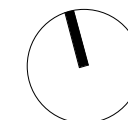
LANDSCAPED AREA

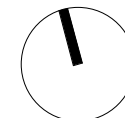
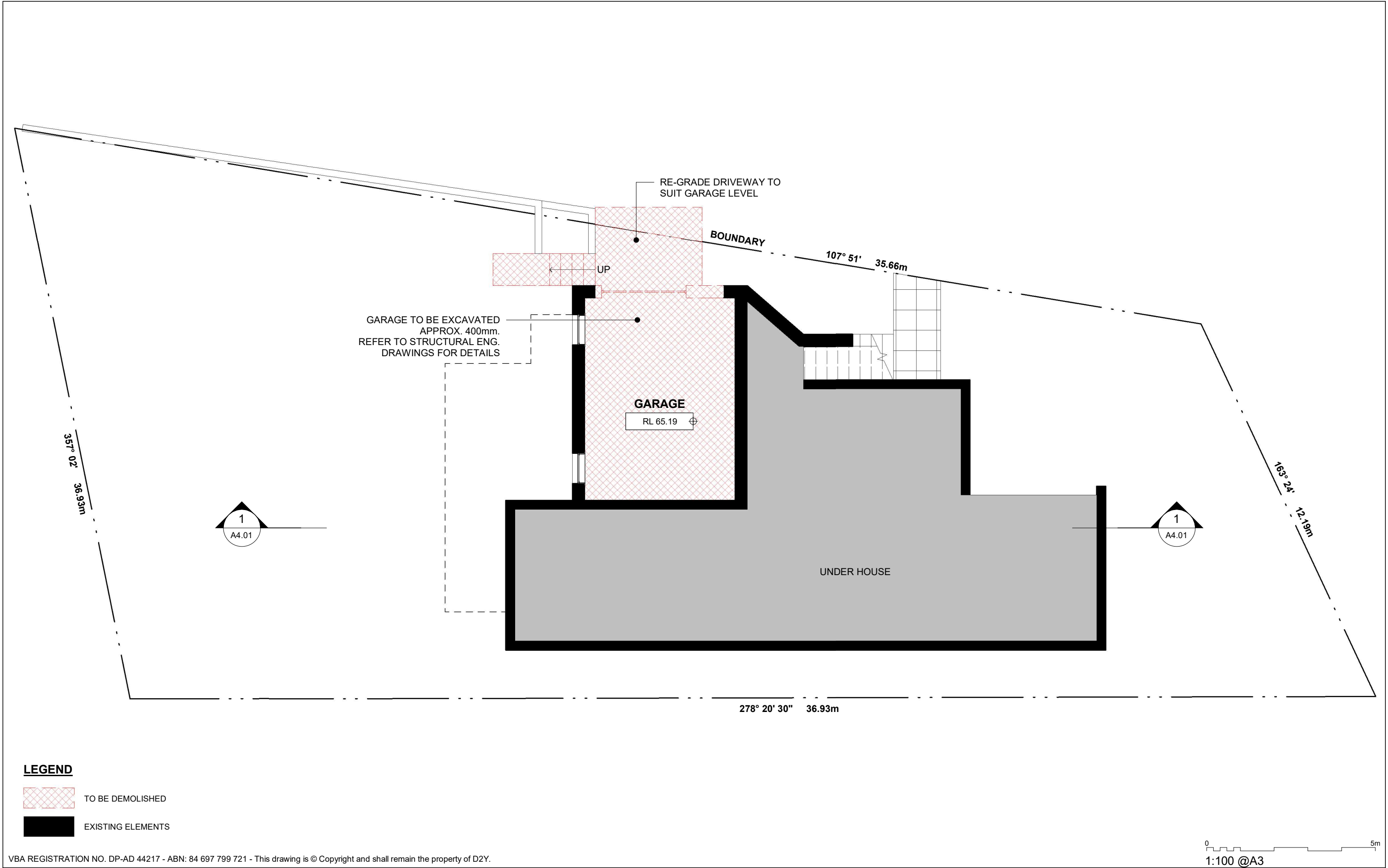
FRONT	85m ²
BACK	134m ²
TOTAL LANDSCAPED AREA	219m² - 45%

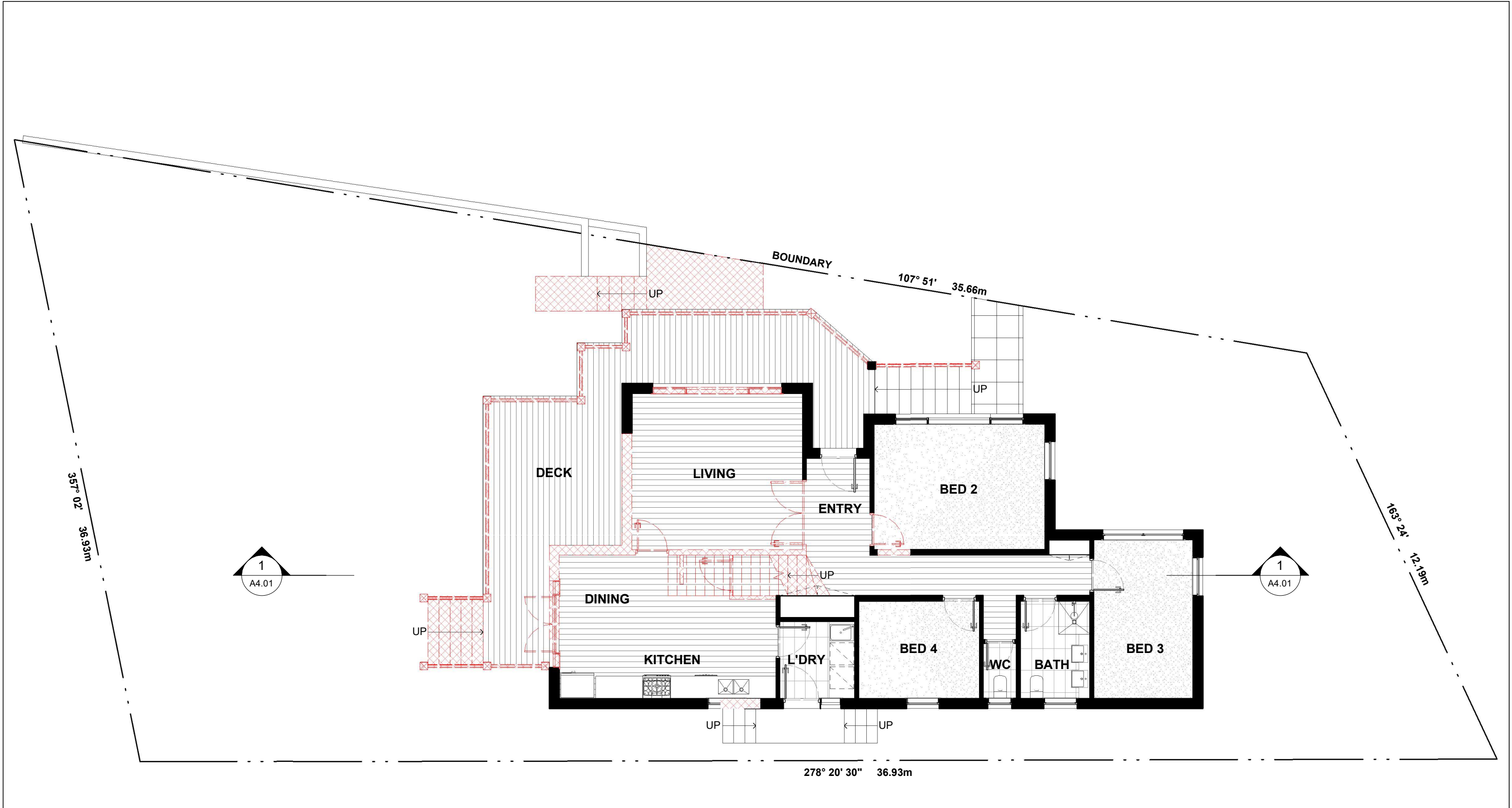
PRIVATE OPEN SPACE	208m ²
SITE COVERAGE	118m ² - 24%



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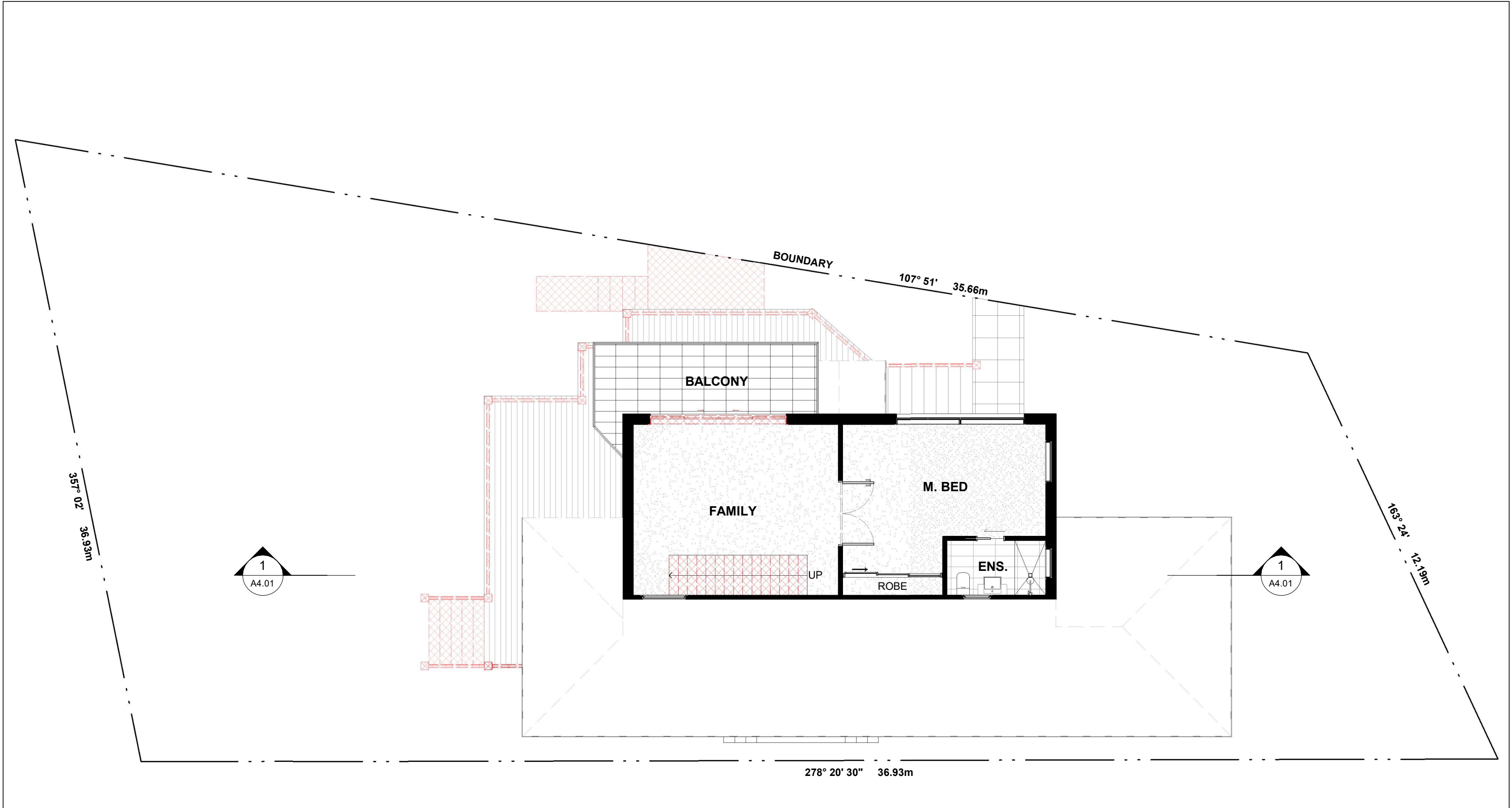
LEGEND

 TO BE DEMOLISHED

 EXISTING ELEMENTS

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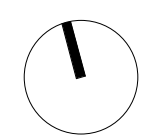


LEGEND

-  TO BE DEMOLISHED
-  EXISTING ELEMENTS

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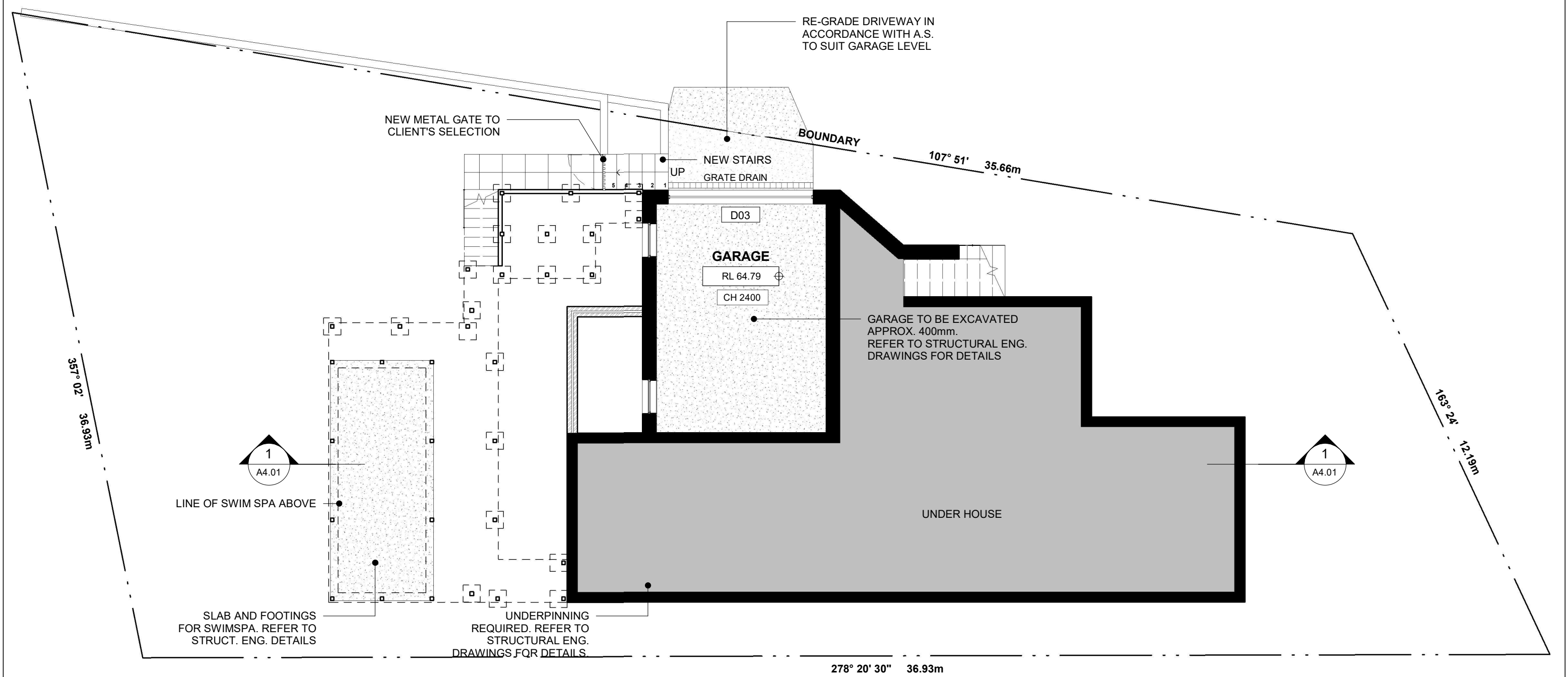
0 5m
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ALL EXISTING STRUCTURAL ELEMENTS WHICH ARE AFFECTED BY THE PROPOSED WORKS, ARE TO BE CHECKED BY THE STRUCTURAL ENG. TO DETERMINE THE STRUCTURAL INTEGRITY.

ALL CEILING HEIGHTS ARE TO COMPLY AND BUILT IN ACCORDANCE WITH THE NCC VOL. 2 PART 3.8.2

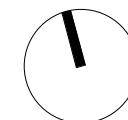
REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND DETAILS FOR ALL STRUCTURAL ELEMENTS

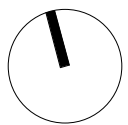
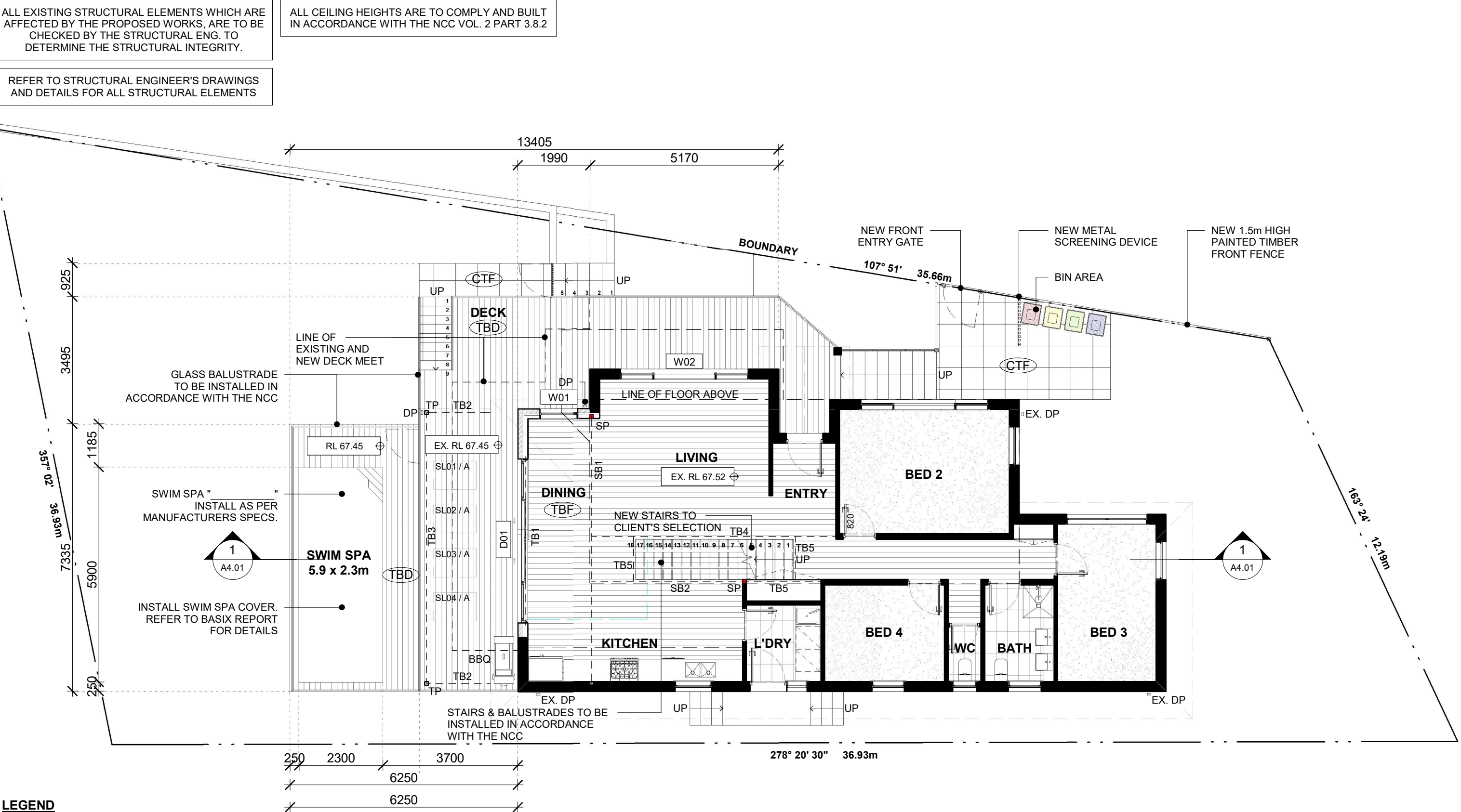


LEGEND

A/C	SELECTED SPLIT SYSTEM	HP	HOT PLATE	SHR	SHOWER	WXX	WINDOW TAG - REFER TO WINDOW SCHEDULE	CTF	SELECTED TILE FINISH	FFLXX	FINISHED FLOOR LEVEL	FW	FLOOR WASTE
CT	COOKTOP	HWU	HOT WATER UNIT	SPR	RAIN WATER SPREADER	DXX	DOOR TAG - REFER TO DOOR SCHEDULE	CAR	SELECTED CARPET FLOORING FINISH	EF	EXHAUST FAN	AJ	ARTICULATION JOINT AS PER ENGINEER'S DESIGN AND MANUFACTURER'S SPEC'S
BA	BATH TUB	JN	JOINERY BY OTHERS	SRN	GLASS SHOWER SCREEN	WTX	WALL TAG - REFER TO WALL SCHEDULE	TBD	SELECTED TIMBER DECKING	SA	SMOKE ALARM - TO BE INSTALLED IN ACCORDANCE WITH A.S. 3786 AND 3.7.5.2 OF THE NCC 2019. ALL SMOKE ALARMS ARE TO BE HARD WIRED AND INTERCONNECTED.		
BT	BENCH TOP	MR	METAL ROOFING	SS	STAINLESS STEEL SINK	TBF	SELECTED TIMBER FLOORING FINISH	CON	CONCRETE FINISH				
BV	BASIN AND VANITY	PS	ALUMINIUM PRIVACY SCREEN	TO	TOILET								
DM	DRYING MACHINE	REF	REFRIDGERATOR	TR	LAUNDRY TUB								
DP	DOWNPIPE	RH	RANGE HOOD	UBO	UNDER BENCH OVEN								
DW	DISH WASHER	RWH	RAIN WATER HEAD	WM	WASHING MACHINE								

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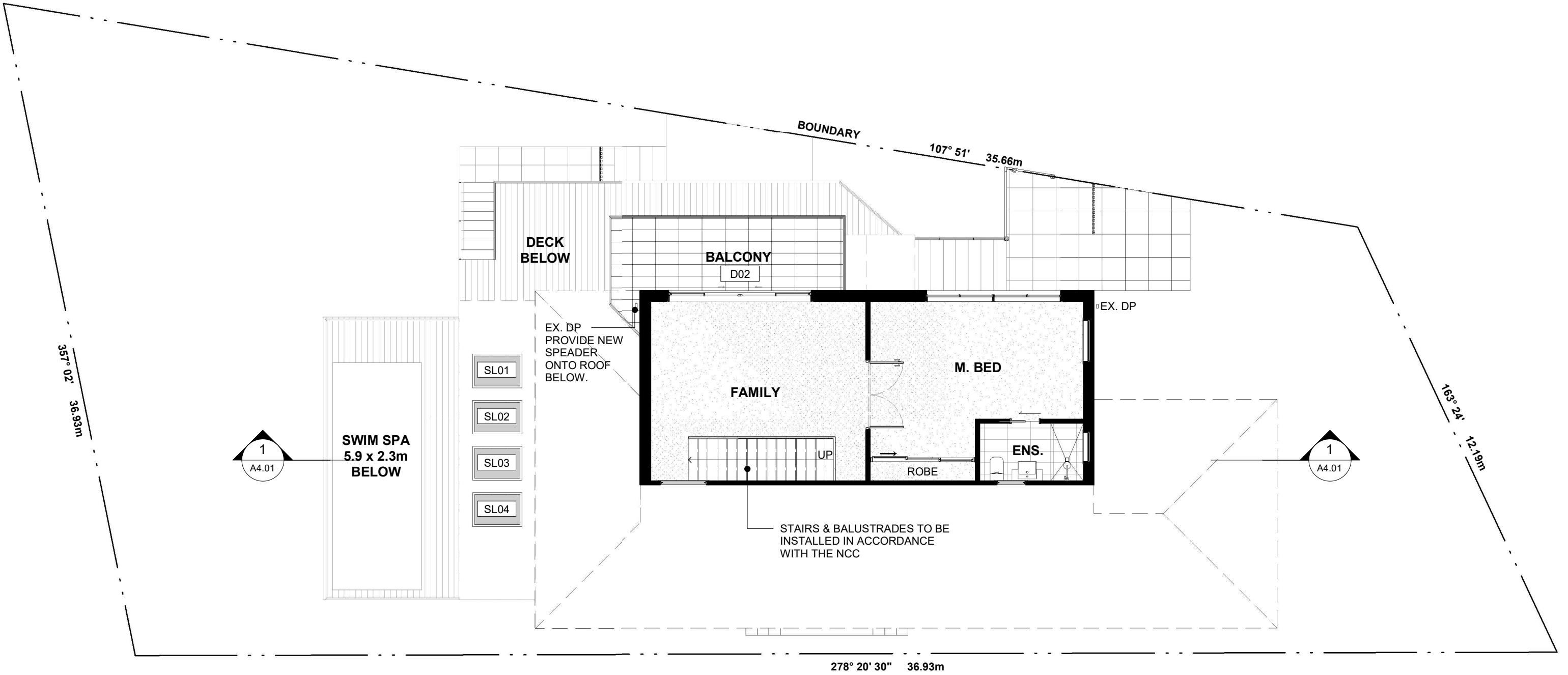




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ALL CEILING HEIGHTS ARE TO COMPLY AND BUILT IN ACCORDANCE WITH THE NCC VOL. 2 PART 3.8.2

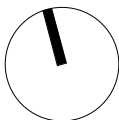
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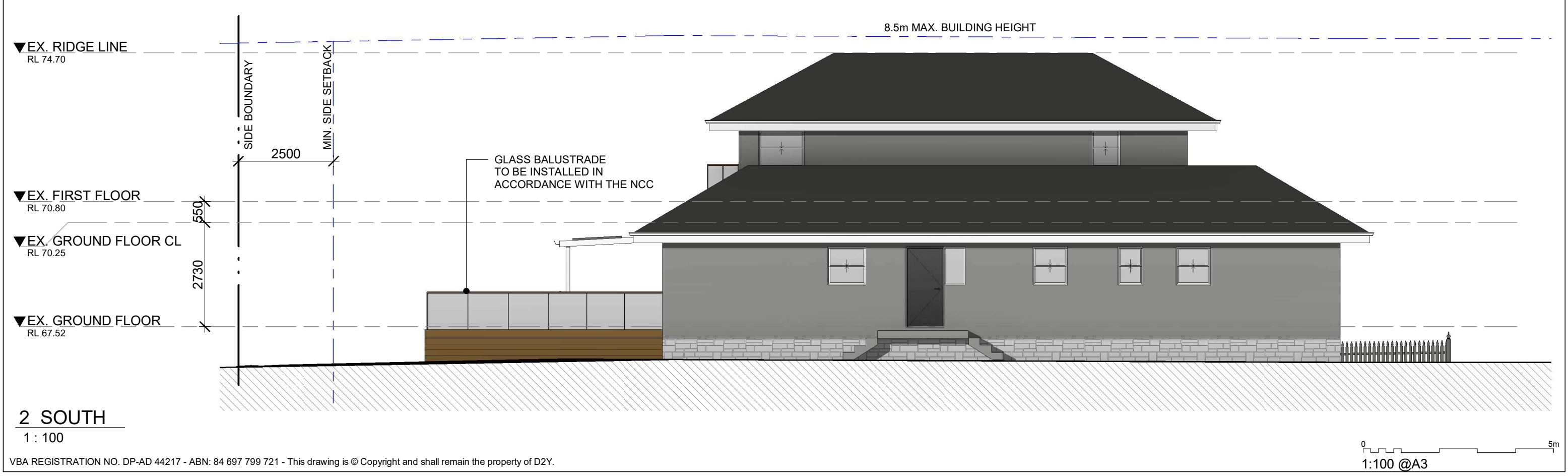
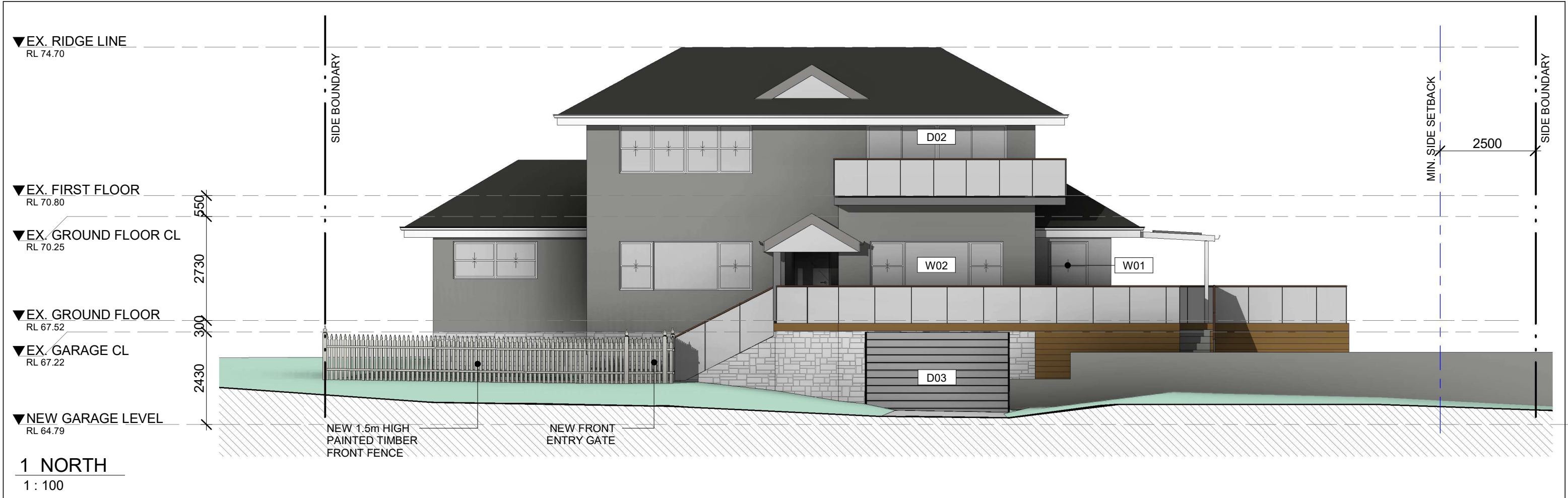


LEGEND

A/C	SELECTED SPLIT SYSTEM	HP	HOT PLATE	SHR	SHOWER	WXX	WINDOW TAG - REFER TO WINDOW SCHEDULE	CTF	SELECTED TILE FINISH	FFLXXX	FINISHED FLOOR LEVEL	FW	FLOOR WASTE
CT	COOKTOP	HWU	HOT WATER UNIT	SPR	RAIN WATER SPREADER	DXX	DOOR TAG - REFER TO DOOR SCHEDULE	CAR	SELECTED CARPET FLOORING FINISH	EF	EXHAUST FAN	AJ	ARTICULATION JOINT AS PER ENGINEER'S DESIGN AND MANUFACTURER'S SPEC'S
BA	BATH TUB	JN	JOINERY BY OTHERS	SRN	GLASS SHOWER SCREEN	WTX	WALL TAG - REFER TO WALL SCHEDULE	TBD	SELECTED TIMBER DECKING	SA	SMOKE ALARM - TO BE INSTALLED IN ACCORDANCE WITH A.S. 3786 AND 3.7.5.2 OF THE NCC 2019. ALL SMOKE ALARMS ARE TO BE HARD WIRED AND INTERCONNECTED.		
BT	BENCH TOP	MR	METAL ROOFING	SS	STAINLESS STEEL SINK	TBF	SELECTED TIMBER FLOORING FINISH	CON	CONCRETE FINISH				
BV	BASIN AND VANITY	PS	ALUMINIUM PRIVACY SCREEN	TO	TOILET								
DM	DRYING MACHINE	REF	REFRIDGERATOR	TR	LAUNDRY TUB								
DP	DOWNPIPE	RH	RANGE HOOD	UBO	UNDER BENCH OVEN								
DW	DISH WASHER	RWH	RAIN WATER HEAD	WM	WASHING MACHINE								

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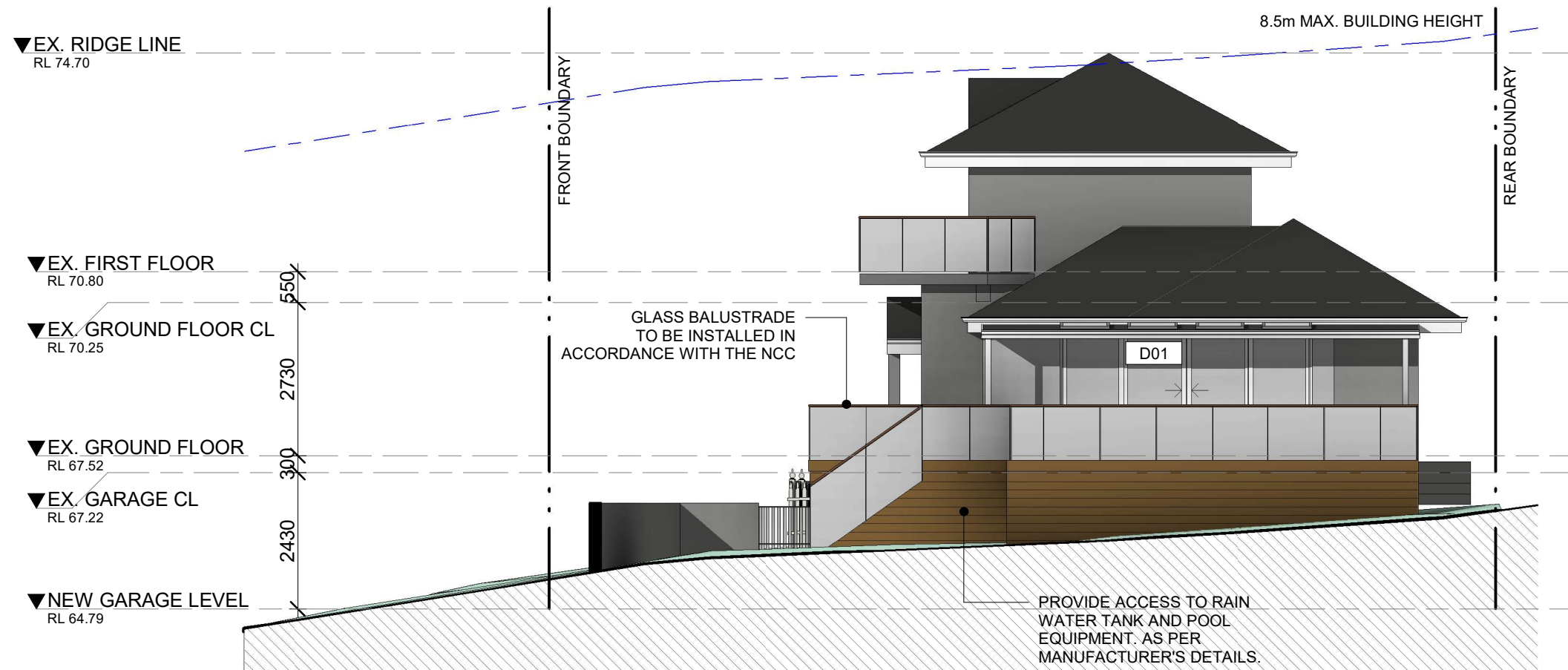




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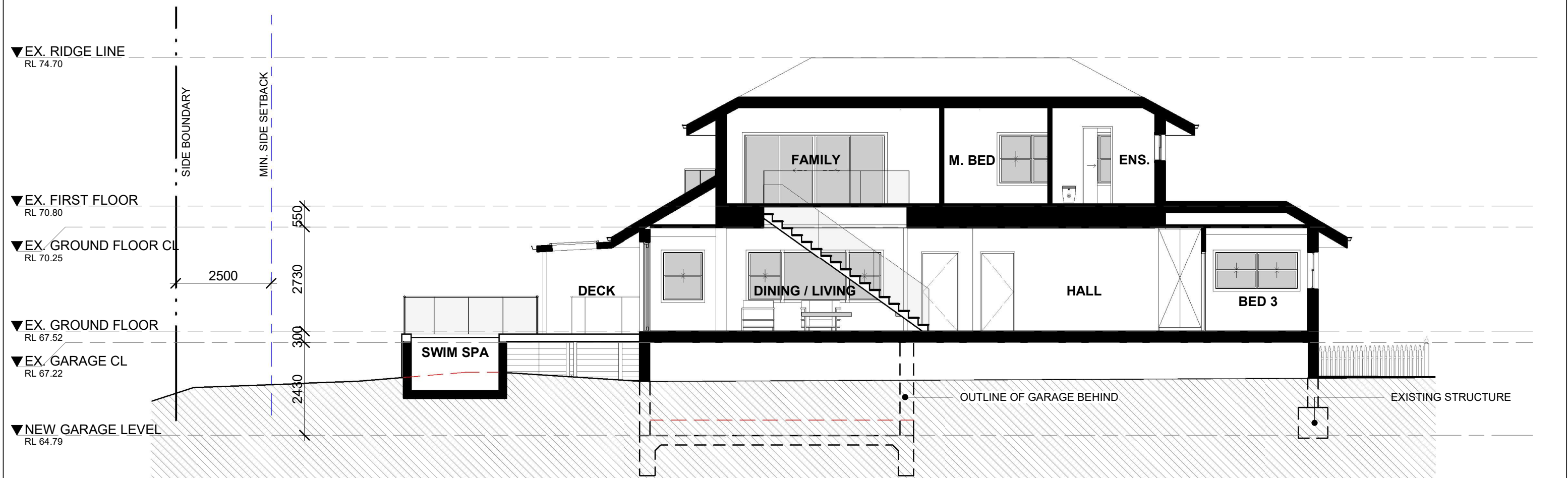
1 EAST
1 : 100



2 WEST
1 : 100

0 5m
1:100 @A3

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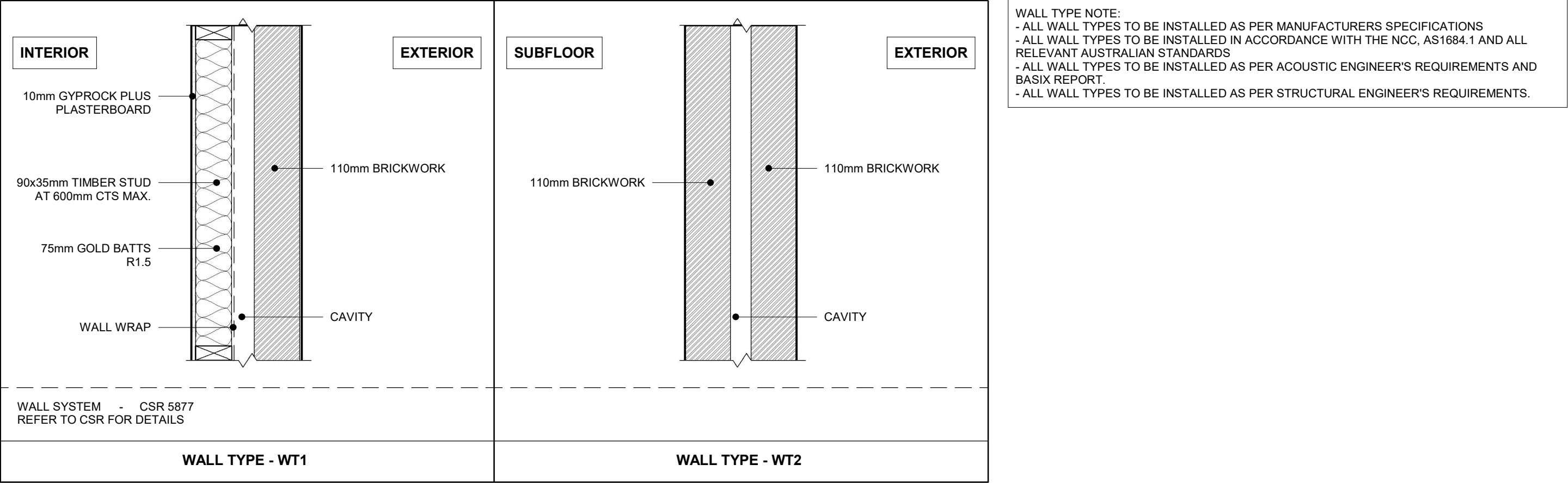
1 SECTION A-A
1 : 100



2 PERSPECTIVE SECTION

0 5m
1:100 @A3

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WINDOW & DOOR SCHEDULE							
NO.	TYPE	HEIGHT	WIDTH	HEAD HEIGHT	MATERIAL	MIN. GLAZING RECOMMENDED	NOTES
W01	DOUBLE HUNG	1300	1050	2100	POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION	IMPORVED ALUMINIUM FRAMED SINGLE PYROLYTIC LOW-E, (U-VALUE: 4.48, SHGC: 0.46)	
W02	DOUBLE HUNG / FIXED	1300 C.O.S	3500 C.O.S	2100 C.O.S	POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION	IMPORVED ALUMINIUM FRAMED SINGLE CLEAR, (OR U-VALUE: 6.44, SHGC: 0.75)	
D01	4 PANEL SLIDING	2400 C.O.S	4500	2400 C.O.S	POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION	IMPORVED ALUMINIUM FRAMED SINGLE CLEAR, (OR U-VALUE: 6.44, SHGC: 0.75)	
D02	4 PANEL SLIDING	1900 C.O.S	3700 C.O.S	1900 C.O.S	POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION	IMPORVED ALUMINIUM FRAMED SINGLE CLEAR, (OR U-VALUE: 6.44, SHGC: 0.75)	
SL01	FIXED	780	1180		POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION		
SL02	FIXED	780	1180		POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION		
SL03	FIXED	780	1180		POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION		
SL04	FIXED	780	1180		POWEDERCOAT ALUMINIUM - COLOUR TO CLIENT'S SELECTION		

WINDOW & DOOR NOTE:
ALL WINDOWS AND DOORS MANUFACTURER TO BE CONFIRMED BY OWNER.
- SIZES SHOWN ARE NOMINAL SIZES ONLY AND ARE SUBJECT TO MANUFACTURER'S STANDARD SIZE AND PROFILE.
- ALL GLAZING IS TO COMPLY WITH AS 1288. (2006) AND AS 2047 (1999)
- BEDROOM WINDOWS 2.0M ABOVE GROUND LEVEL TO BE RESTRICTED TO 125MM MAX. OPENING WITH A CHILD RESISTANT MECHANISM OR WINDOW RESTRAINED BY A DEVICE IN ACCORDANCE WITH BCA PART 3.9.2.6.
- WINDOW AND DOOR SCHEDULE TO BE READ IN CONJUNCTION WITH THE ACOUSTIC AND BASIX REPORTS.
- ACOUSTIC AND BASIX REPORTS TAKE PRECEDENCE OVER PLANS.
- FOR ALL REPLACED EXISTING WINDOWS AND DOORS, EXACT SIZE AND LOCATION TO BE CHECKED ON SITE PRIOR TO ORDERING.
REFER TO REPORT FOR DETAILS.