



Energy@greenchoiceconsulting.com.au
1300 864 944

Energy Efficiency Report

Address:

60 Hudson Place, Clareville, NSW, 2107

Building Classification:

Class 1

Commissioned By:

Brook Lane

GC Consulting Job Number:

ER1-T1752

Client Job Number:

2130

Compliance achieved?

Yes

Date of Report:

24/07/2024



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Home Performance

Target

Heating (MJ/m ²)	40
Cooling (MJ/m ²)	26
Total Energy (MJ/m ²)	-
NatHERS Climate Zone:	56

Proposed

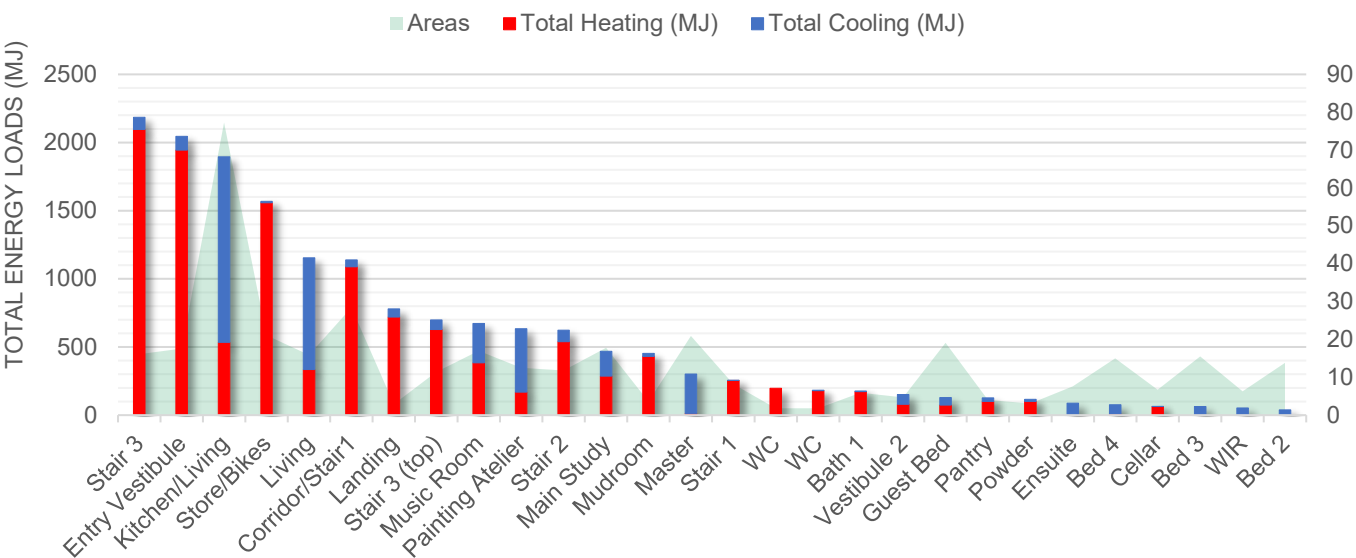
Heating (MJ/m ²)	39.9
Cooling (MJ/m ²)	14.6
Total Energy (MJ/m ²)	54.5

5.8 Stars

Compliance is achieved when the following conditions are met:

1. The proposed heating load must be lower than the target heating load.
2. The proposed cooling load must be lower than the target cooling load.

ZONED ENERGY LOAD DISTRIBUTION TOTALS (MJ)



Building Specifications

External Wall Construction	Insulation	Notes
Concrete Blockwork	None	External Retaining
Reverse Brick Veneer	R2.5 Insulation	L'dry & WC in the Ground
60 Hudson Walls	140mm concrete + 25mm Foilboard	external walls; as per drawings
		Living; as per drawings

Internal Wall Construction	Insulation	Notes
Single Brick	None	As per drawings
Concrete Blockwork	None	As per drawings
Double Brick	None	Some of the Ground internal walls

Floor Construction Type/s	Insulation	Notes
Concrete Slab on Ground	50mm XPS Board	As per drawings
Suspended Concrete	50mm XPS Board	To all floors above outdoor areas
Floor coverings as per drawings/client notes (NatHERS Defaults modelled if not specified)		

Ceiling Construction Type	Insulation	Notes
Plasterboard	R6.0 Insulation	Throughout (excl. Garage)

Roof Construction Type	Insulation	Notes	Colour
Metal	None	As per drawings	Medium
Green Roof Slab (100mm substrate)	None	As per drawings	Not nominated
No additional notes			

Glazing Supplier					
Not Nominated (Software Default Codes)					

Window Type	Material	U-Value	SHGC	Glass	Notes
Casement Windows	Aluminium	6.70	0.57	Single Glazed	L'dry & Mudroom
Fixed Windows	Aluminium	6.70	0.70	Single Glazed	ENS, Pantry
Double-Hung Windows	Aluminium	6.70	0.70	Single Glazed	WIR
Sliding Windows	Aluminium	6.70	0.70	Single Glazed	Bath 2
Awning Windows	Aluminium	4.50	0.50	Double Glazed	Bed 2 & Bed 3
Sliding Windows	Aluminium	4.50	0.61	Double Glazed	Bed 2 & Bed 3
Fixed Windows	Aluminium	4.50	0.61	Double Glazed	Bed 3
Sliding Doors	Aluminium	3.10	0.49	DG + Low-E	Painting Atelier, Living, Kitchen/Living/Dining
Sliding Windows	Aluminium	3.10	0.49	DG + Low-E	Living, Main Study, Master, Guest Bed, Bed 4, Music Room & Kitchen/Living/Dining
Fixed Windows	Aluminium	3.10	0.49	DG + Low-E	Master, Stair 3, Entry Vestibule, Stair 3 (top floor), Bed 4, Landing, Music Room & Kitchen/Living/Dining

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Double-Hung Windows	Aluminium	3.10	0.49	DG + Low-E	Music Room & Kitchen
Awning Windows	Aluminium	3.10	0.39	DG + Low-E	Main Study
Casement Windows	Aluminium	3.10	0.39	DG + Low-E	Corridor/Stair 1, Stair 3, Guest Bed, Landing, Stair 2, Vestibule 2 & Kitchen/Living/Dining

If the window type is default A the values apply to the following window/door types: Awning, Bi-Fold, Casement, hinged, French and Tilt’n’turn windows.

If the window type is default B the values apply to the following window/door types: Fixed, Double-Hung, Louvre, Sliding, and stacker.

A 5% tolerance is allowed to the nominated SHGC values. The U-Value must be the same or lower than the nominated values.

Your NatHERS Certificate may show codes for other suppliers. In some instances, suppliers do not have all their windows available in the database.

Please contact us if your supplier does not meet the values noted above.



Declaration of Compliance

I certify that the details provided within this energy efficiency report are true, correct, and reflective of the plans and specifications of this dwelling. I certify that I am a specialist in the relevant discipline and compliance has been demonstrated with the requirements of the National Construction Code (NCC) as outlined in this report.

Name of assessor: Albert Burton
Qualification: CPP41212 Certificate IV in NatHERS Assessment
Accreditation number: DMN/21/2045
Signature: 
Company Name: Green Choice Consulting Pty Ltd (ABN 63 658 893 415)

Green Choice Consulting Pty Ltd (ACN 658 893 415) holds no responsibility if the project is not constructed in accordance with the requirements of the current National Construction Code (NCC) or and/or the requirements detailed in this report. Any changes to the design elements of the building may void this assessment and require the project to be recertified to confirm compliance.

Provisions for this assessment

This assessment demonstrates compliance Part 2.6.1 & Part 2.6.2 of the NCC. Calculations have been done using FirstRate5 and the Chenath Engine (v3.13).

Insulation to be installed as per NCC 3.12.1.1

Construction elements to be sealed as per NCC 3.12.3

Hot water systems must be installed as per NCC 3.12.5.

All metal roof framing must have a thermal break, consisting of a material with an R-Value of greater than or equal to 0.2, installed between the metal sheet roofing and its supporting metal purlins, metal rafters or metal battens.

All metal wall framing must have a thermal break, consisting of a material with an R-Value greater than or equal to 0.2, installed between the external cladding and the metal frame.

QLD only provisions (to apply if this project is in QLD)

This report satisfies performance requirement P2.6.1 of the BCA 2020 (Volume 2) as per Part 1 in the QLD Development Code MP4.1 "Sustainable Buildings".

Artificial lighting must comply with performance requirement P2.6.2(a) of BCA 2010 (Volume 2)

Hot water must be supplied by a hot water system.

Shower roses and all tapware must have a minimum 3-star WELS rating.

Toilet cisterns must have a dual flush function, minimum 4-star WELS rating and be compatible with the size of the toilet bowl to allow for proper functioning of the toilet.

WA only provisions (to apply if this project is in WA)

All tap fittings other than bath outlets and garden taps must be a minimum of 4 stars WELS rated.

All showerheads must be a minimum of 3 stars WELS rated.

All sanitary flushing systems must be a minimum of 4 stars WELS rated dual flush.

An outdoor private swimming pool or spa associated with a Class 1 building must be supplied with a cover, blanket or the like that is designed to reduce water evaporation and is accredited under the Smart Approved Watermark Scheme governed by the Australian Water Association, the Irrigation Association of Australia, the Nursery and Garden Industry Australia and the Water Services Association of Australia.

All internal heated water outlets (such as taps, showers and washing machine water supply fittings) must be connected to a heated water system or a re-circulating heated water system with pipes installed and insulated in accordance with AS/NZS 3500: Plumbing and Drainage, Part 4 Heated Water Services. The pipe from the heated water system or re-circulating heated water system to the furthest heated water outlet must not be more than 20 m in length or 2 liters of internal volume.

NSW only provisions (to apply if this project is in NSW)

All requirements in this report are in accordance with the BASIX requirements.

All insulation must be installed as per NSW P2.6.1(a)

Building must be sealed as per NSW P2.6.1(b)

Domestic services must be selected and have features as per NSW P2.6.2.

All buildings must comply with the BCA provisions as per NSW 3.12.1.1.

The building must be sealed as per NSW Part 3.12.3.

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Nationwide House Energy Rating Scheme

NatHERS Certificate No. BFIGQAULGO-03

Generated on 24 Jul 2024 using FirstRate5: 5.3.2b (3.21)

Property

Address 60 Hudson Parade, Clareville, NSW, 2107
Lot/DP -/
NCC Class* Class 1a
Type New Home

Plans

Main plan 2130/28.08.2023
Prepared by Bennett Murada Architects

Construction and environment

Assessed floor area (m²)*	Exposure type
Conditioned* 364.4	exposed
Unconditioned* 65	NatHERS climate zone
Total 429.4	56 Mascot AMO
Garage 49.2	



Accredited assessor

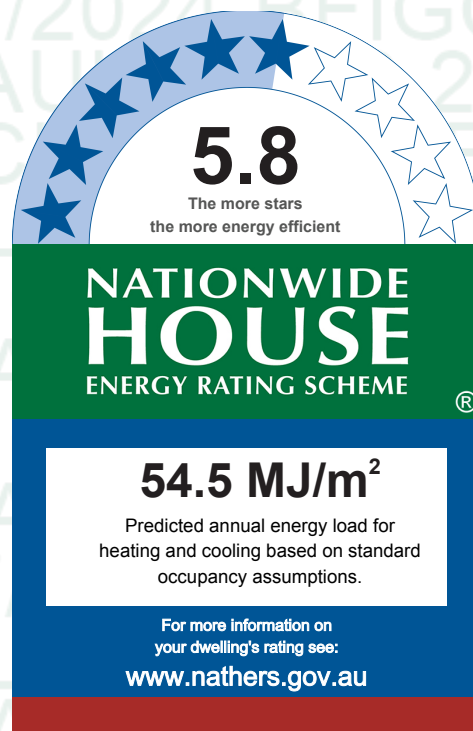
Name Albert Burton
Business name Green Choice Consulting
Email Albert@greenchoiceconsulting.com.au
Phone 0452191324
Accreditation No. DMN/21/2045
Assessor Accrediting Organisation Design Matters National
Declaration of interest Declaration completed: no conflicts

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.



Thermal performance

Heating	Cooling
39.9	14.6
MJ/m²	MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCodeLanding?PublicId=BFIGQAULGO-03> When using either link, ensure you are visiting www.FR5.com.au.





Certificate Check

Ensure the dwelling is designed and then built as per the NatHERS Certificate. While you need to check the accuracy of the whole Certificate, the following spot check covers some important items impacting the dwelling’s rating.

Genuine certificate

Does this Certificate match the one available at the web address or QR code in the verification box on the front page?
Does the set of NatHERS-stamped plans for the dwelling have a Certificate number on the stamp that matches this Certificate?

Ceiling penetrations*

Does the ‘number’ and ‘type’ of ceiling penetrations (e.g. downlights, exhaust fans, etc) shown on the stamped plans or installed, match what is shown in this Certificate?

Windows

Does the installed window meet the substitution tolerances (SHGC and U-value) and window type, of the window shown on this Certificate? Substituted values must be based on the Australian Fenestration Rating Council (AFRC) protocol.

Apartment entrance doors

Does the ‘External Door Schedule’ show apartment entrance doors? Please note that an “external door” between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

Exposure*

Has the appropriate exposure level (terrain) been applied? For example, it is unlikely that a ground-floor apartment is “exposed” or a top floor high-rise apartment is “protected”.

Provisional* values

Have provisional values been used in the assessment and, if so, noted in “additional notes” below?

Additional Notes

Window and glazed door *type and performance*

Default* windows

Window ID	Window description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
ATB-004-03 B	Al Thermally Broken B DG Air Fill High Solar Gain low-E -Clear	3.1	0.49	0.47	0.51
ALM-001-01 A	Aluminium A SG Clear	6.7	0.57	0.54	0.6
ATB-003-03 B	Al Thermally Broken A DG Air Fill High Solar Gain low-E -Clear	3.1	0.39	0.37	0.41
ALM-002-01 A	Aluminium B SG Clear	6.7	0.7	0.66	0.74
ALM-005-01 A	Aluminium A DG Argon Fill Clear-Clear	4.5	0.5	0.48	0.53
ALM-006-01 A	Aluminium B DG Argon Fill Clear-Clear	4.5	0.61	0.58	0.64

Custom* windows

Window ID	Window description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Window and glazed door *Schedule*

* Refer to glossary.

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
Painting Atelier	ATB-004-03 B	wlg2 DOOR	2400	3000	sliding	45.0	N	No
Painting Atelier	ATB-004-03 B	wlg1 DOOR	2400	2400	sliding	45.0	W	No
Laundry	ALM-001-01 A	wlg6	2400	1620	other	90.0	N	No
Living	ATB-004-03 B	wlg5	2400	2400	sliding	45.0	E	No
Living	ATB-004-03 B	wlg4	2400	3000	sliding	45.0	N	No
Living	ATB-004-03 B	wlg3 DOOR	2400	5200	sliding	60.0	W	No
Main Study	ATB-004-03 B	Opening 60	2100	3600	sliding	45.0	N	No
Main Study	ATB-003-03 B	w1.1	2100	2800	awning	45.0	W	No
Ensuite	ALM-002-01 A	Opening 61	2100	800	fixed	0.0	N	No
Master	ATB-004-03 B	w1.5	2530	740	fixed	0.0	E	No
Master	ATB-004-03 B	w1.4	2100	3600	fixed	0.0	N	No
Master	ATB-004-03 B	w1.3	2100	5600	sliding	30.0	W	No
WIR	ALM-002-01 A	w1.6	1500	900	double_hung	45.0	NNE	No
Bed 2	ALM-005-01 A	w1.8a	1500	900	awning	90.0	N	No
Bed 2	ALM-006-01 A	w1.7	1500	3197	sliding	30.0	N	No
Bed 3	ALM-005-01 A	w1.10	1500	1416	awning	0.0	E	No
Bed 3	ALM-006-01 A	w1.9 fixed	1500	1000	fixed	0.0	N	No
Bed 3	ALM-006-01 A	w1.9	1500	2800	sliding	30.0	N	No
Bed 3	ALM-005-01 A	w1.8b	1500	900	awning	90.0	N	No
Stair 3	ATB-004-03 B	w3.2	2530	1540	fixed	0.0	WNW	No
Stair 3	ATB-003-03 B	w3.6	2530	1082	casement	90.0	WNW	No
Corridor/Stair1	ATB-003-03 B	Opening 122	1400	690	casement	90.0	W	No
Corridor/Stair1	ATB-003-03 B	Opening 120	1400	790	casement	90.0	S	No
Corridor/Stair1	ATB-003-03 B	Opening 121	1400	790	casement	90.0	S	No
Corridor/Stair1	ATB-003-03 B	Opening 123	1400	780	casement	90.0	S	No
Corridor/Stair1	ATB-003-03 B	Opening 124	1400	780	casement	90.0	S	No
Kitchen/Living	ATB-004-03 B	w2.2	1800	3900	fixed	0.0	W	No
Kitchen/Living	ATB-004-03 B	w2.1	1800	1100	fixed	0.0	S	No
Kitchen/Living	ATB-003-03 B	w2.18	1800	670	casement	10.0	WNW	No
Kitchen/Living	ATB-003-03 B	w2.15	1800	785	casement	10.0	S	No
Kitchen/Living	ATB-003-03 B	Opening 129	1800	764	casement	10.0	S	No
Kitchen/Living	ATB-004-03 B	w2.10	1200	800	fixed	0.0	E	No
Kitchen/Living	ATB-004-03 B	w2.8	1200	4200	sliding	30.0	N	No
Kitchen/Living	ATB-004-03 B	w2.7	1200	800	fixed	0.0	W	No
Kitchen/Living	ATB-004-03 B	w2.6	1200	385	double_hung	45.0	W	No
Kitchen/Living	ATB-004-03 B	w2.4 slid door	2300	4800	sliding	30.0	N	No
Kitchen/Living	ATB-004-03 B	w2.5	1200	500	fixed	0.0	N	No
Kitchen/Living	ATB-004-03 B	w2.3	1800	4800	sliding	30.0	N	No
Pantry	ALM-002-01 A	w2.11	1400	400	fixed	0.0	N	No



Music Room	ATB-004-03 B	w2.13	1700	1934	double_hung	22.0	E	No
Music Room	ATB-004-03 B	w2.12b	1200	2788	sliding	30.0	N	No
Music Room	ATB-004-03 B	w2.12c	1200	1100	fixed	0.0	N	No
Music Room	ATB-004-03 B	Opening 110	1800	550	fixed	0.0	N	No
Music Room	ATB-004-03 B	w2.9	1200	800	fixed	0.0	W	No
Vestibule 2	ATB-003-03 B	w2.17	1800	785	casement	10.0	S	No
Stair 2	ATB-003-03 B	w2.16	1800	785	casement	10.0	S	No
Bed 4	ATB-004-03 B	w4.5 DOOR	2700	2500	sliding	45.0	N	No
Bed 4	ATB-004-03 B	w4.4	1600	1100	fixed	0.0	N	No
Bed 4	ATB-004-03 B	w4.3	1600	1100	fixed	0.0	W	No
Entry Vestibule	ATB-004-03 B	Opening 130	2700	1100	fixed	0.0	S	No
Bath 2	ALM-002-01 A	w4.7	1450	1400	sliding	45.0	NNE	No
Mudroom	ALM-001-01 A	w4.8	1450	900	casement	90.0	N	No
Guest Bed	ATB-004-03 B	w4.6	1600	2900	sliding	10.0	N	No
Guest Bed	ATB-003-03 B	w4.10	2700	1100	casement	100.0	W	No
Landing	ATB-004-03 B	w2.28	1700	550	fixed	0.0	E	No
Landing	ATB-003-03 B	w2.29	2550	920	casement	90.0	N	No
Stair 3 (top)	ATB-004-03 B	w4.1	1500	550	fixed	0.0	W	No
Stair 3 (top)	ATB-004-03 B	W4.2	2700	1100	fixed	0.0	N	No

Roof window type and performance value

Default* roof windows

Window ID	Window description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Custom* roof windows

Window ID	Window description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Roof window schedule

Location	Window ID	Window no.	Opening %	Area (m²)	Orientation	Outdoor shade	Indoor shade
No Data Available							

Skylight type and performance

Skylight ID	Skylight description
GEN-04-004a	DC: Double Clear

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m²)	Orient- ation	Outdoor shade	Diffuser	Skylight shaft reflectance
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* Refer to glossary.



Entry Vestibule	GEN-04-004a	Element 1	980	1.1	N	None	No	0.75
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External door *schedule*

Location	Height (mm)	Width (mm)	Opening %	Orientation
Store/Bikes	2040	1382	100.0	N
Garage	2530	7470	100.0	N
Stair 3	2040	1300	100.0	E
Entry Vestibule	2700	1300	100.0	E
Landing	2340	1300	100.0	E

External wall *type*

Wall ID	Wall type	Solar absorptance	Wall shade (colour)	Bulk insulation (R-value)	Reflective wall wrap*
1	60HUD - 140mm Concrete + 25mm Foilboard	0.5	Medium	Polystyrene expanded (k = 0.039) (R0.6)	Yes
2	RBV - Reverse Brick Veneer - R2.5 Batts	0.5	Medium	Glass fibre batt: R2.5 (R2.5)	No
3	FR5 - Internal Plasterboard Stud Wall	0.5	Medium		No

External wall *schedule*

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
Painting Atelier	1	2625	3219	S	0	No
Painting Atelier	1	2625	441	E	0	Yes
Painting Atelier	1	2625	3219	N	472	Yes
Painting Atelier	1	2625	3889	W	387	No
Cellar	1	2625	1945	S	0	Yes
Cellar	1	2625	497	E	0	Yes
Cellar	1	2625	1046	N	471	Yes
Stair 1	1	2625	4451	S	0	Yes
Laundry	2	2625	2228	E	0	Yes
Laundry	2	2625	3439	N	966	Yes
Living	1	2625	4280	E	0	Yes
Living	1	2625	3043	N	1044	Yes
Living	1	2625	5234	W	416	Yes
WC	1	2625	1056	S	0	Yes
WC	2	2625	1747	E	0	Yes
Main Study	1	2730	3507	N	889	Yes
Main Study	1	2730	2726	W	1145	Yes
Main Study	1	2730	268	S	0	Yes
Main Study	1	2730	1569	W	1412	Yes
Main Study	1	2730	3247	S	0	Yes
Main Study	1	2730	499	E	0	Yes

* Refer to glossary.



Main Study	1	2730	2158	S	0	Yes
Ensuite	1	2730	370	W	0	Yes
Ensuite	1	2730	1163	N	0	Yes
Master	1	2730	4506	E	1087	Yes
Master	1	2730	3257	N	1046	Yes
Master	1	2730	5687	W	1213	Yes
Master	3	2730	244	S	0	Yes
WIR	1	2730	1680	NNE	939	Yes
Bed 2	1	2730	1069	N	851	Yes
Bed 2	1	2730	896	E	1889	Yes
Bed 2	1	2730	3283	N	870	Yes
WC	1	600	1116	E	0	Yes
WC	1	800	1116	E	0	No
Bed 3	1	800	411	E	0	No
Bed 3	1	600	411	E	0	Yes
Bed 3	1	2730	3405	E	896	Yes
Bed 3	1	2730	3669	N	845	Yes
Bed 3	1	2730	889	W	1879	Yes
Bed 3	1	2730	1150	N	861	Yes
Store/Bikes	1	2730	2190	SSW	0	No
Store/Bikes	1	2730	1623	N	0	Yes
Store/Bikes	1	2730	160	E	0	Yes
Garage	1	2730	8511	S	0	No
Garage	1	2730	5810	E	0	No
Garage	1	2730	8449	N	1528	Yes
Stair 3	1	2730	1467	E	0	Yes
Stair 3	1	2400	3850	N	0	Yes
Stair 3	1	2730	4780	WNW	765	Yes
Stair 3	1	2730	2755	WNW	0	Yes
Stair 3	1	2730	3173	S	0	No
Corridor/Stair1	1	2730	1141	W	0	Yes
Corridor/Stair1	1	2730	13139	S	0	No
Corridor/Stair1	1	2730	1379	E	0	Yes
Kitchen/Living	1	2410	3701	W	1541	No
Kitchen/Living	1	2410	1299	S	1854	Yes
Kitchen/Living	1	2410	1414	W	2840	Yes
Kitchen/Living	1	2410	3244	S	441	No
Kitchen/Living	1	2410	465	E	0	Yes
Kitchen/Living	1	2410	2472	SSW	0	Yes
Kitchen/Living	1	2410	1085	WNW	0	Yes
Kitchen/Living	1	2410	6424	S	0	No

Kitchen/Living	1	2410	1499	E	1899	Yes
Kitchen/Living	1	2410	3884	N	95	Yes
Kitchen/Living	1	2410	1405	W	11775	Yes
Kitchen/Living	1	2410	10234	N	1509	Yes
Pantry	1	2410	1422	N	1594	Yes
Music Room	1	2410	2055	E	1303	Yes
Music Room	1	2410	714	S	1746	Yes
Music Room	1	2410	2027	E	593	No
Music Room	1	2410	4390	N	80	Yes
Music Room	1	2410	1512	W	1879	Yes
Music Room	1	2410	603	N	1592	Yes
Vestibule 2	1	2410	2741	S	0	No
Stair 2	1	2410	3677	S	0	No
Bed 4	1	2700	3754	N	2473	Yes
Bed 4	1	2700	1225	W	2076	Yes
Entry Vestibule	1	2700	7180	S	0	No
Entry Vestibule	1	2700	1521	E	1750	Yes
Bath 2	1	2700	2484	E	288	Yes
Bath 2	1	2700	1777	NNE	94	Yes
Mudroom	1	2700	2157	E	952	No
Mudroom	1	2700	1687	N	458	Yes
Mudroom	1	2700	134	S	0	Yes
Mudroom	1	2700	663	SSW	2288	Yes
Guest Bed	1	2700	780	E	319	Yes
Guest Bed	1	2700	4283	N	901	Yes
Guest Bed	1	2700	1572	W	5937	Yes
Landing	1	3380	3021	E	0	Yes
Landing	1	3380	971	N	4261	Yes
Landing	1	3380	971	S	0	No
Stair 3 (top)	1	2700	4455	W	731	Yes
Stair 3 (top)	1	2700	5089	S	0	No
Stair 3 (top)	1	2700	1278	N	0	Yes

Internal wall type

Wall ID	Wall type	Area (m²)	Bulk insulation
1	B - Double Brick	23.6	
2	C - Concrete Blockwork 400mm	7.7	
3	B - Internal Single Brick	295.6	
4	60HUD - 140mm Concrete + 25mm Foilboard	6.5	Polystyrene expanded (k = 0.039) (R0.6)

Floor type

Location	Construction	Area (m ²)	Sub-floor ventilation	Added insulation (R-value)	Covering
Painting Atelier	CSOG - CSOG: Slab on Ground with 50mm XPS Board	12.5	Enclosed	R1.5	none
Cellar	CSOG - CSOG: Slab on Ground with 50mm XPS Board	6.7	Enclosed	R1.5	Timber
Stair 1	CSOG - CSOG: Slab on Ground with 50mm XPS Board	8.2	Enclosed	R1.5	Timber
Laundry	CSOG - CSOG: Slab on Ground with 50mm XPS Board	9.3	Enclosed	R1.5	Tiles
Living	CSOG - CSOG: Slab on Ground with 50mm XPS Board	15.9	Enclosed	R1.5	Timber
WC	CSOG - CSOG: Slab on Ground with 50mm XPS Board	1.8	Enclosed	R1.5	Tiles
Main Study	SuspConc - 200mm concrete slab + 50mm XPS	1.9	Elevated	R1.5	Timber
Main Study	FR5 - 200mm concrete slab	15.9	Enclosed	R0.0	Timber
Ensuite	SuspConc - 200mm concrete slab + 50mm XPS	0.4	Elevated	R1.5	Tiles
Ensuite	FR5 - 200mm concrete slab	7.1	Enclosed	R0.0	Tiles
Master	SuspConc - 200mm concrete slab + 50mm XPS	4.2	Elevated	R1.5	Timber
Master	FR5 - 200mm concrete slab	12.8	Enclosed	R0.0	Timber
Master	FR5 - 200mm concrete slab	3.7	Enclosed	R0.0	Timber
Master	SuspConc - 200mm concrete slab + 50mm XPS	0.1	Elevated	R1.5	Timber
WIR	SuspConc - 200mm concrete slab + 50mm XPS	0.6	Elevated	R1.5	Timber
WIR	SuspConc - 200mm concrete slab + 50mm XPS	0.6	Elevated	R1.5	Timber
WIR	FR5 - 200mm concrete slab	5.1	Enclosed	R0.0	Timber
Bath 1	CSOG - CSOG: Slab on Ground with 50mm XPS Board	5.9	Enclosed	R1.5	Tiles
Bed 2	SuspConc - 200mm concrete slab + 50mm XPS	2.4	Elevated	R1.5	Timber
Bed 2	FR5 - 200mm concrete slab	5.5	Enclosed Disconnected	R0.0	Timber
Bed 2	FR5 - 200mm concrete slab	2	Enclosed	R0.0	Timber
Bed 2	FR5 - 200mm concrete slab	3.8	Enclosed	R0.0	Timber
WC	CSOG - CSOG: Slab on Ground with 50mm XPS Board	2.7	Enclosed	R1.5	Tiles
Bed 3	CSOG - CSOG: Slab on Ground with 50mm XPS Board	15.5	Enclosed	R1.5	Timber
Store/Bikes	CSOG - CSOG: Slab on Ground with 50mm XPS Board	21.1	Enclosed	R1.5	none
Garage	CSOG - CSOG: Slab on Ground with 50mm XPS Board	8.1	Enclosed	R1.5	none
Garage	CSOG - CSOG: Slab on Ground with 50mm XPS Board	2.5	Enclosed	R1.5	none
Garage	CSOG - CSOG: Slab on Ground with 50mm XPS Board	38.5	Enclosed	R1.5	none
Stair 3	CSOG - CSOG: Slab on Ground with 50mm XPS Board	16.1	Enclosed	R1.5	Timber

Corridor/Stair1	CSOG - CSOG: Slab on Ground with 50mm XPS Board	20.6	Enclosed	R1.5	Timber
Corridor/Stair1	FR5 - 200mm concrete slab	7.8	Enclosed	R0.0	Timber
Kitchen/Living	SuspConc - 200mm concrete slab + 50mm XPS	2.1	Elevated	R1.5	Timber
Kitchen/Living	SuspConc - 200mm concrete slab + 50mm XPS	7.1	Elevated	R1.5	Timber
Kitchen/Living	FR5 - 200mm concrete slab	68.2	Enclosed	R0.0	Timber
Powder	FR5 - 200mm concrete slab	3.1	Enclosed	R0.0	Tiles
Pantry	FR5 - 200mm concrete slab	4	Enclosed	R0.0	Timber
Music Room	SuspConc - 200mm concrete slab + 50mm XPS	3	Elevated	R1.5	Timber
Music Room	FR5 - 200mm concrete slab	13.9	Enclosed	R0.0	Timber
Vestibule 2	FR5 - 200mm concrete slab	4.7	Enclosed	R0.0	Timber
Stair 2	FR5 - 200mm concrete slab	11.8	Enclosed	R0.0	Timber
Bed 4	FR5 - 200mm concrete slab	15	Enclosed	R0.0	Timber
Entry Vestibule	FR5 - 200mm concrete slab	0.9	Enclosed	R0.0	Timber
Entry Vestibule	FR5 - 200mm concrete slab	16.8	Enclosed	R0.0	Timber
Bath 2	SuspConc - 200mm concrete slab + 50mm XPS	0.5	Elevated	R1.5	Tiles
Bath 2	FR5 - 200mm concrete slab	6	Enclosed	R0.0	Tiles
Mudroom	FR5 - 200mm concrete slab	3.6	Enclosed	R0.0	Timber
Guest Bed	SuspConc - 200mm concrete slab + 50mm XPS	4.7	Elevated	R1.5	Timber
Guest Bed	FR5 - 200mm concrete slab	14.4	Enclosed	R0.0	Timber
Landing	SuspConc - 200mm concrete slab + 50mm XPS	2.9	Very open	R1.5	Timber
Stair 3 (top)	FR5 - 200mm concrete slab	11.4	Enclosed	R0.0	Timber

Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
Painting Atelier	FR5 - 200mm concrete slab	R0.0	No
Cellar	FR5 - 200mm concrete slab	R0.0	No
Stair 1	FR5 - 200mm concrete slab	R0.0	No
Laundry	FR5 - 200mm concrete slab	R0.0	No
Living	FR5 - 200mm concrete slab	R0.0	No
WC	FR5 - 200mm concrete slab	R0.0	No
Main Study	FR5 - 200mm concrete slab	R0.0	No
Main Study	FR5 - 200mm concrete slab	R0.0	No
Ensuite	FR5 - 200mm concrete slab	R0.0	No
Ensuite	FR5 - 200mm concrete slab	R0.0	No
Master	Plasterboard	R6.0	No
Master	Plasterboard	R6.0	No
Master	FR5 - 200mm concrete slab	R0.0	No
Master	FR5 - 200mm concrete slab	R0.0	No
WIR	Plasterboard	R6.0	No
WIR	FR5 - 200mm concrete slab	R0.0	No

WIR	FR5 - 200mm concrete slab	R0.0	No
Bath 1	FR5 - 200mm concrete slab	R0.0	No
Bed 2	FR5 - 200mm concrete slab	R0.0	No
Bed 2	FR5 - 200mm concrete slab	R0.0	No
Bed 2	FR5 - 200mm concrete slab	R0.0	No
Bed 2	FR5 - 200mm concrete slab	R0.0	No
WC	FR5 - 200mm concrete slab	R0.0	No
Bed 3	FR5 - 200mm concrete slab	R0.0	No
Store/Bikes	FR5 - 200mm concrete slab	R0.0	No
Garage	FR5 - 200mm concrete slab	R0.0	No
Garage	Plasterboard	R0.0	No
Garage	Plasterboard	R0.0	No
Garage	FR5 - 200mm concrete slab	R0.0	No
Stair 3	FR5 - 200mm concrete slab	R0.0	No
Stair 3	Plasterboard	R0.0	No
Corridor/Stair1	FR5 - 200mm concrete slab	R0.0	No
Corridor/Stair1	FR5 - 200mm concrete slab	R0.0	No
Kitchen/Living	Plasterboard	R6.0	No
Kitchen/Living	Plasterboard	R6.0	No
Kitchen/Living	Plasterboard	R6.0	No
Powder	Plasterboard	R6.0	No
Pantry	Plasterboard	R6.0	No
Music Room	Plasterboard	R6.0	No
Music Room	Plasterboard	R6.0	No
Vestibule 2	Plasterboard	R6.0	No
Stair 2	Plasterboard	R6.0	No
Bed 4	Plasterboard	R6.0	No
Entry Vestibule	Plasterboard	R6.0	No
Entry Vestibule	Plasterboard	R6.0	No
Bath 2	Plasterboard	R6.0	No
Bath 2	Plasterboard	R6.0	No
Mudroom	Plasterboard	R6.0	No
Guest Bed	Plasterboard	R6.0	No
Guest Bed	Plasterboard	R6.0	No
Landing	Plasterboard	R6.0	No
Stair 3 (top)	Plasterboard	R6.0	No

Ceiling penetrations*

Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
Ensuite	1	Exhaust Fans	250	Sealed
Bath 1	1	Exhaust Fans	250	Sealed
WC	1	Exhaust Fans	250	Sealed



Kitchen/Living	1	Exhaust Fans	250	Sealed
Powder	1	Exhaust Fans	250	Sealed
Bath 2	1	Exhaust Fans	250	Sealed

Ceiling fans

Location	Quantity	Diameter (mm)
No Data Available		

Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof shade
Framed:Flat - Flat Framed (Metal Deck)	0.0	0.5	Medium
GreenRoofExtensive:Slab - 100mm Substrate : 200mm:200mm Slab - 100mm Substrate	0.0	0.5	Medium
Slab:Slab - Suspended Slab : 200mm: 200mm Suspended Slab	0.0	0.5	Medium
Cont:Attic-Continuous	0.0	0.5	Medium

* Refer to glossary.



Explanatory Notes

About this report

A NatHERS rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermostat settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

Accredited assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

Australian Capital Territory (ACT) licensed assessors may only produce assessments for regulatory purposes using software for which they have a licence endorsement. Licence endorsements can be confirmed on the ACT licensing register

AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any ongoing training requirements.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content of each individual certificate is entered and created by the assessor to create a NatHERS Certificate. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

The predicted annual energy load in this NatHERS Certificate is an estimate based on an assessment of the building by the assessor. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way. Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

Glossary

Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rangehoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
Exposure category - exposed	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category - open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
Exposure category - suburban	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category - protected	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.

* Refer to glossary.

National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Opening Percentage	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
Roof window	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
Shading device	a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
Shading features	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
Solar heat gain coefficient (SHGC)	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
Skylight (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
U-value	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).

SCHEDULE OF KEY AMENDMENTS:

- 01

SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL SETBACK LOCATION
- 02

GALLERY LOCATION AND ROOF ORIENTATION
- 03

PAVILION ROOF FORM
- 04

DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
- 05

BIN STORE LOCATION
- 06

LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION
- 07

GENERAL DOOR & WINDOW RECONFIGURATIONS
- 08

POOL STORE AND PLANT ROOM
- 09

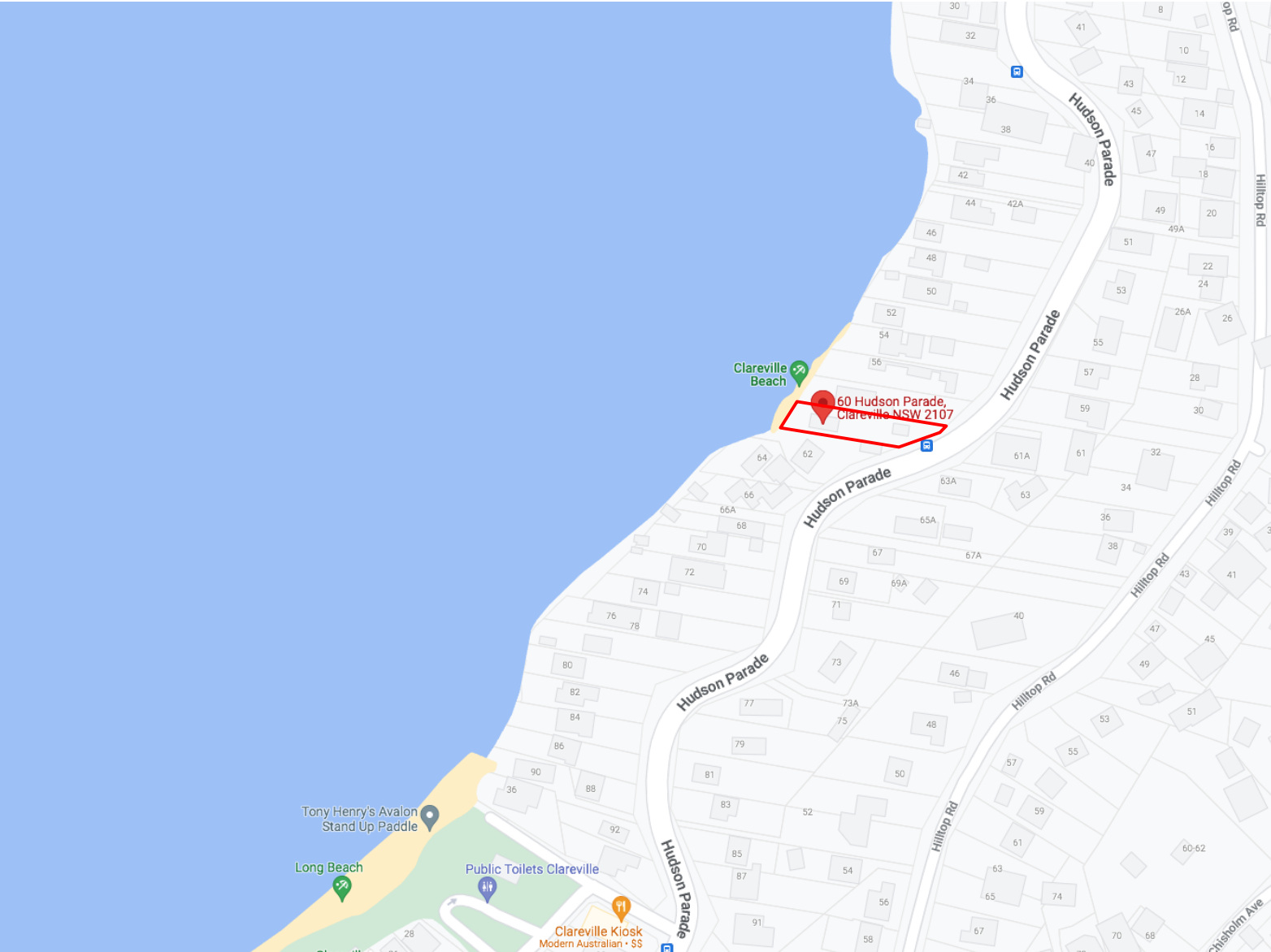
PAVILION GROUND FLOOR ARRANGEMENT & ENTRY RECONFIGURATION
- 10

LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
- 11

EXTENSION OF APPROVED TERRACE PRIVACY SCREEN & NEW BALUSTRADE
- 12

MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES
- 13

PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS



LOCATION MAP
NTS



LOCATION MAP
NTS

60 HUDSON PRD, AVALON BEACH, NSW 2170
ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ARCHITECTURAL DRAWING LIST	
DWG NO.	TITLE
DA_000	COVER SHEET
DA_001	BASIX COMMITMENTS
DA_002	SITE ANALYSIS PLAN
DA_003	SITE PLAN
DA_004	DEMOLITION PLANS _ LOWER GROUND + GROUND FLOOR
DA_005	DEMOLITION PLANS _ LEVEL 01 + ROOF
DA_100	PROPOSED LOWER GROUND FLOOR PLAN
DA_101	PROPOSED GROUND FLOOR PLAN
DA_102	PROPOSED FIRST FLOOR PLAN
DA_103	PROPOSED ROOF PLAN
DA_112	CUT AND FILL PLAN
DA_200	EAST + WEST ELEVATIONS
DA_201	NORTH + SOUTH ELEVATIONS
DA_210	LONGITUDINAL SECTION
DA_211	CROSS SECTIONS
DA_301	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_302	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_400	CALCULATIONS - LANDSCAPE AREAS
DA_500	SCHEDULE OF COLOURS AND MATERIALS

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	1/5/24	SC	STRUCTURAL ISSUE
C	23/7/2024	SC	ISSUED FOR \$4.55

NOTES

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LEGEND / KEY



Project:
**ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107**

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
COVER SHEET

Job Number:
2130

Scale:
NTS

Plot Date:
28/8/23

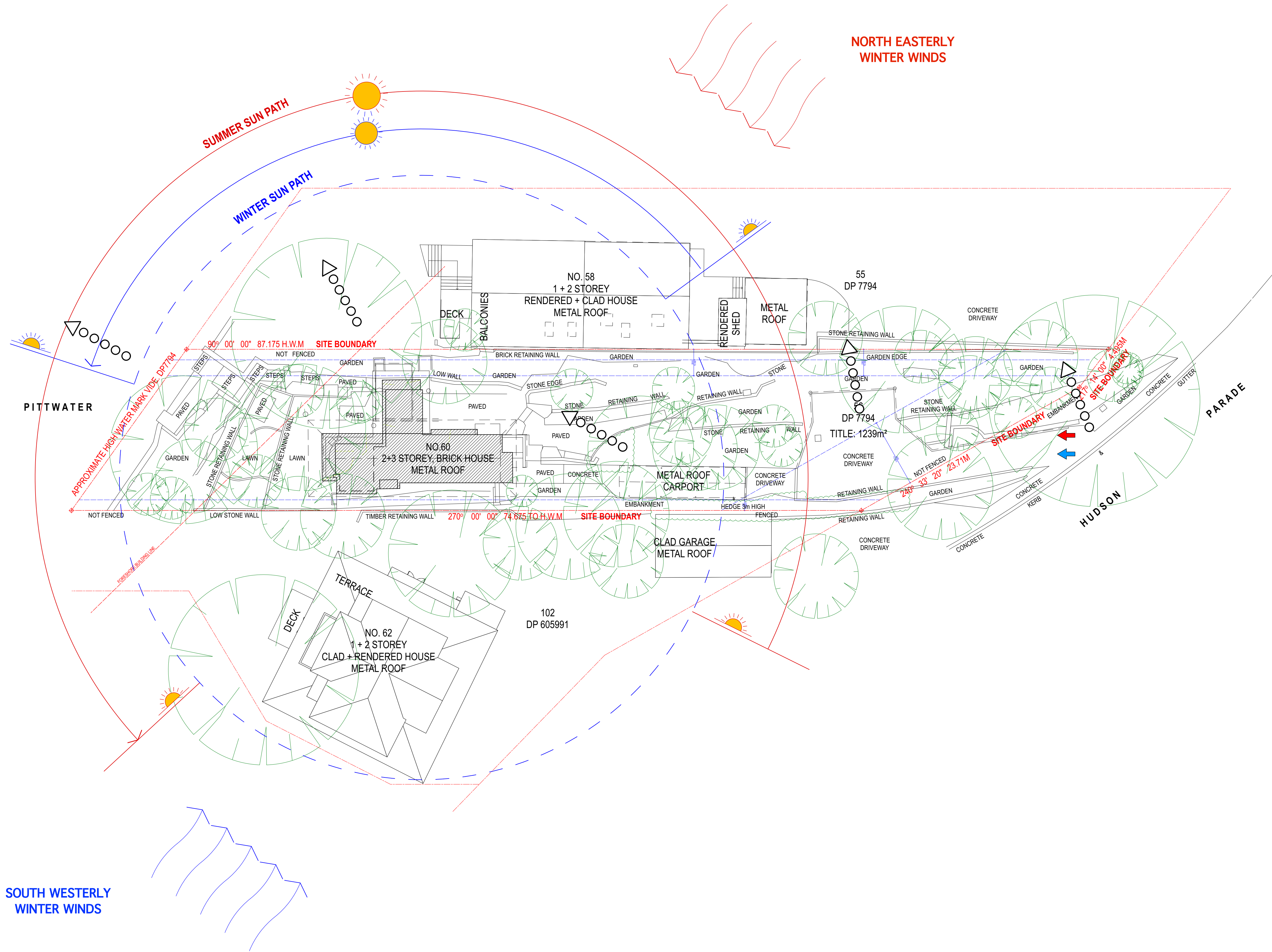
Drawing Status:
DA

Drawing No:
DA_000

Drawn By:
LR

Revision:
C

nominated architect: Dominic Bennett 7365 (NSW)



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY	
	EXISTING LANDSCAPED AREA
	EXISTING DEVELOPMENT
	BOUNDARY
	DRIVEWAY ACCESS
	PEDESTRIAN ACCESS
	VIEWS



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE ANALYSIS PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
28/8/23

Drawing Status:
DA

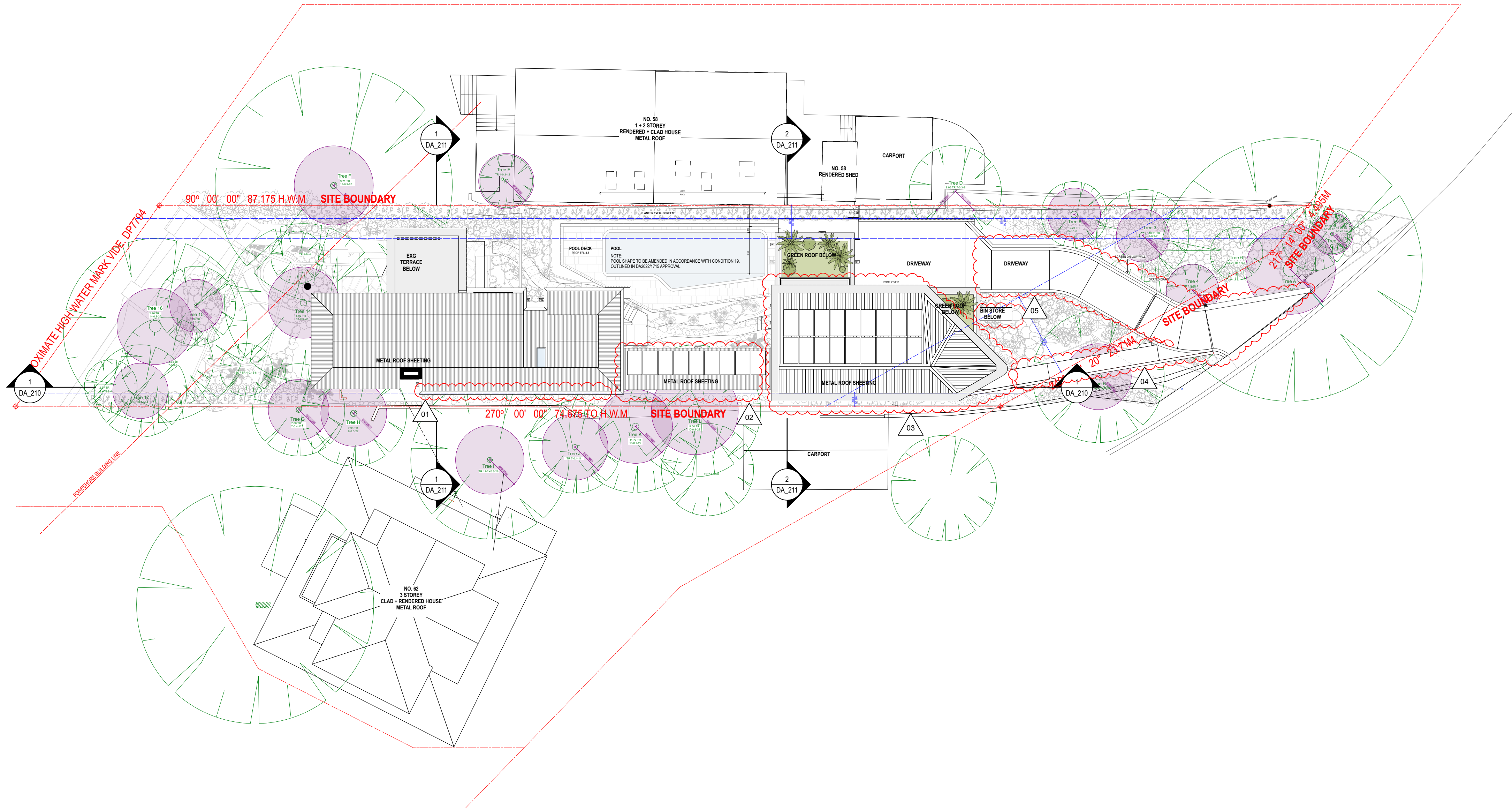
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Drawn By:
LR

Revision:
B

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
- 02 GALLERY LOCATION AND ROOF ORIENTATION
- 03 PAVILION ROOF FORM
- 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
- 05 BIN STORE LOCATION



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
C	7/5/24	SC	CONSULTANT ISSUE
D	13/5/24	SC	CONSULTANT ISSUE
E	23/7/2024	SC	ISSUED FOR \$4.55

- LEGEND / KEY**
- DEMOLISHED
- SETBACK
- DEMOLISHED TREE
- EXISTING TREE



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
28/8/23

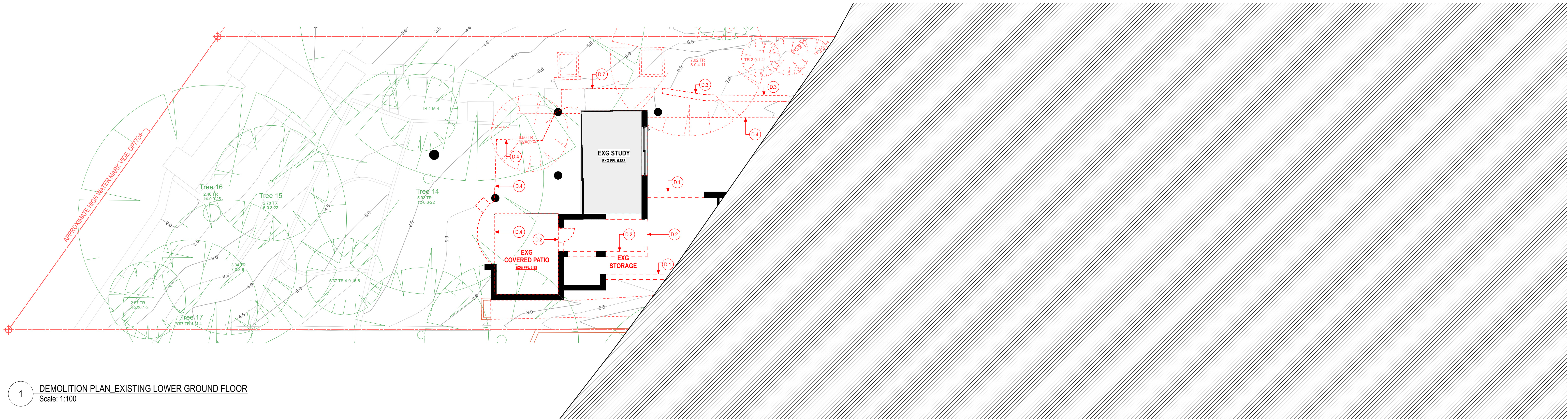
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Drawing No:
DA_003

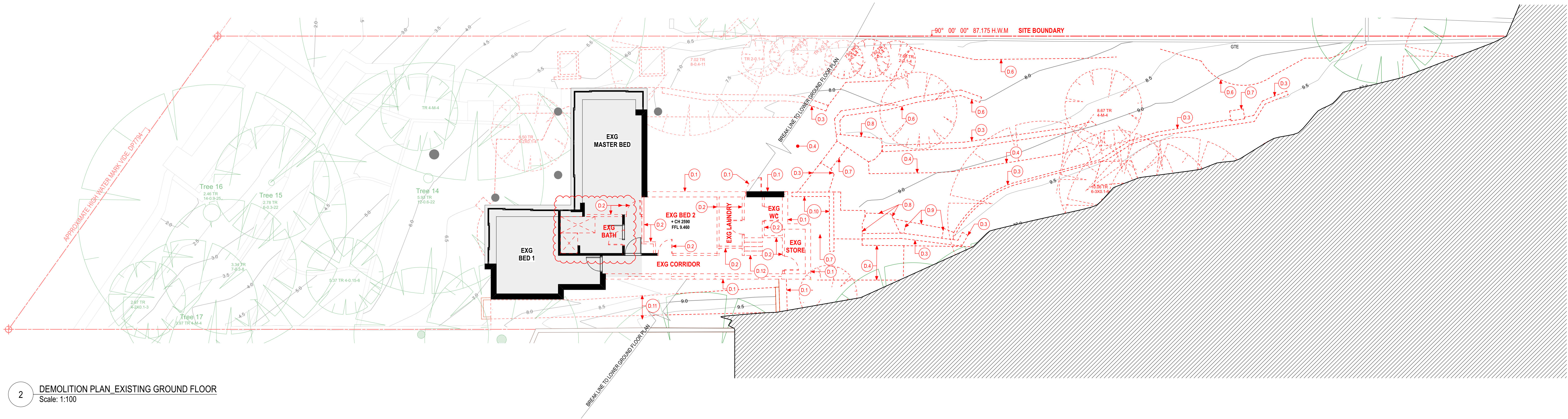
Drawn By:
LR

Revision:
E

nominated architect: Dominic Bennett 7365 (NSW)



1 DEMOLITION PLAN_EXISTING LOWER GROUND FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING GROUND FLOOR
Scale: 1:100

DEMOLITION NOTES

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



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B	1/5/24	SC	STRUCTURAL ISSUE
C	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY
EXISTING WALL
DEMOLISHED WALL



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
DEMOLITION PLANS - LOWER GROUND + GROUND

Job Number:
2130
Scale:
1:100
Plot Date:
28/8/23

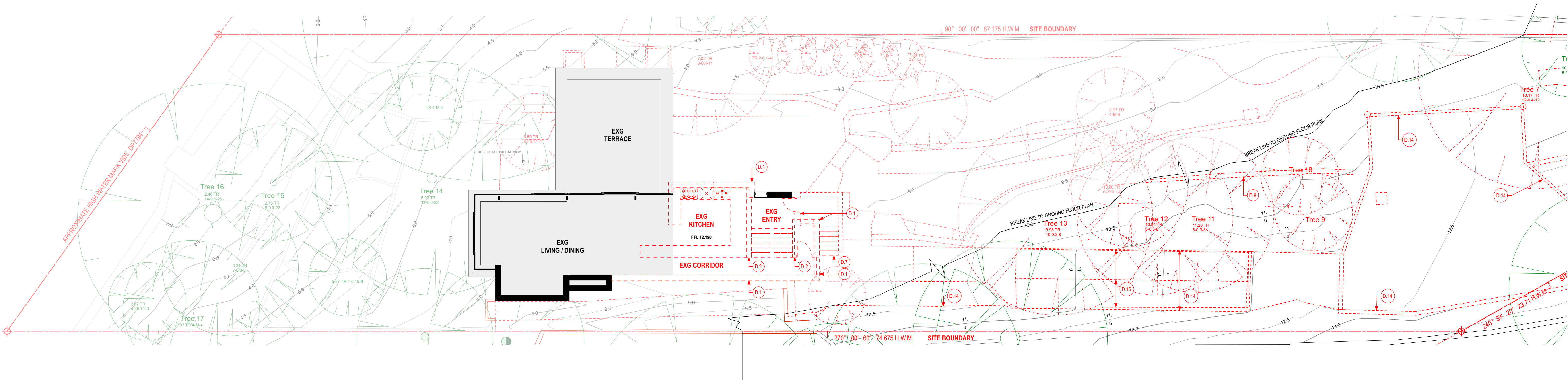
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Drawing No:
DA_004

Drawn By:
LR
Revision:
C

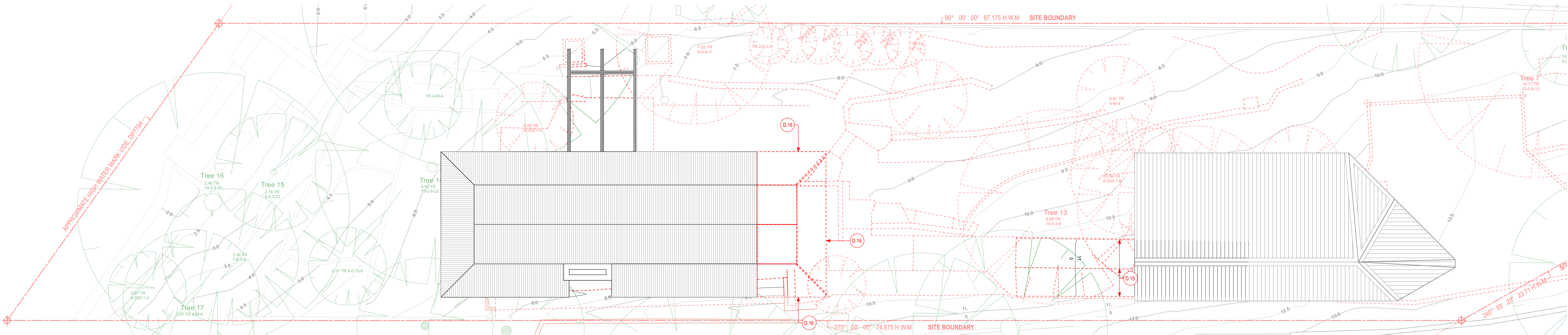
Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)





1 DEMOLITION PLAN_EXISTING FIRST FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING ROOF PLAN
Scale: 1:100

DEMOLITION NOTES

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	1/5/24	SC	STRUCTURAL ISSUE
C	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY
EXISTING WALL
DEMOLISHED WALL

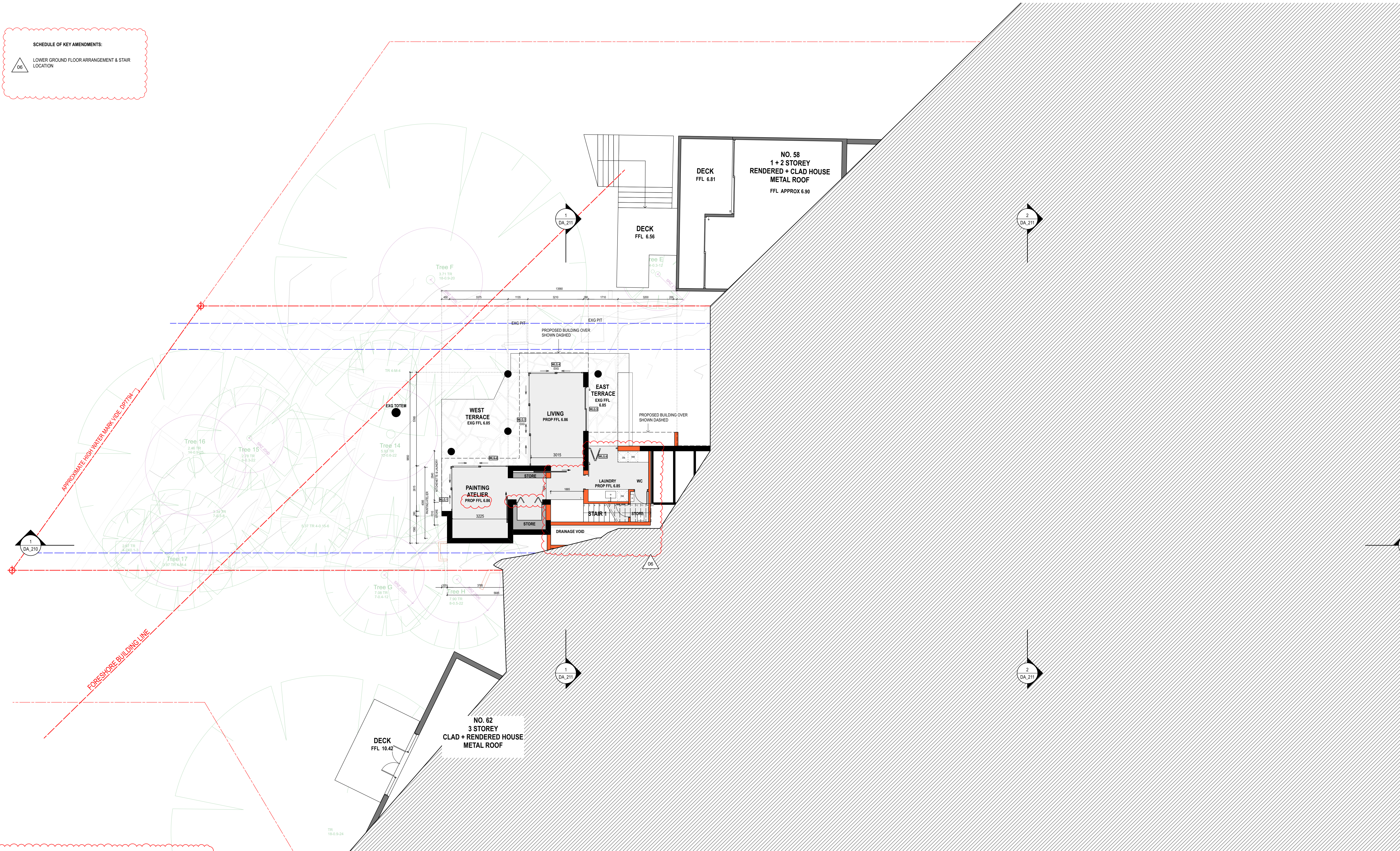


Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
DEMOLITION PLANS - LEVEL 01 + ROOF

Job Number:
2130
Scale:
1:100
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_005
Drawn By:
LR
Revision:
C
nominated architect: Dominic Bennett 7365 (NSW)

SCHEDULE OF KEY AMENDMENTS:

06 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION



SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



NOTES

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Rev.	Date	Issued By	Revision Notes
E	7/5/24	SC	CONSULTANT ISSUE
F	13/5/24	SC	CONSULTANT ISSUE
G	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY
EXISTING WALL
NEW WALL
EXISTING TREE

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FIRE BRICK TYPE 1.2...	PAR	PARAPET	TP	TIMBER POST
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIRE CEMENT CLADDING	PF	PAINT FINISH	TR	TREE
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BR	BRICKING	FNC.P	POOL FENCE	RWT	RAINWATER TANK		
BR	BRICK FINISH	FP	RED PANEL	SCM 1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	GDR	GARAGE DOOR	SKL	SKYLIGHT		
CLK 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT	SS	STAINLESS STEEL		
DP	DOWNSPIPE	HR1.2...	HANDRAIL TYPE 1.2...	STC	STONE CLADDING		
EXG	EXISTING	LP	LOW POINT	ST	SOLAR TUBE SKYLIGHT		

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM 1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED LOWER GROUND FLOOR PLAN_OP2

Job Number:
2130

Scale:
1:100

Plot Date:
19/4/24

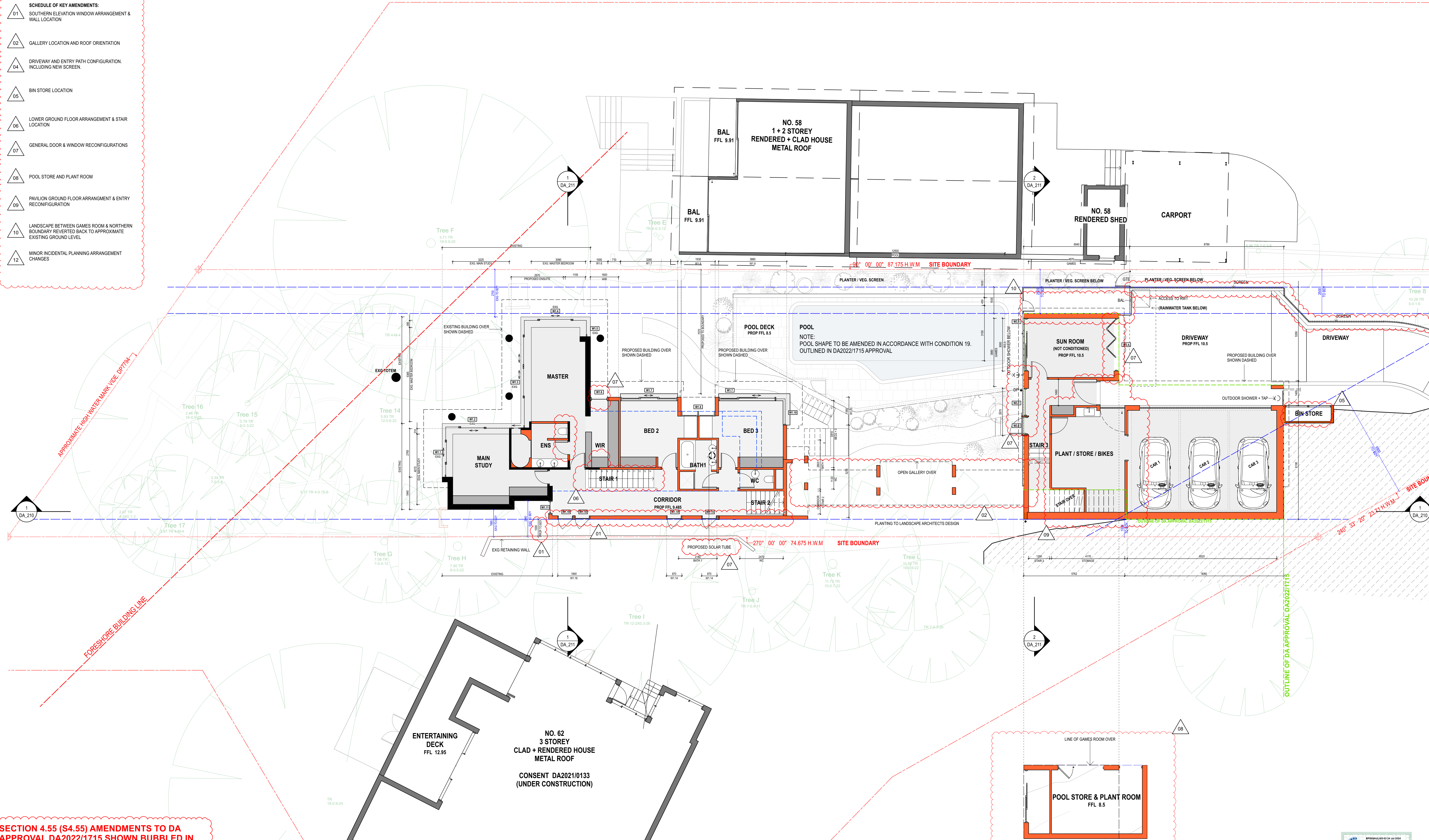
Drawing Status:
\$4.55

Drawing No:
DA_100

Drawn By:
SC

Revision:
G

- SCHEDULE OF KEY AMENDMENTS:**
- | | |
|----|---|
| 01 | SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION |
| 02 | GALLERY LOCATION AND ROOF ORIENTATION |
| 04 | DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN. |
| 05 | BIN STORE LOCATION |
| 06 | LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION |
| 07 | GENERAL DOOR & WINDOW RECONFIGURATIONS |
| 08 | POOL STORE AND PLANT ROOM |
| 09 | PAVILION GROUND FLOOR ARRANGEMENT & ENTRY RECONFIGURATION |
| 10 | LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL |
| 12 | MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES |



SECTION 4.55 (S4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
E	7/5/24	SC	CONSULTANT ISSUE
F	13/5/24	SC	CONSULTANT ISSUE
G	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY									
	EXISTING WALL	AWN BD	AWNING BOUNDARY	EG FAC	EAVES GUTTER FASCIA	MB MRS	MAILBOX METAL ROOF SHEETING	T TP	TIMBER TIMBER DOOR
	NEW WALL	BAL 12 BLK 1.2	BALUSTRADE TYPE 1 2... BLOCKWORK FINISH 1 2...	FB1.2 FC	FACE BRICK TYPE 1 2... FIBRE CEMENT CLADDING	PAR PRS	PARAPET PAINT FINISH	TF TP	TIMBER POST TIMBER TRUSS
	EXISTING TREE	BRK 1.2 BG	BRICKWORK TYPE 1 2... GUTTER	FFL FCN1.2	FINISHED FLOOR LEVEL FINISH FENCE TYPE 1 2...	PT RW	PLANTER RAINWATER HEAD	TF TW	TIMBER FRAME WINDOW
		BU BR	BUTLIDING BRICK FINISH	FP FP	POOL FENCE FIXED PANEL	RAH SL	RAINWATER TANK SCREEN TYPE 1 2...		
		BY CLG 1.2	BALCONY CLADDING TYPE 1 2...	GDR GTP	GARAGE DOOR POOL GATE	SKL SL	SKYLIGHT SLIDING		
		CONC 1.2 DP	CONCRETE FINISH TYPE 1 2... DOWNPIPE	HP HR1.2	HIGH POINT HANDRAIL TYPE 1 2...	STC ST	STAINLESS STEEL STONE CLADDING		
		EXG EX	EXISTING EXISTING	LP LP	LOW POINT LOW POINT	STC ST	SOLAR TUBE LIGHT SOLAR TUBE LIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE. CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

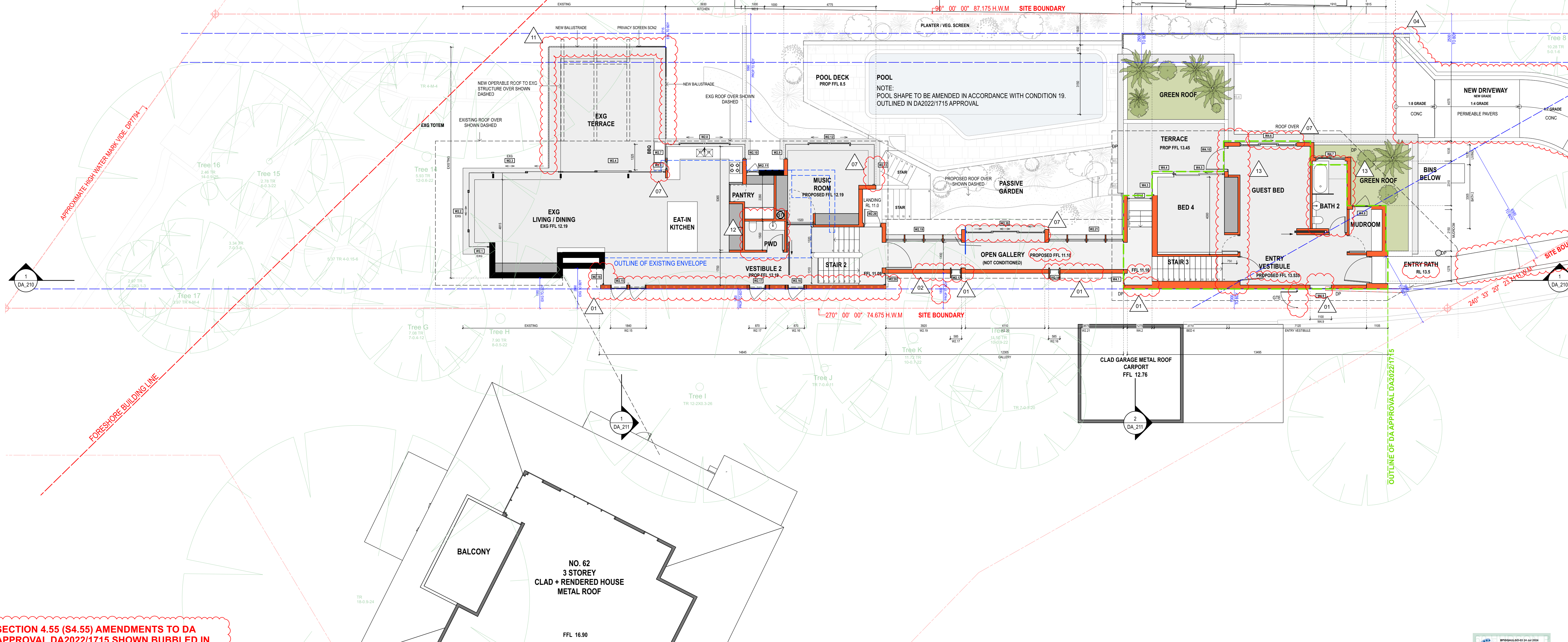
Drawing Name:
PROPOSED GROUND FLOOR PLAN

Job Number: 2130	
Scale: 1:100	
Plot Date: 19/4/24	
Drawing Status: S4.55	Drawn By: SC
Drawing No: DA_101	Revision: G

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph. (02) 9043 9968 e. info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 LOWER GROUND FLOOR ARRANGEMENT & STAIRS LOCATIONATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION INCLUDING NEW SCREEN
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
 - 10 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 11 EXTENSION OF APPROVED TERRACE PRIVACY SCREEN & NEW BALUSTRADE
 - 12 MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES
 - 13 PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS



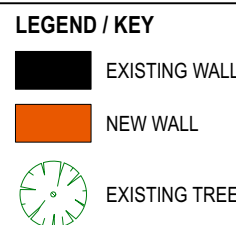
SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
E	7/5/24	SC	CONSULTANT ISSUE
F	13/5/24	SC	CONSULTANT ISSUE
G	23/7/2024	SC	ISSUED FOR \$4.55



AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL1.2...	BALUSTRADE TYPE 1.2...	FB1.2...	FACE BRICKWORK TYPE 1.2...
BLK1.2...	BLOCKWORK TYPE 1.2...	F3	FIRE CEMENT CLADDING
BRK1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC1.2...	FENCE TYPE 1.2...
BF	BHOLDING	FNC2	POOL FENCE
BR	BRICK FINISH	HP	HIGH POINT
BY	BALCONY	GDR	GARAGE DOOR
CLK1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE
CONC1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT
DP	DOWNPIPE	HR1.2...	HANDRAIL TYPE 1.2...
EXG	EXISTING	LP	LOW POINT

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		

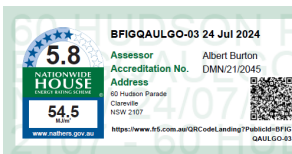


Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

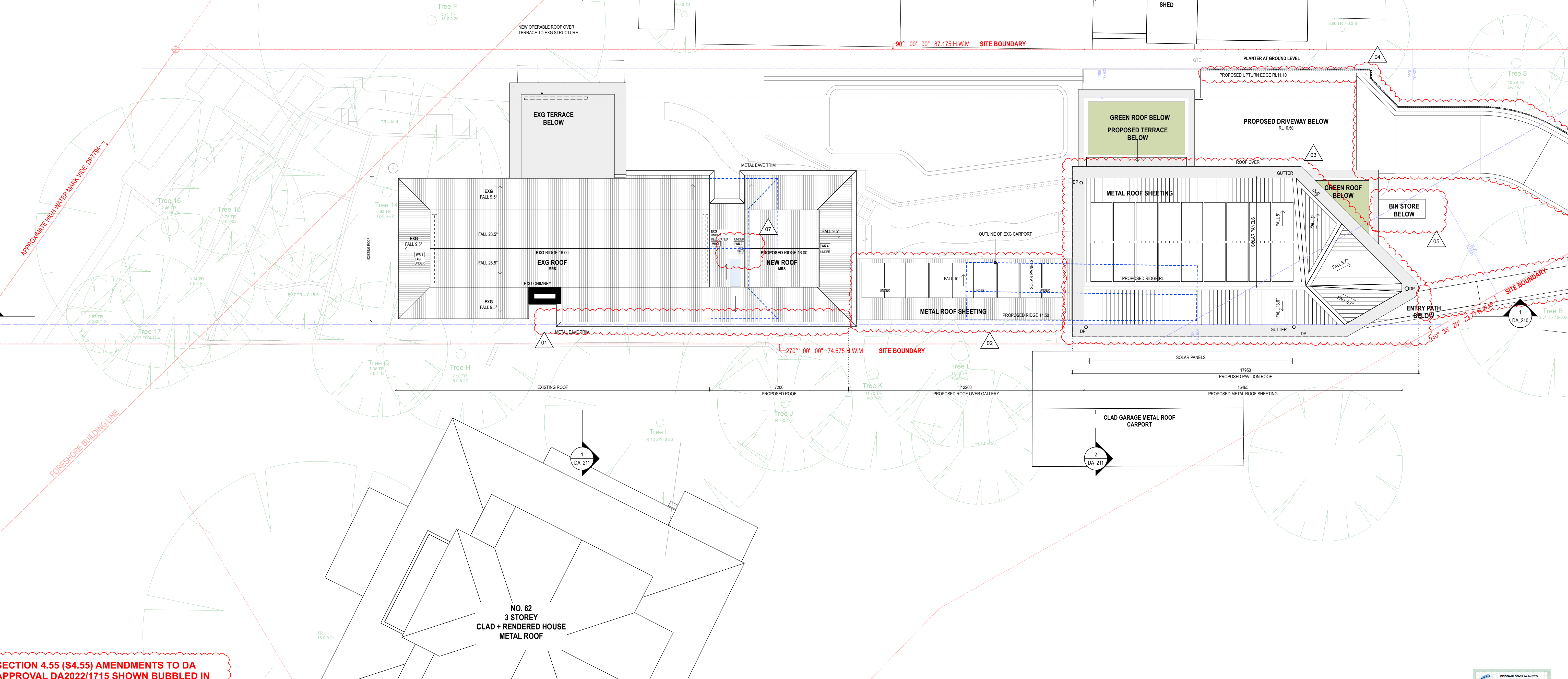
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED FIRST FLOOR PLAN

Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
\$4.55
Drawing No:
DA_102
Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
\$4.55
Drawing No:
DA_102
Drawn By:
SC
Revision:
G
nominated architect: Dominic Bennett 7365 (NSW)



- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 03 PAVILION ROOF FORM
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
 - 05 BIN STORE LOCATION
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS



SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
D	7/5/24	SC	CONSULTANT ISSUE
E	13/5/24	SC	CONSULTANT ISSUE
F	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY

AWN	AWNING	EG	EAVES GUTTER
BAL	BOUNDARY	FAC	FASCIA
BLK	BLOCKWORK TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...
BRK	BRICKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING
BG	BOX GUTTER	FFL	FINISHED FLOOR LEVEL
BF	BI-FOLDING	FNC1.2...	FENCE TYPE 1.2...
BR	BRICK FINISH	FNCIP	POOL FENCE
BY	BALCONY	FP	FIXED PANEL
CLA	CLADDING TYPE 1.2...	GDR	GARAGE DOOR
CONC	CONCRETE FINISH TYPE 1.2...	GTP	GATE
DP	DOWNPIPE	HP	HIGH POINT
EXG	EXISTING	HR1.2...	HANDRAIL TYPE 1.2...
		LP	LOW POINT

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		

T	TIMBER
TD	TIMBER DOOR
TP	TIMBER POST
TR	TREE
TW	TIMBER FRAMED WINDOW



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED ROOF PLAN

Job Number:

2130

Scale:

1:100

Plot Date:

28/8/23

Drawing Status:

DA

Drawing No:

DA_103

Drawn By:

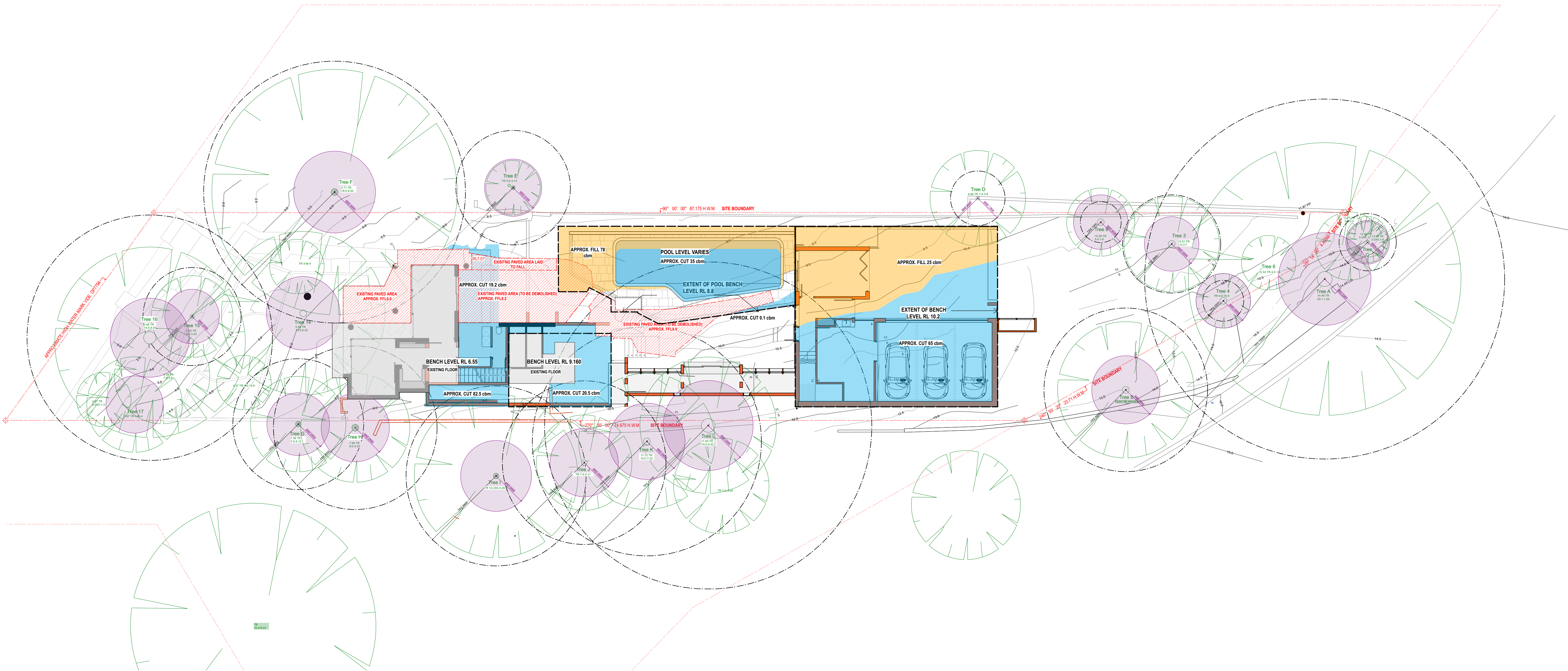
LR

Revision:

F

nominated architect: Dominic Bennett 7365 (NSW)

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY	
	PROPOSED CUT
	PROPOSED FILL
	EXISTING PAVED AREA TO BE REMOVED
	EXISTING FLOOR LEVEL TO BE RETAINED
	TPZ
	SRZ



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CUT AND FILL PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

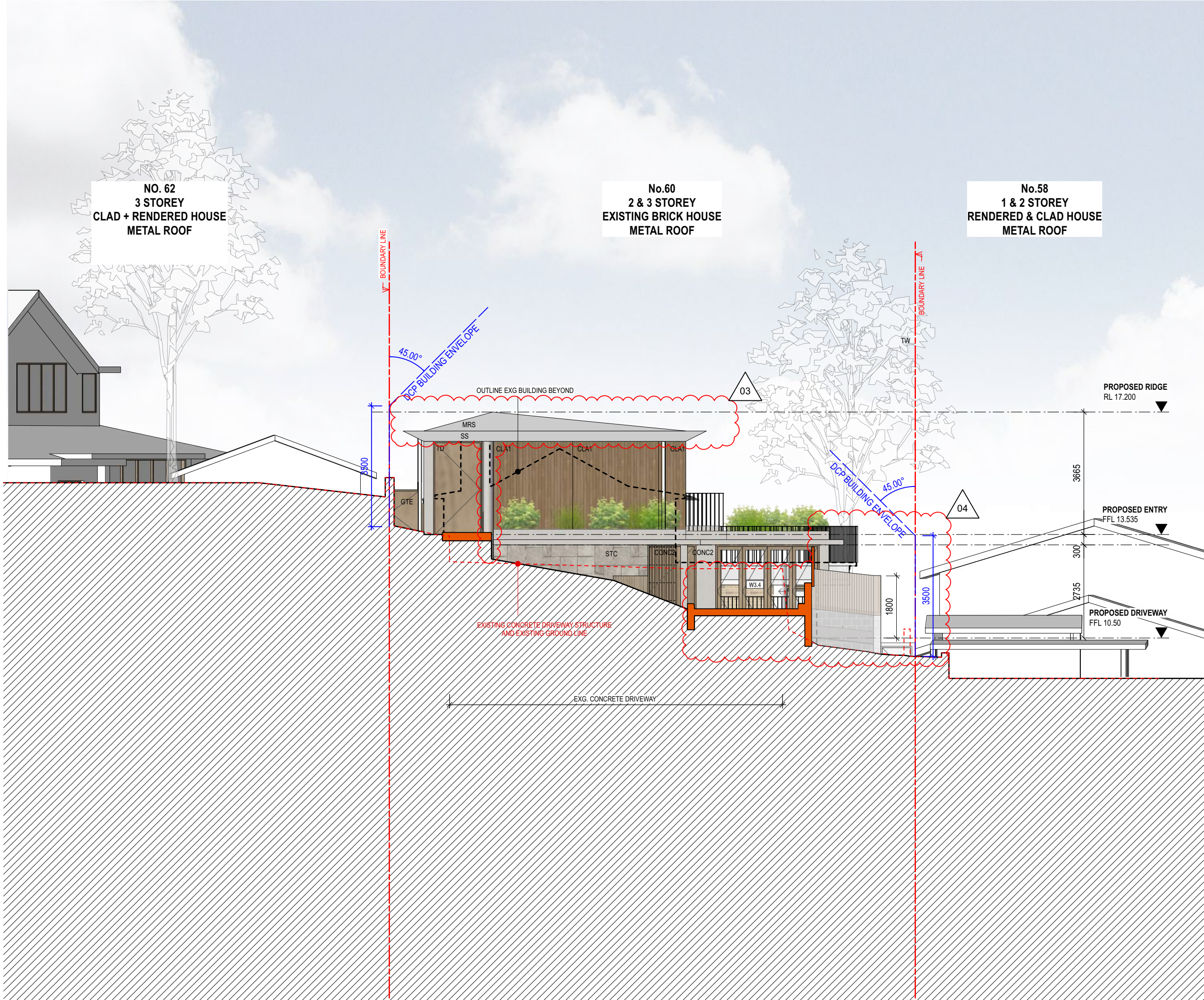
Drawing No:
DA_112

Drawn By:
LR

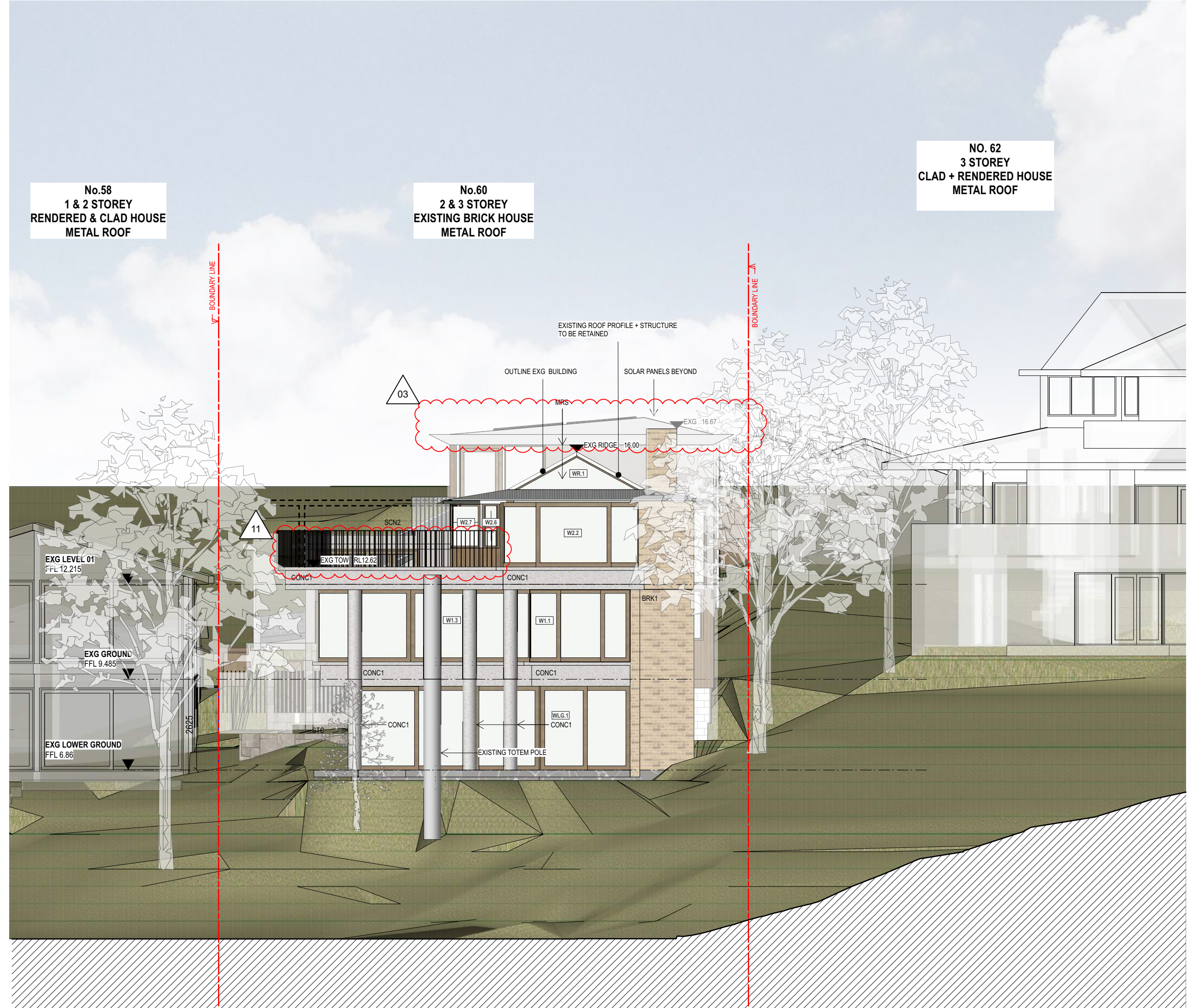
Revision:
B

nominated architect: Dominic Bennett 7365 (NSW)





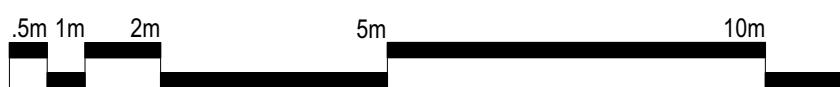
1 East Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND SITE GRADING DETAILS



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
B	1/5/24	SC	STRUCTURAL ISSUE
C	13/5/24	SC	CONSULTANT ISSUE
D	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY			
AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC1.2...	FENCE TYPE 1.2...
BF	BI-FOLDING	FNCIP	POOL FENCE
BR	BRICK FINISH	FP	FIXED PANEL
BY	BALCONY	GDR	GARAGE DOOR
CLA 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT
DP	DOWNPIPE	HR1.2...	HANDRAIL TYPE 1.2...
EXG	EXISTING	LP	LOW POINT
MB	MAILBOX	MB	MAILBOX
MRS	METAL ROOF SHEETING	MRS	METAL ROOF SHEETING
PAR	PARAPET	PAR	PARAPET
PF	PAINT FINISH	PF	PAINT FINISH
PT	PLANTER	PT	PLANTER
RWH	RAINWATER HEAD	RWH	RAINWATER HEAD
RWT	RAINWATER TANK	RWT	RAINWATER TANK
SCM1.2...	SCREEN TYPE 1.2...	SCM1.2...	SCREEN TYPE 1.2...
SKL	SKYLIGHT	SKL	SKYLIGHT
SL	SLIDING	SL	SLIDING
SS	STAINLESS STEEL	SS	STAINLESS STEEL
STC	STONE CLADDING	STC	STONE CLADDING
ST	SOLAR TUBE SKYLIGHT	ST	SOLAR TUBE SKYLIGHT



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
EAST + WEST ELEVATIONS

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

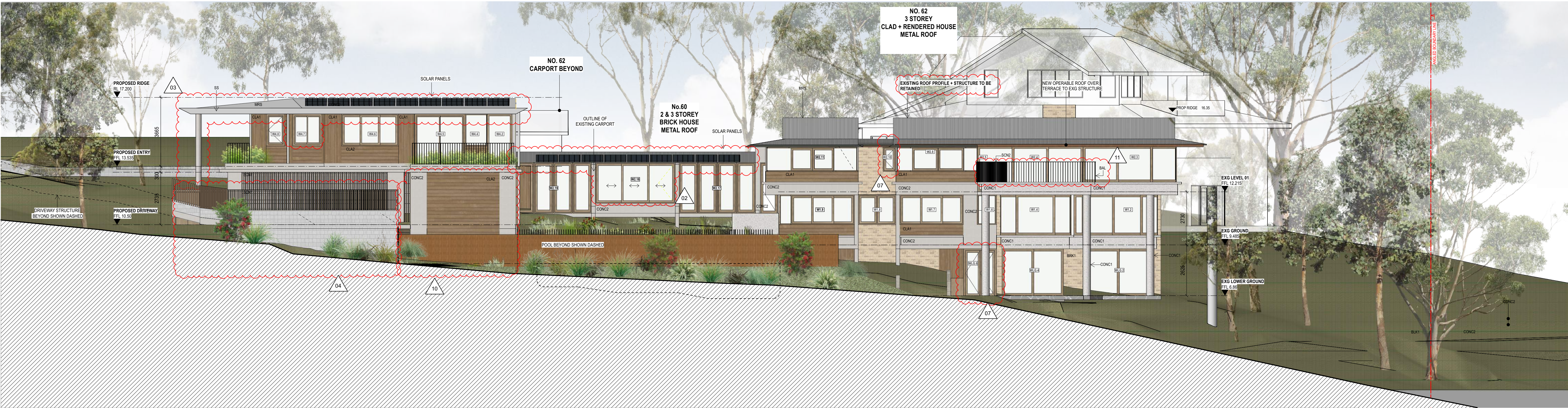
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Drawing No:
DA_200

Drawn By:
LR

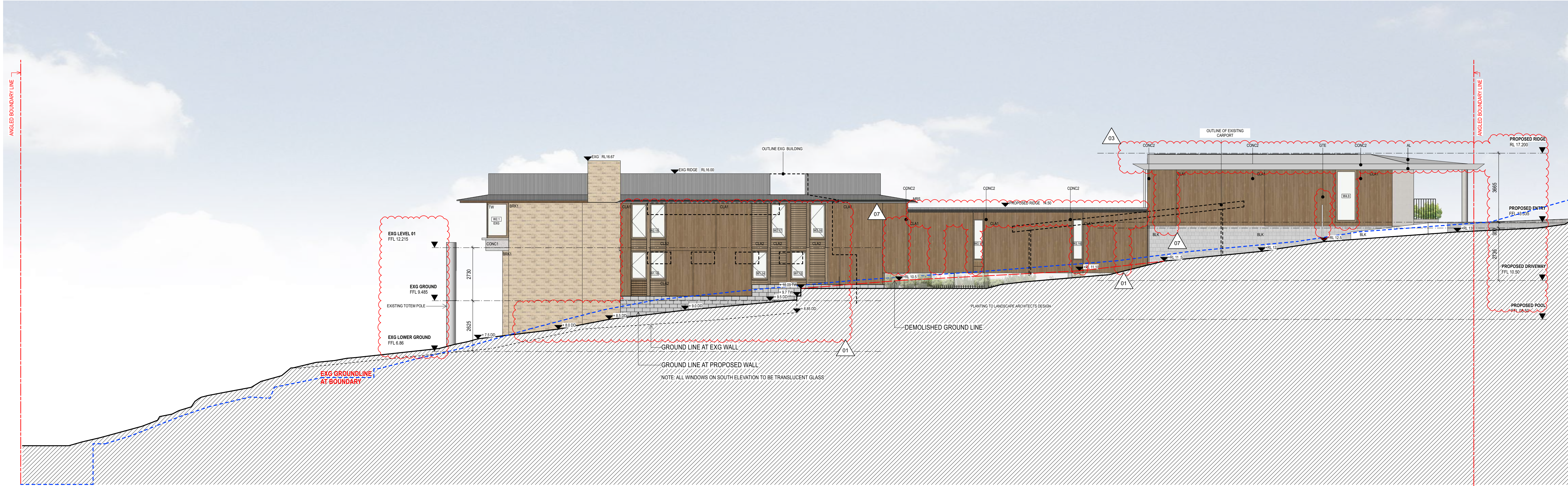
Revision:
D





1 North Elevation
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND SITE GRADING DETAILS



2 South Elevation
Scale: 1:100

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
D	1/5/24	SC	STRUCTURAL ISSUE
E	13/5/24	SC	CONSULTANT ISSUE
F	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FIRE BRICK/FIRE 1.2...	PAR	PARAPET	TP	TIMBER POST
BLK 1.2...	BLOCKWORK TYPE 1.2...	PF	FIRE CEMENT CLADDING	PF	PAINT FINISH	TR	TREE
BRK 1.2...	BRICKWORK TYPE 1.2...	PT	FINISHED FLOOR LEVEL	PLN	PLANTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	RWH	FENCE TYPE 1.2...	RWT	RAINWATER HEAD		
BF	BH-FLOORING	SCM 1.2...	POOL FENCE	RWT	RAINWATER TANK		
BR	BRICK FINISH	SKL	RED PANEL	SCM 1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	SL	GARAGE DOOR	SKL	SKYLIGHT		
CLK 1.2...	CLADDING TYPE 1.2...	SS	POOL GATE	SLD	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	STC	HIGH POINT	SS	STAINLESS STEEL		
DP	DOWNSPIPE	ST	HANDRAIL TYPE 1.2...	STC	STONE CLADDING		
EXG	EXISTING	LP	LOW POINT	ST	SOLAR TUBE SKYLIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
NORTH + SOUTH ELEVATIONS

Job Number:
2130

Scale:
1:100

Plot Date:
19/4/24

Drawing Status:
S4.55

Drawing No:
DA 201

Drawn By:
SC

Revision:
F

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)

7° ANGLED BOUNDARY LINE



1 SECTION A
Scale: 1:100

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	24/4/24	SC	FOR INFORMATION
B	26/4/24	SC	CONSULTANT ISSUE
C	1/5/24	SC	STRUCTURAL ISSUE
D	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FACE BRICKWORK TYPE 1.2...
BULK 1.2...	BLOCKWORK TYPE 1.2...	F3	FIRE CEMENT CLADDING
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...
BG	BOX GUTTER	FNC 2...	FENCE TYPE 1.2...
BR	BRICK FINISH	FNC P	FENCE PANEL
BR	BRICK FINISH	FP	FIRE PANEL
BY	BALCONY	GDR	GARAGE DOOR
CLK 1.2...	CLADDING TYPE 1.2...	GTP	GARAGE GATE
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT
DP	DOWNSPIPE	HR 1.2...	HANDRAIL TYPE 1.2...
EXG	EXISTING	LP	LOW POINT

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM 1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
LONGITUDINAL SECTION

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

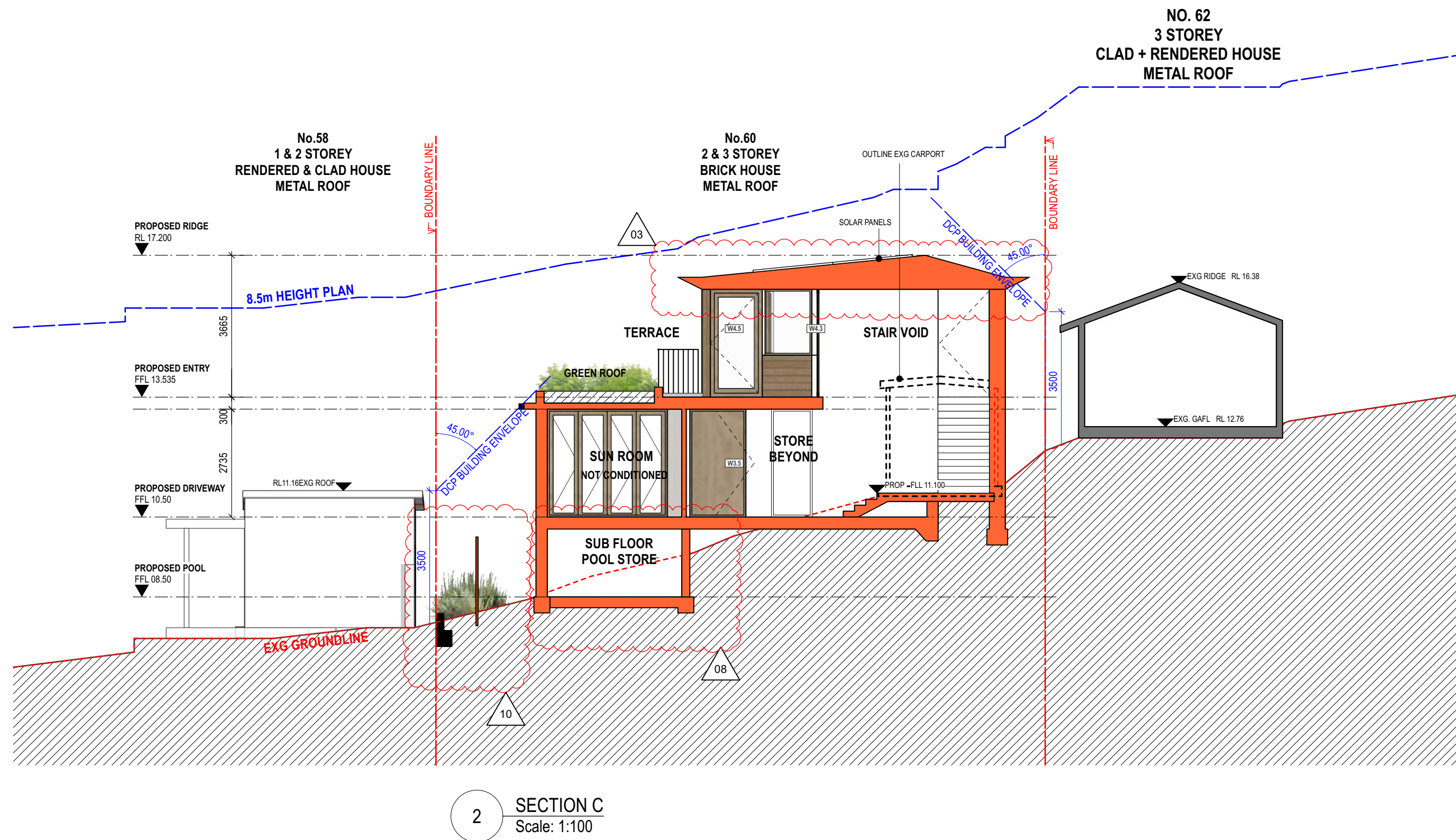
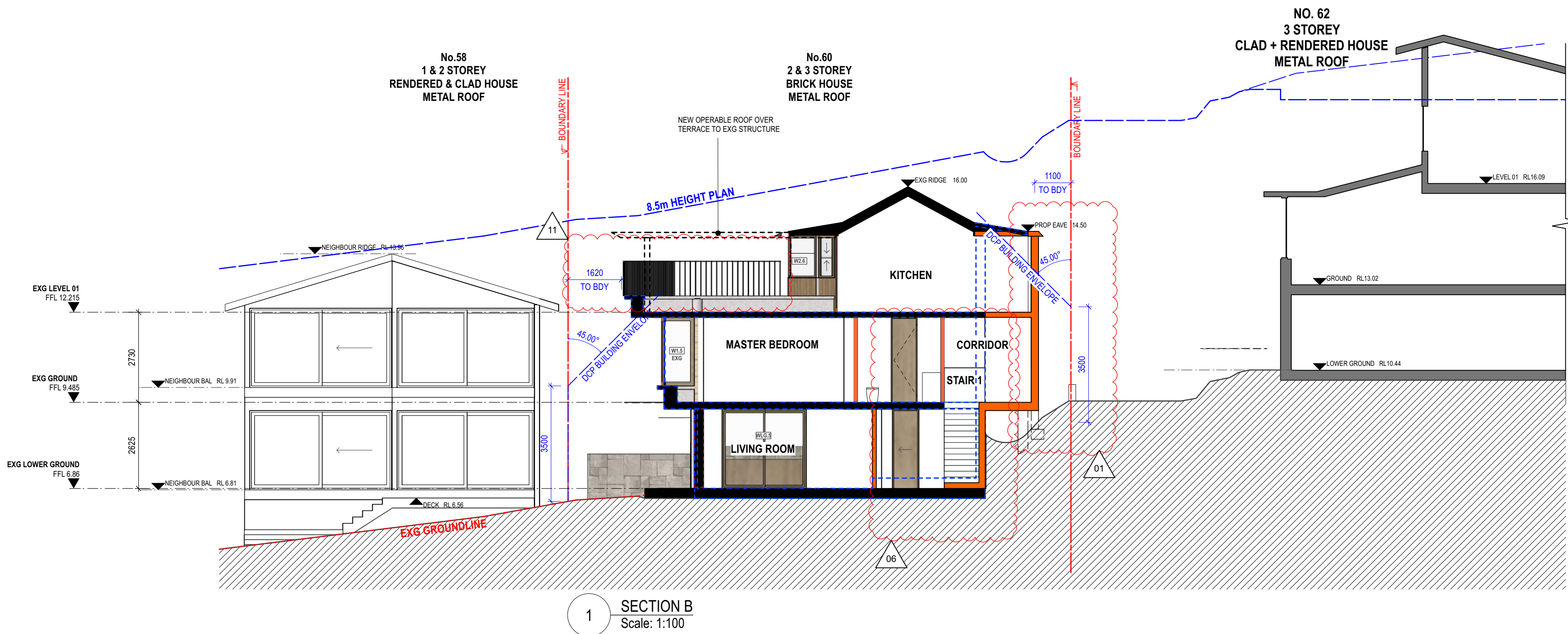
Drawing No:
DA 210

Drawn By:
LR

Revision:
D



- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 03 PAVILION ROOF FORM
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
 - 05 BIN STORE LOCATION
 - 06 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
 - 08 POOL STORE AND PLANT ROOM
 - 09 PAVILION GROUND FLOOR ARRANGMENT & ENTRY RECONFIGURATION
 - 10 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 11 EXTENSION OF APPROVED TERRACE PRIVACY SCREEN & NEW BALUSTRADE
 - 12 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 13 PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS



SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



NOTES

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C	1/5/24	SC	STRUCTURAL ISSUE
D	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY

AWN	AWNING
BDY	BOUNDARY
BAL 1.2...	BALUSTRADE TYPE 1.2...
BLK 1.2...	BLOCKWORK TYPE 1.2...
BRK 1.2...	BRICKWORK TYPE 1.2...
BG	BOX GUTTER
BF	BIFOLDING
BR	BRICK FINISH
BY	BALCONY
CLA 1.2...	CLADDING TYPE 1.2...
CONC 1.2...	CONCRETE FINISH TYPE 1.2...
DP	DOWNPIPE
EXG	EXISTING

EG	EAVES GUTTER
FAC	FASCIA
FBI 1.2...	FACE BRICK TYPE 1.2...
FC	FIBRE CEILING CLADDING
FFL	FINISHED FLOOR LEVEL
FNC 1.2...	FENCE TYPE 1.2...
FNC/P	POOL FENCE
FP	FIXED PANEL
GDR	GARAGE DOOR
GTP	POOL GATE
HP	HIGH POINT
HR 1.2...	HANDRAIL TYPE 1.2...
LP	LOW POINT

MB	MAILBOX
MRS	METAL ROOF SHEETING
PAR	PARAPET
PF	PAINT FINISH
PT	PLANTER
RWH	RAINWATER HEAD
RWT	RAINWATER TANK
SCN 1.2...	SCREEN TYPE 1.2...
SKL	SKYLIGHT
SL	SLIDING
SS	STAINLESS STEEL
STC	STONE CLADDING
ST	SOLAR TUBE SKYLIGHT

T	TIMBER
TD	TIMBER DOOR
TP	TIMBER POST
TR	TREE
TW	TIMBER FRAMED WINDOW



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CROSS SECTIONS

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

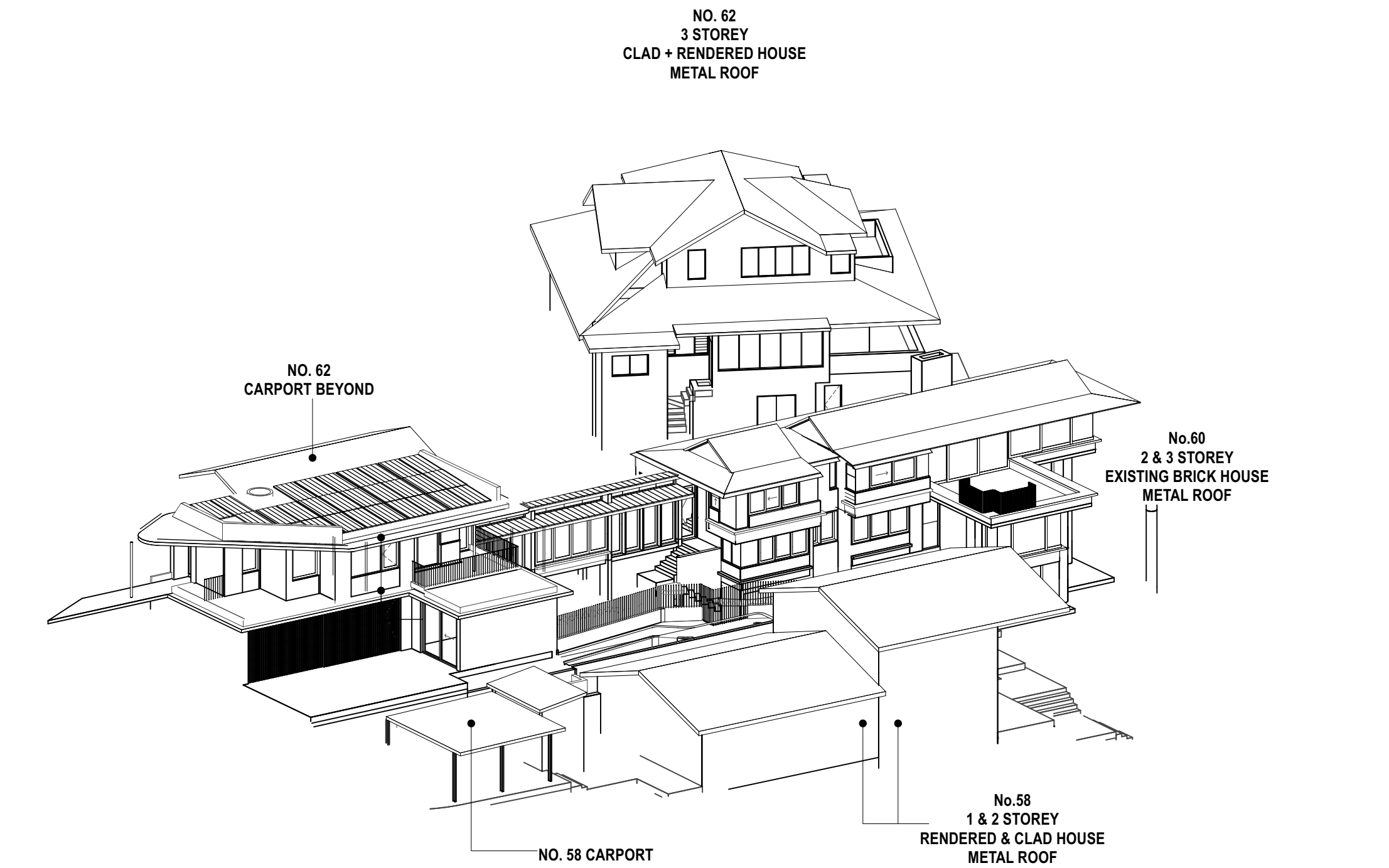
Drawing No:
DA 211

Drawn By:
LR

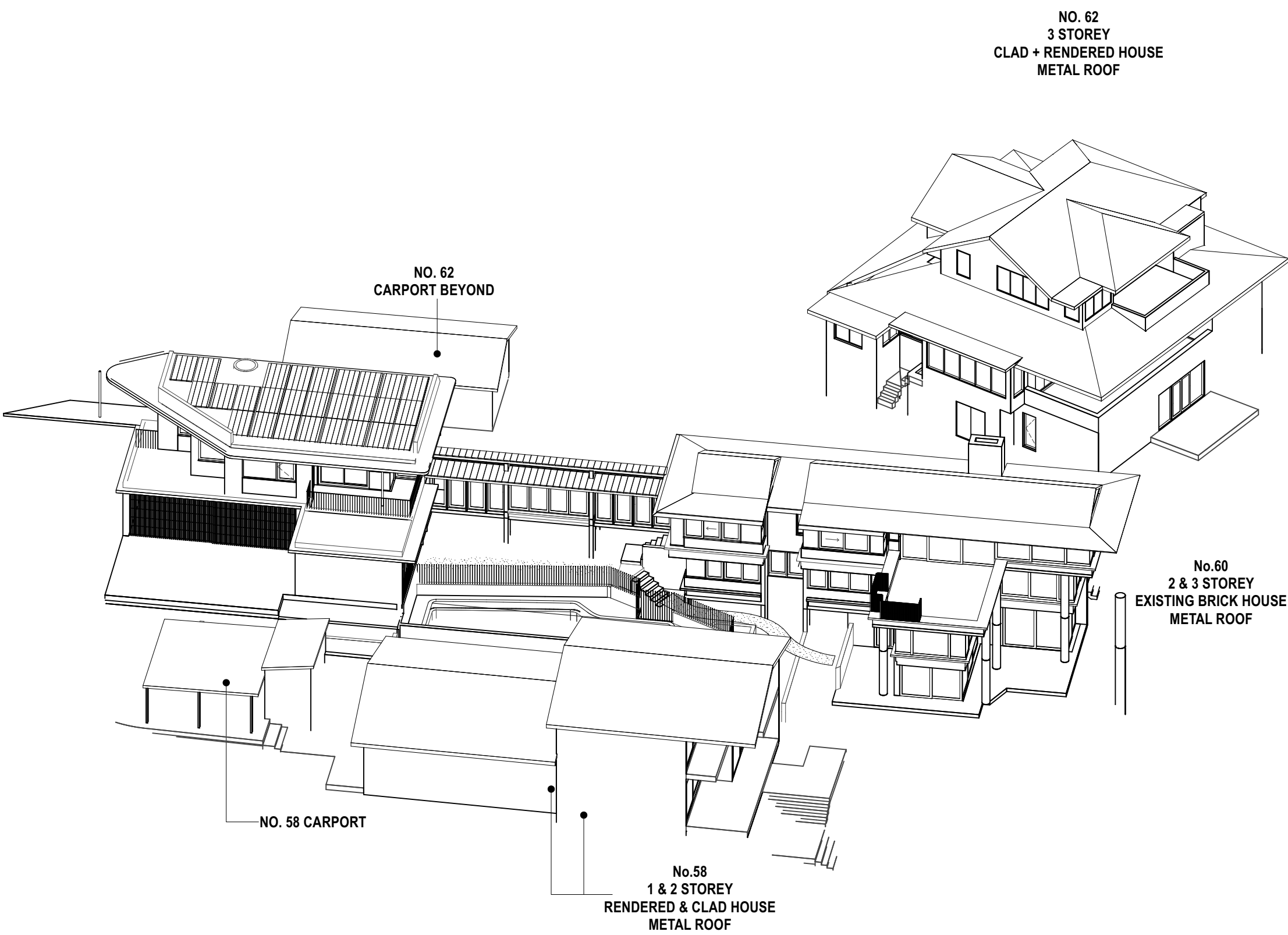
Revision:
D

nominated architect: Dominic Bennett 7365 (NSW)

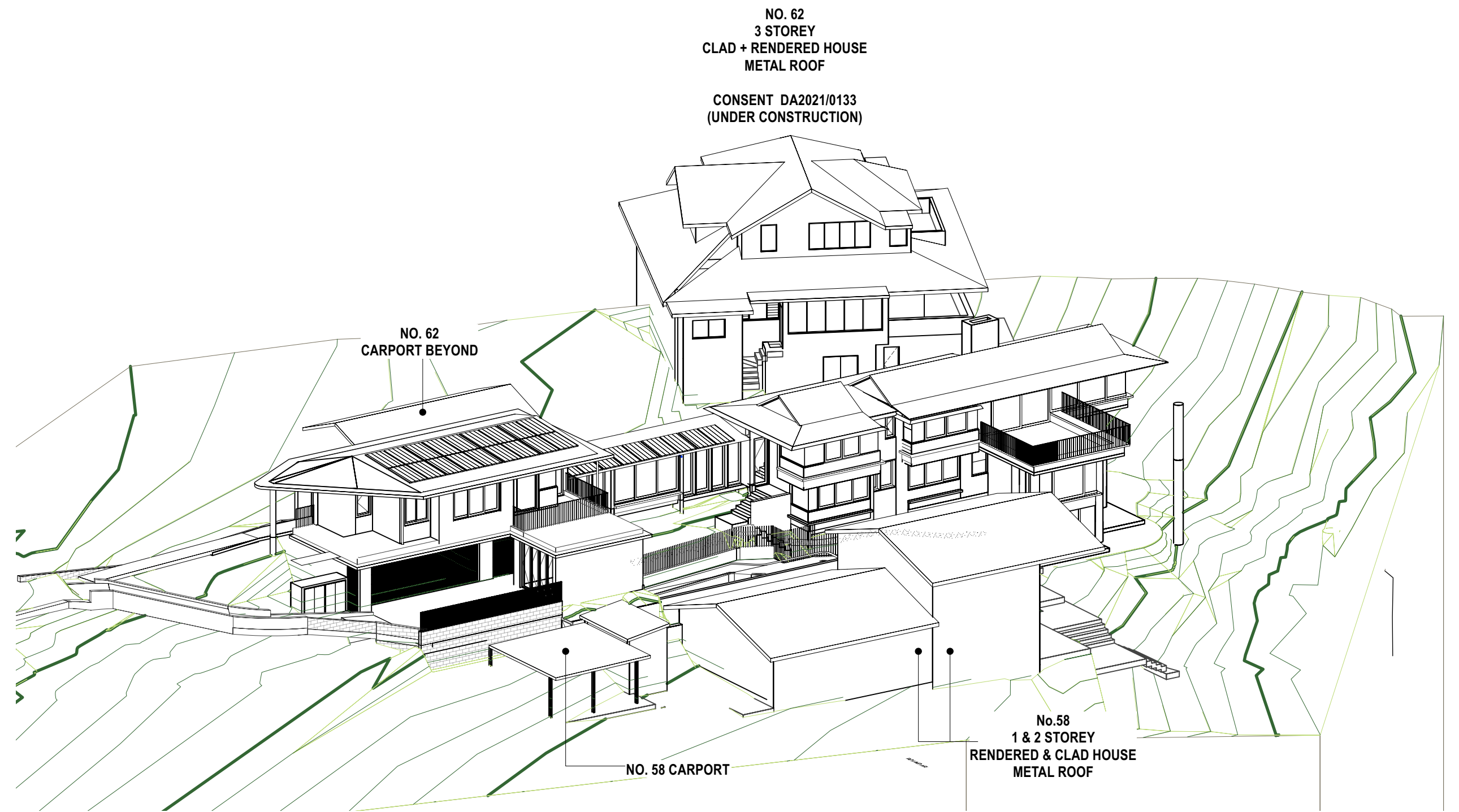




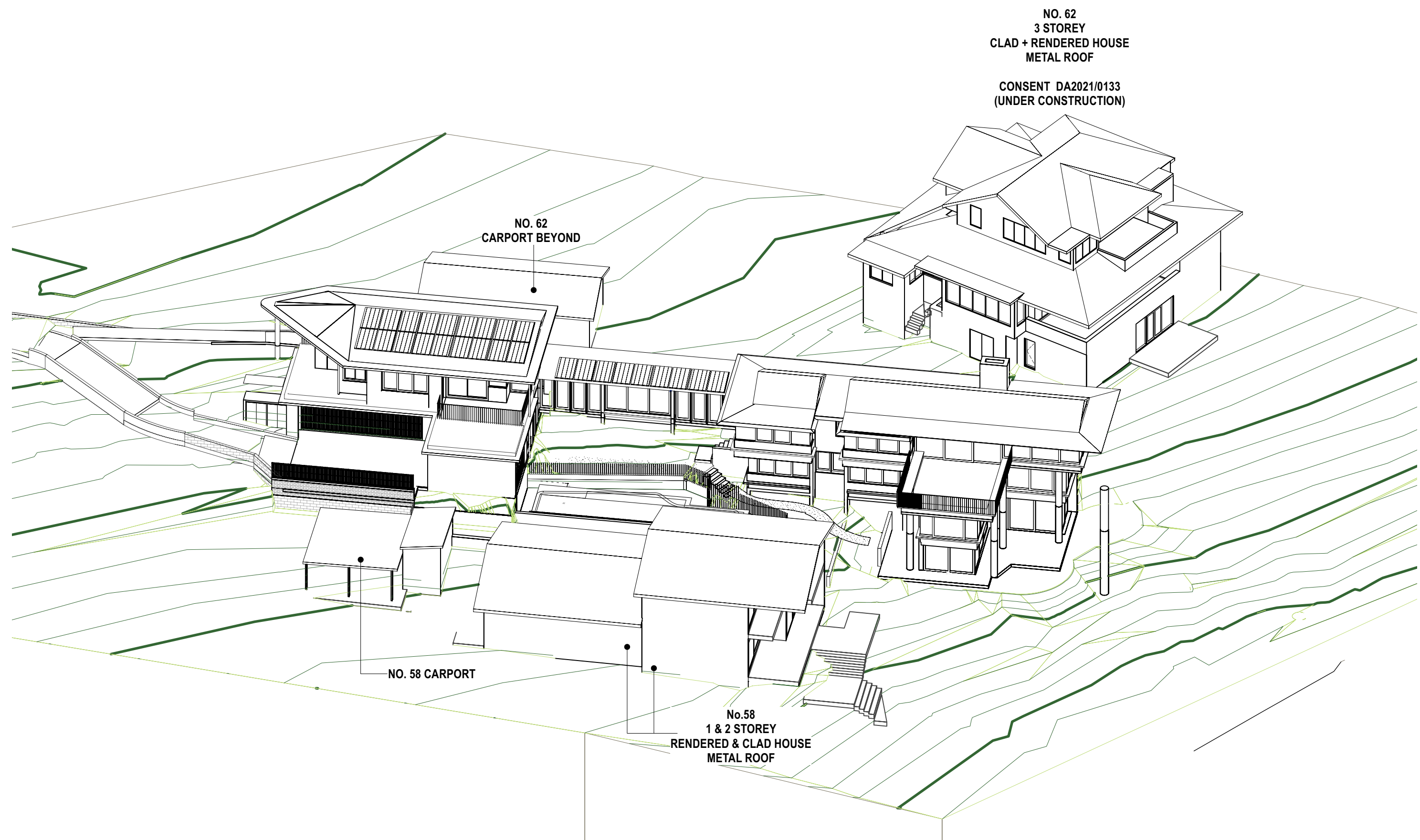
1 9AM - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



3 12PM - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



2 9AM - 21ST JUNE - PROPOSED
Scale: NTS



4 12PM - JUNE 21 - PROPOSED
Scale: NTS

NOTES
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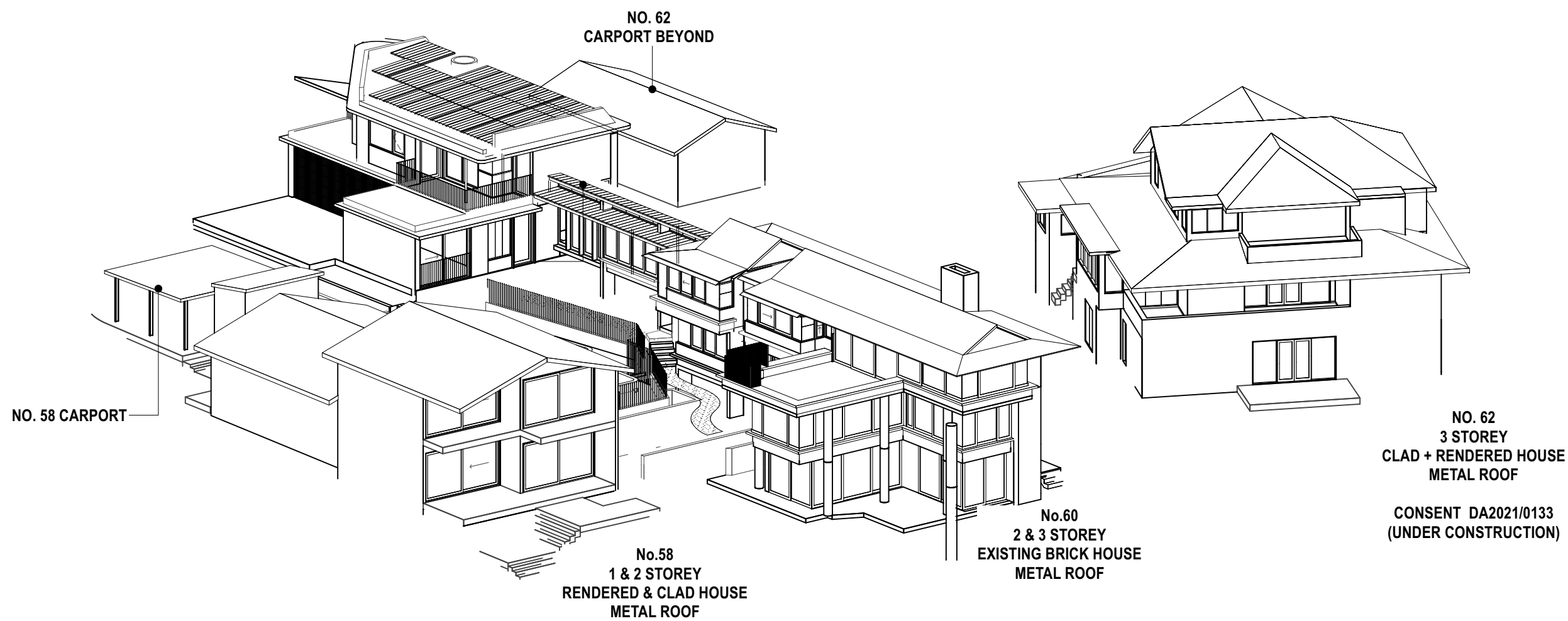
REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY

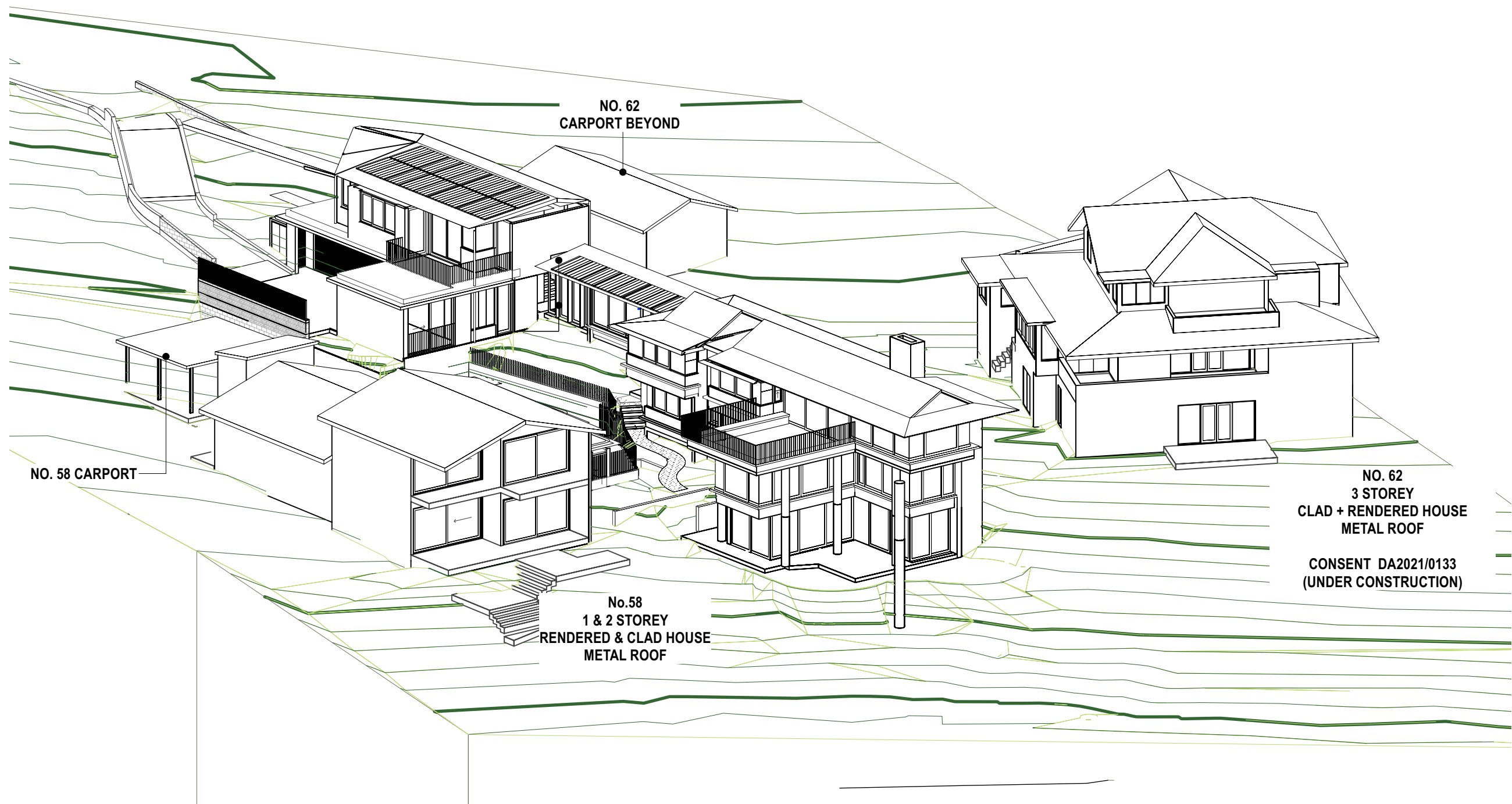


Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130
Scale:
NTS
Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_301
Drawn By:
AH
Revision:
B
nominated architect: Dominic Bennett 7365 (NSW)



1 3pm - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



2 3PM - JUNE 21 - PROPOSED
Scale: NTS

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130

Scale:
NTS

Plot Date:
28/8/23

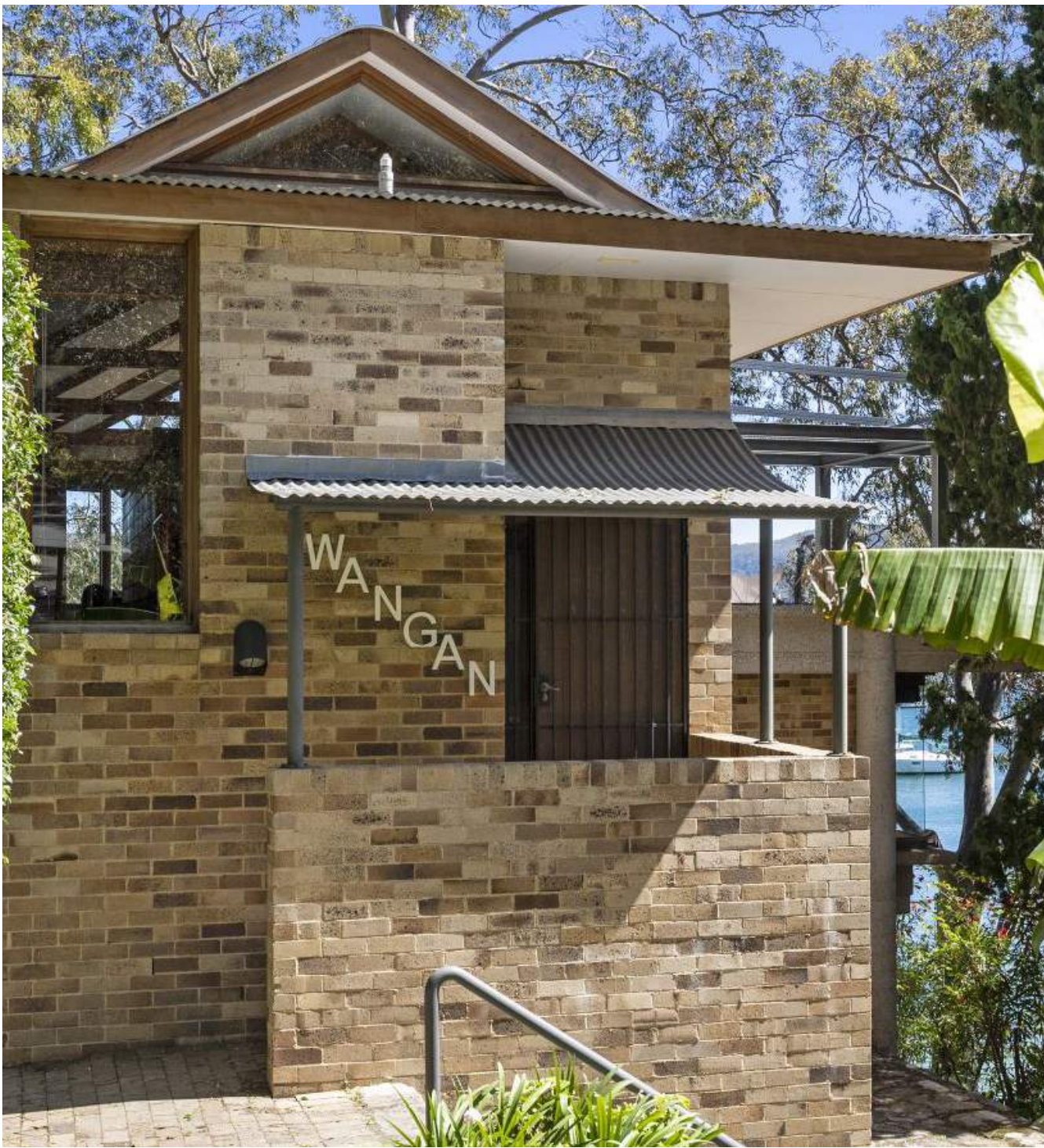
Drawing Status:
DA

Drawing No:
DA_302

Revision:
B

Drawn By:
AH

nominated architect: Dominic Bennett 7365 (NSW)



BRK1_ EXISTING BRICKWORK



CONC1 _ EXISTING CONCRETE



MRS1 _ METAL ROOF SHEETING



CLA1 _ TIMBER CLADDING



SCN 1 _ TIMBER SCREENS



AM + GL1 _ ANODISED ALUMINIUM WINDOWS + CLEAR GLASS

NOTE:
ALL WINDOWS TO BE NEW ANODISED ALUMINIUM



GL2 _ TRANSLUCENT / PRIVACY GLASS



CONC2 _ NEW OFF-FORM CONCRETE

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

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LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SCHEDULES OF COLOURS AND MATERIALS

Job Number:
2130
Scale:
NTS
Plot Date:
28/8/23

Drawing Status:
DA
Drawing No:
DA_500
Drawn By:
LR
Revision:
B

