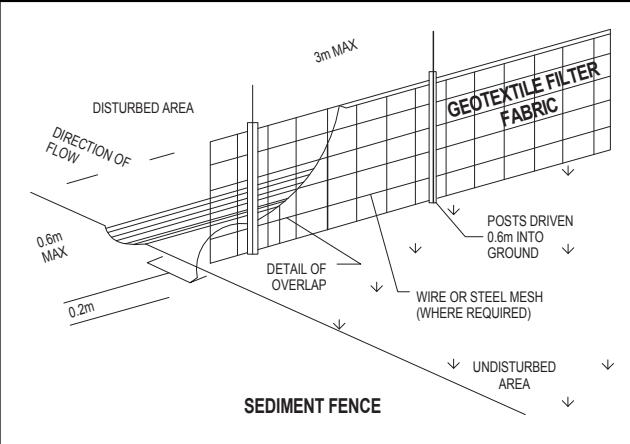
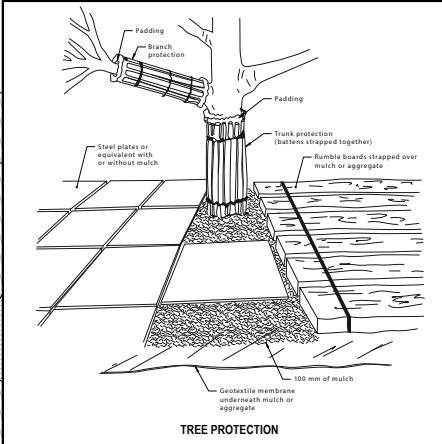
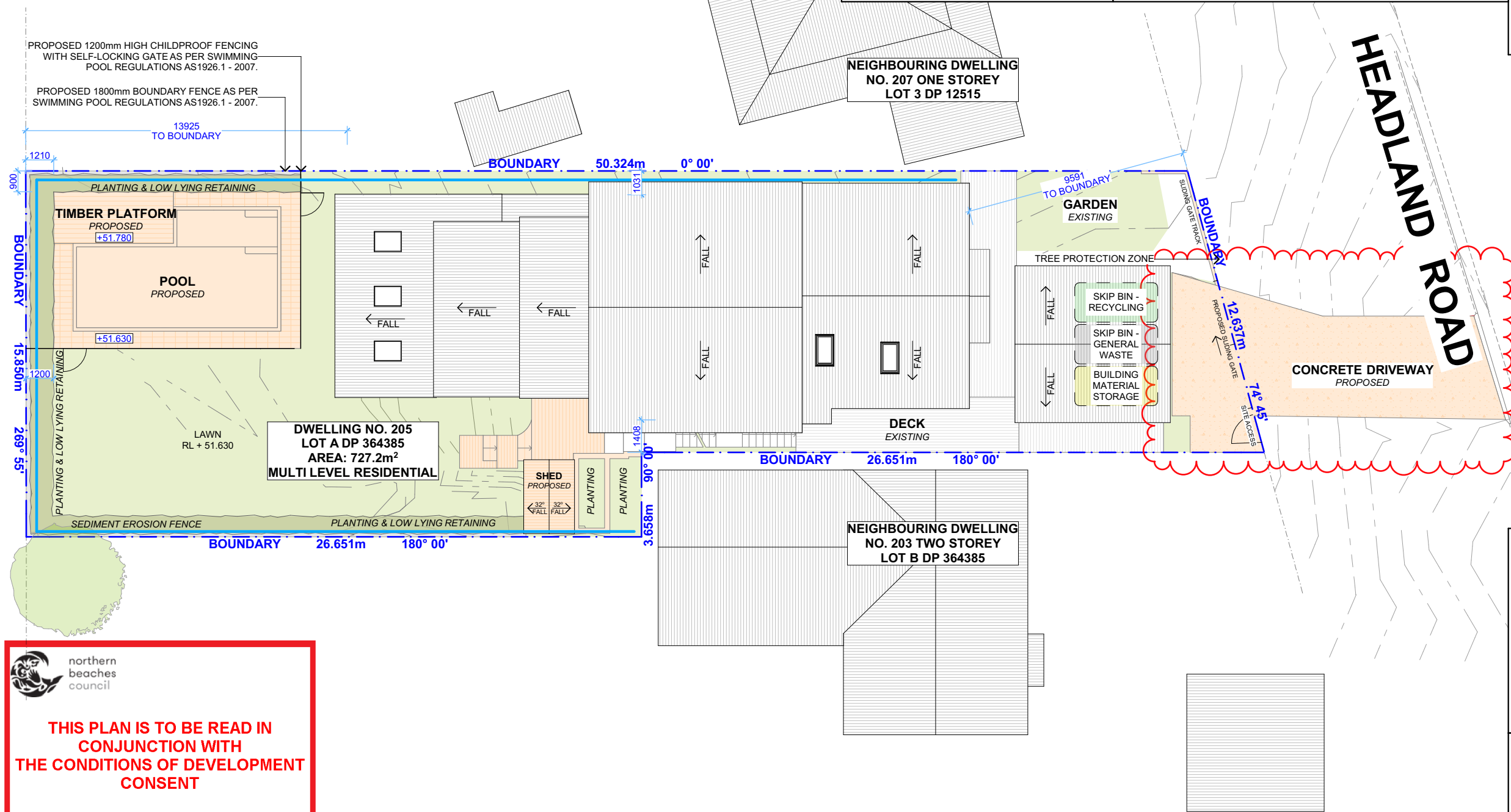


DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATEDAREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATERAS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.



NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

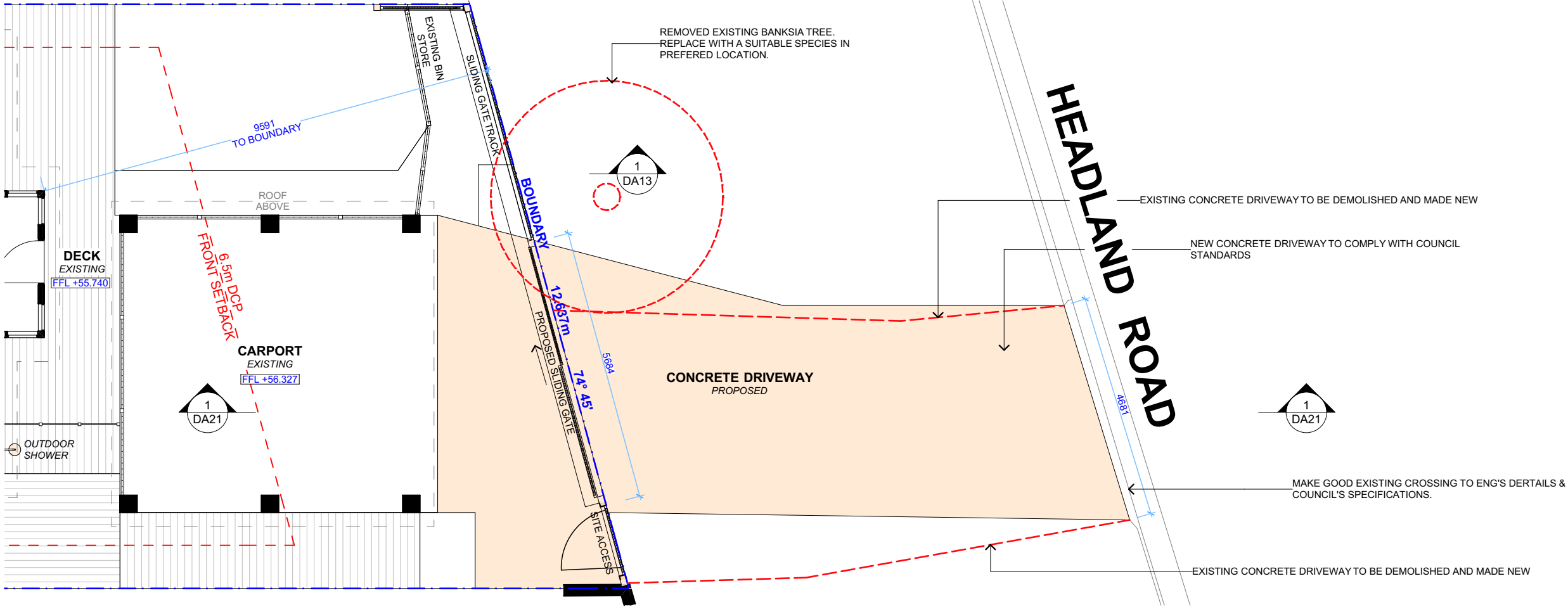
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STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

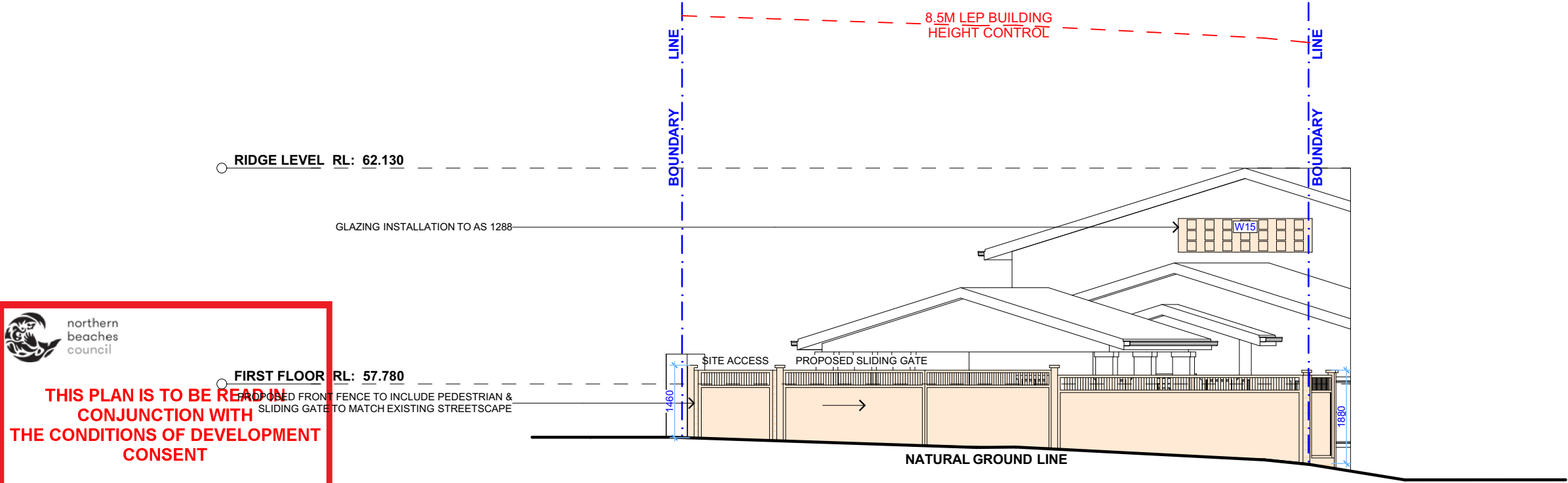
GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

NOTE: REFER TO LANDSCAPE PLANS FOR DETAILS ABOUT SITE



1 PROPOSED DRIVEWAY / FRONT FENCE 1:100



2 NORTH ELEVATION - PROPOSED FRONT FENCE 1:100

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B	26.05.2021	DA: REV A	AP	

LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

KIM & MARCO CARLON

PROJECT ADDRESS

205 HEADLAND ROAD
NORTH CURL CURL,
NSW, 2099

DRAWING NO.

DA10

DATE

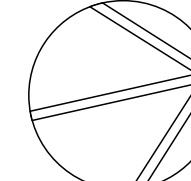
Wednesday, 26 May
2021

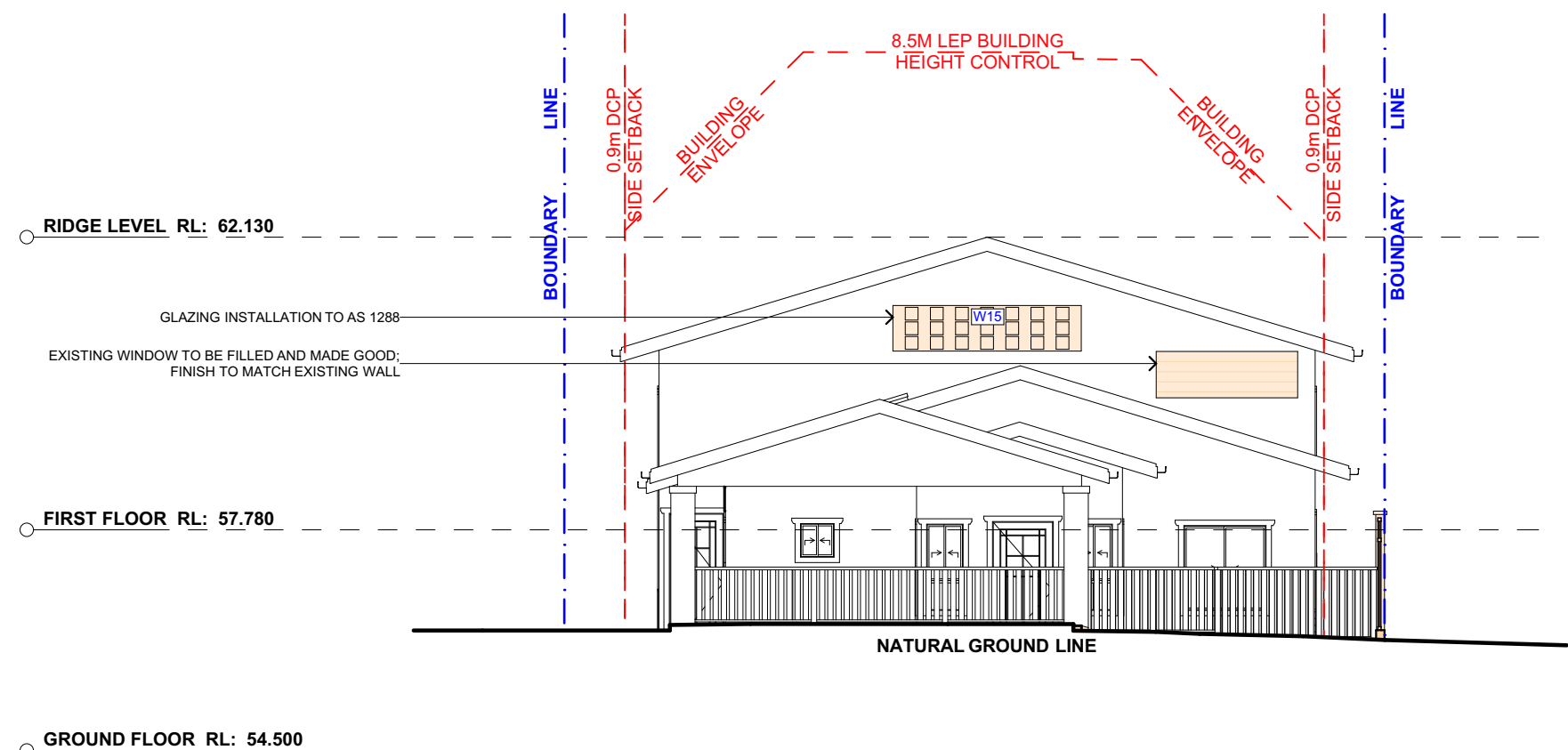
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PROPOSED DRIVEWAY /
FRONT FENCE

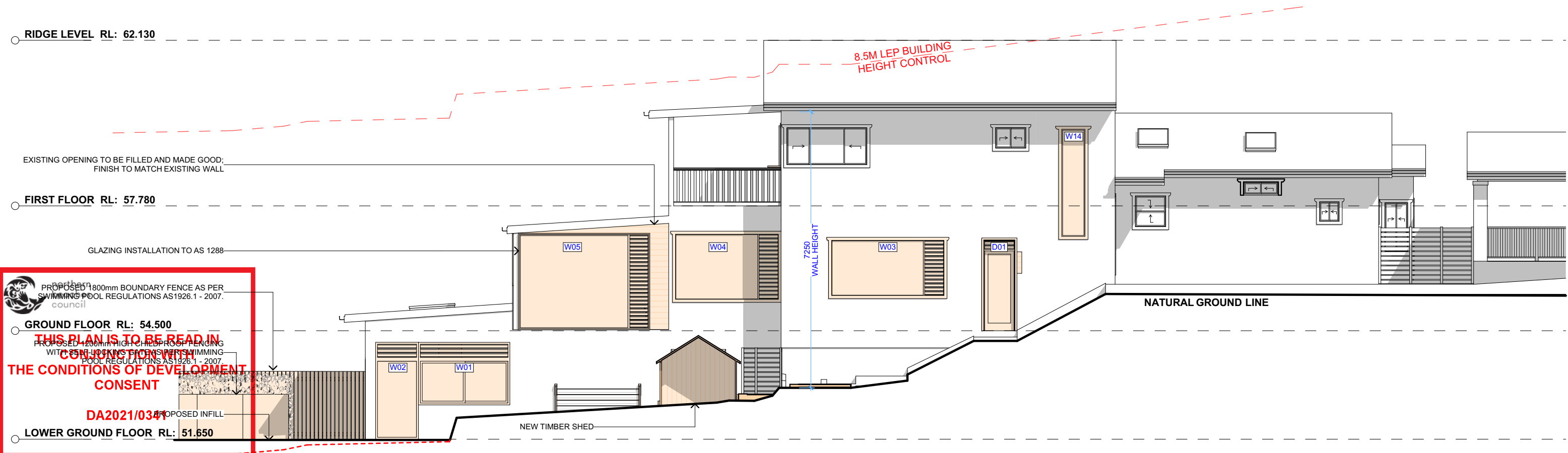
SCALE

1:100 @A3





1 NORTH ELEVATION 1:100



2 EAST ELEVATION 1:100



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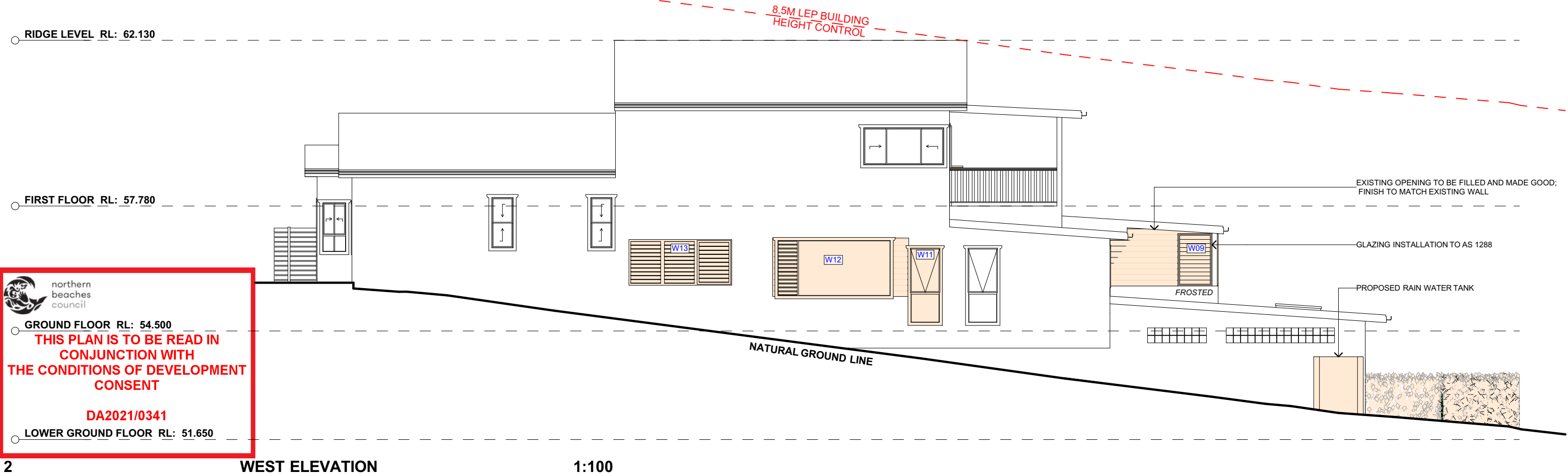
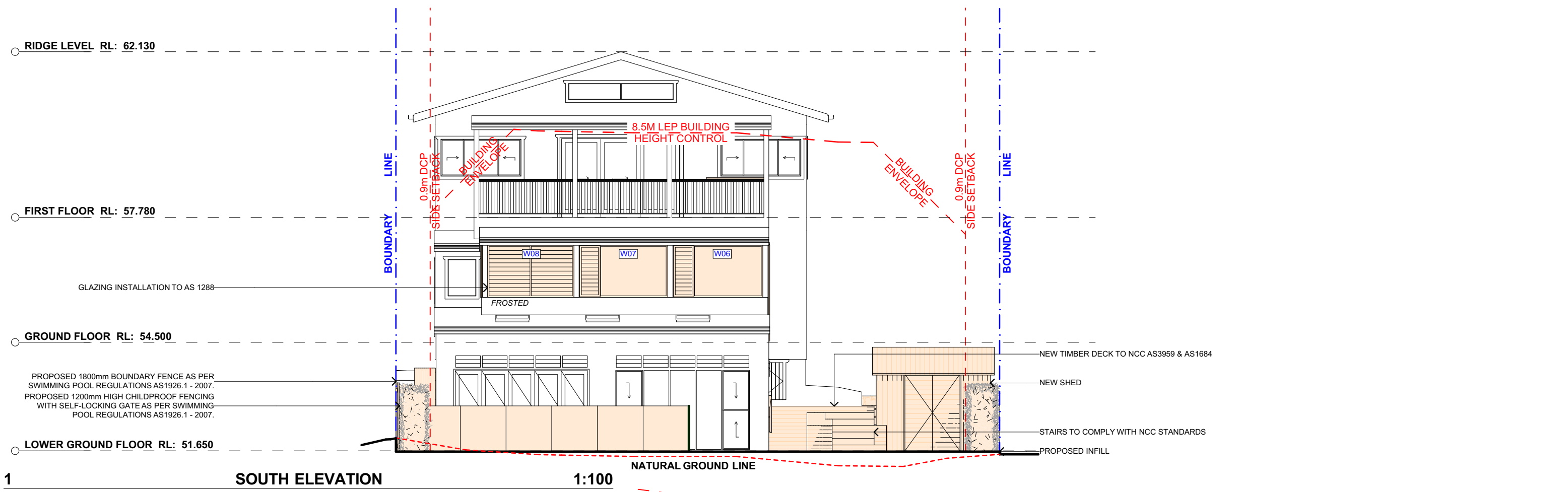
PROJECT ADDRESS
205 HEADLAND ROAD
NORTH CURL CURL,
NSW, 2099

DRAWING NO.
DA11

DATE
Wednesday, 26 May
2021

DRAWING NAME
NORTH / EAST ELEVATION

SCALE
1:100 @A3



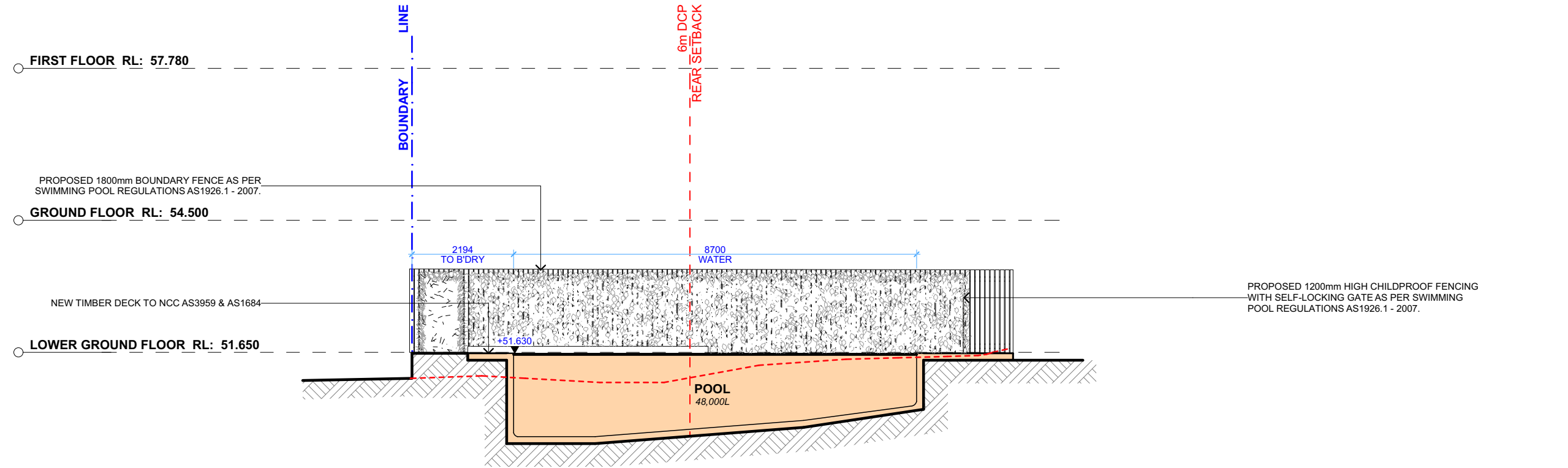
 northern beaches council

GROUND FLOOR RL: 54.500

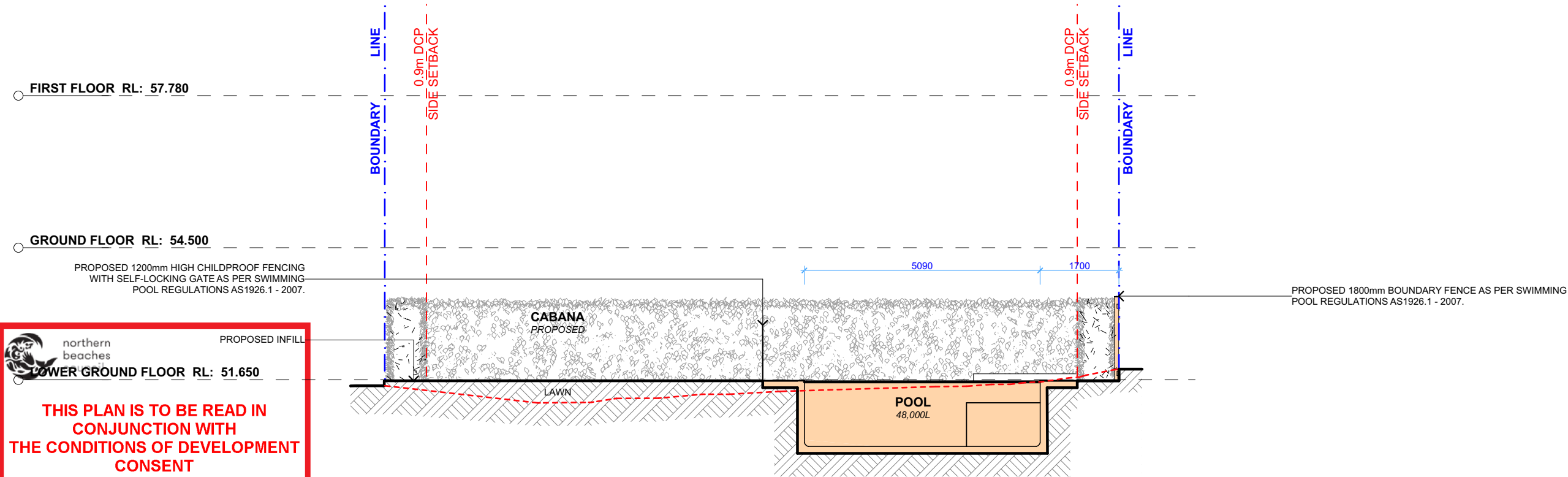
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LOWER GROUND FLOOR RL: 51.650



1 POOL LONG SECTION 1:100



2 POOL CROSS SECTION 1:100



northern
beaches

PROPOSED INFILL

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THE CONDITIONS OF DEVELOPMENT
CONSENT

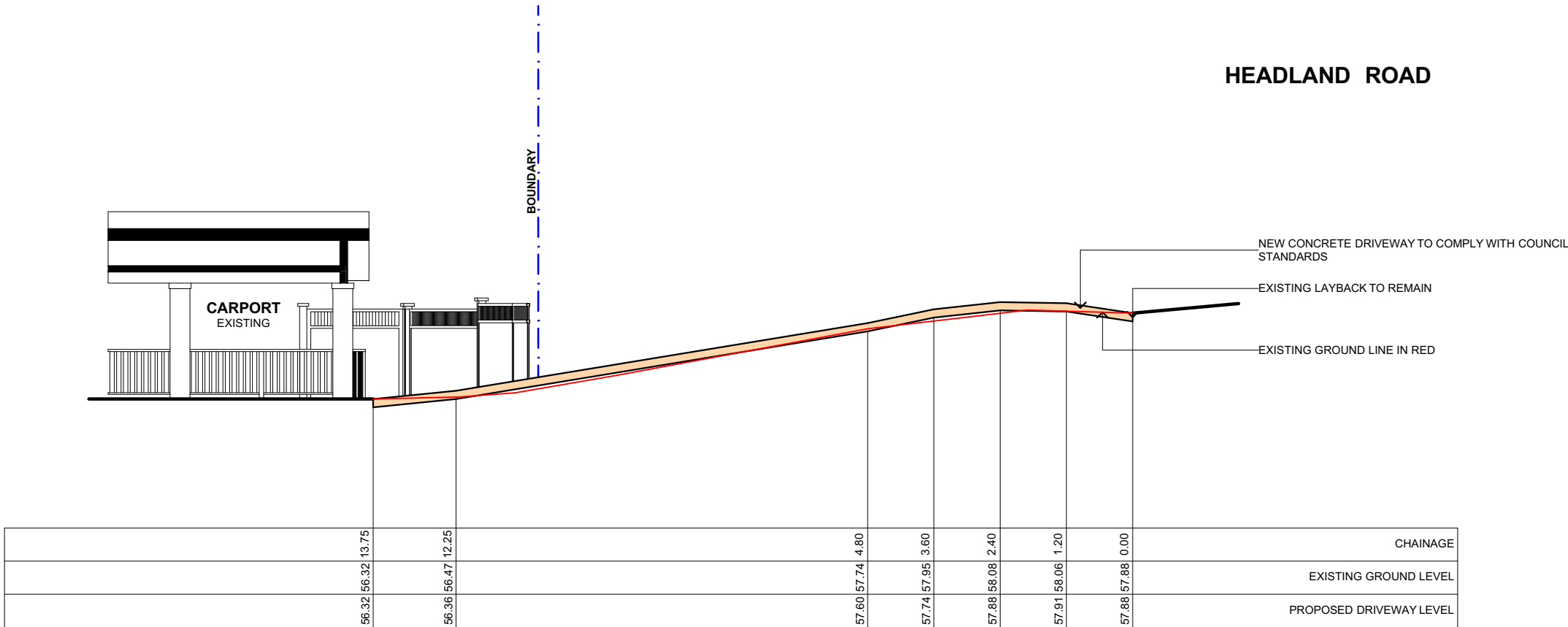
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beaches
council

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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

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The diagram illustrates a long section of a driveway. On the left, an existing carport is shown. A vertical dashed blue line marks the boundary. The driveway slopes upwards from left to right, meeting Headland Road. The existing ground line is shown in red, and the proposed driveway level is shown in black. A table at the bottom provides elevation data for the existing ground and proposed driveway levels at various chainage points.

CHAINAGE	EXISTING GROUND LEVEL	PROPOSED DRIVEWAY LEVEL
56.32	56.32	56.32
56.47	56.47	56.47
57.60	57.74	57.60
57.74	57.95	57.74
57.88	58.08	57.88
57.91	58.06	57.91
57.88	57.88	57.88

DRIVEWAY LONG SECTION

1:100



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LEGEND

CLIENT

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205 HEADLAND ROAD
NORTH CURL CURL,
NSW, 2099

DRAWING NO.

DA21

DATE

Wednesday, 26 May
2021

DRAWING NAME

DRIVEWAY LONG SECTION

SCALE

1:100 @A3