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**Sent:** 31/08/2022 2:51:36 PM  
**Subject:** NBC Standard Message 20220831\_4  
**Attachments:** NBC\_Standard\_20220831\_MailMessage\_NSW\_4.pdf;

Scanned mail attached

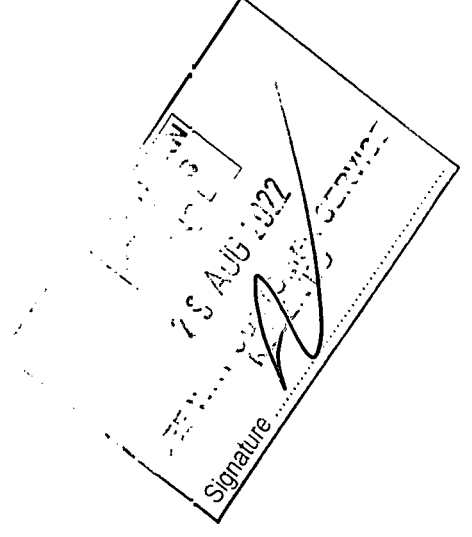
ATT. ADAM CROFT

APP NO DA 2022/1252

ADDRESS- PART LOT 32 SEC D DP 7090

80 THE ESPLANADE NARRABEEN 2101

FROM GARY & NICOLETTE OLIVER



Gary Oliver  
24 The Esplanade  
Narrabeen, NSW, 2101

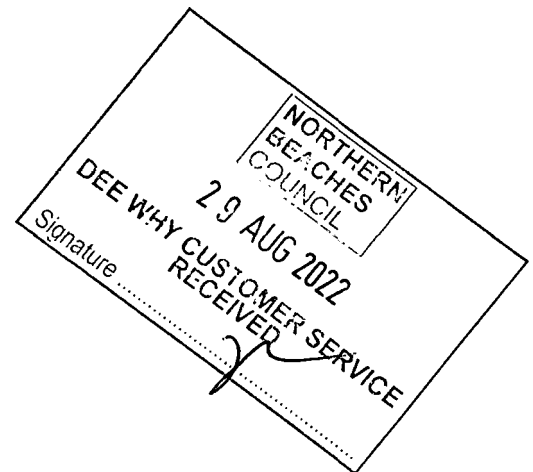
26 August 2022

The Manager  
Northern Beaches Council  
725 Pittwater Road  
Dee Why, NSW, 2099

**ATTN: Adam Croft**

Dear Sir

**DA APPLICATION NUMBER: DA 2022/1252**  
**20 The Esplanade, Narrabeen, 2101**  
**Part Lot 32 Sec D DP7090**



I and my wife own and we and our family reside at 24 The Esplanade, which is directly adjacent to 20 The Esplanade, the street numbering is not sequential.

The proposed development submitted for approval at 20 The Esplanade Narrabeen, designed by Shobha Design for Jason and Emily Smith, is a poor example of modern architecture and impedes the amenity of its direct neighbours. This letter assesses the proposed design using the guidelines and controls found in the following documents:

- Northern Beaches Council – Development Application & Modification Lodgement Requirements 21/22
- Warringah Local Environmental Plan 2011 (WLEP 2011)
- Warringah Development Control Plan 2011 (WDCP 2011)
- Environmental Planning and Assessment Act 1979 NO 203

This letter demonstrates how the proposed design breaches numerous objectives and controls found in the aforementioned documents, and therefore Council is asked not to approve the development as is currently proposed. Furthermore, the documents submitted by the applicant are insufficient and do not meet the minimum requirements of the Northern Beaches Council guidelines.

### **Northern Beaches Council – Development Application & Modification Lodgement Requirements 21/22**

The following section assesses the submitted documents of the Development Application against the lodgement requirements mandated by the Northern Beaches Council. Please read below comments in conjunction with mark-ups on the submitted drawings attached.

**Site Plan & Site Analysis (DA-02):**

- No outline of the existing dwelling to be demolished is shown.
- The sun position shown is wrong at 9am and 3pm.
- Views and solar access enjoyed by adjacent properties is not shown. Views have been heavily impacted by the proposed development. It is imperative that an in-depth view loss analysis is submitted by the applicant.

**Floor Plans (DA-03, DA-04, DA-05):**

- Window and door dimensions are missing.
- No downpipes are shown.
- RLs to roof levels are missing.
- Some setback dimensions are missing.
- Neighbouring building drawings are limited and the roof plan to neighbours is not shown.

**Elevations and Sections (DA-06, DA-07, DA-08, DA-09):**

- No outline of the existing development is shown dotted. It is therefore hard to assess the difference between existing and proposed dwellings.
- No outline or mention of any adjoining properties is shown. This is particularly important when viewing the development from the Front/Street Elevation and assessing its impact on the streetscape and to its direct neighbours. RLs to adjoining buildings and adjoining ground line also must be shown accurately.
- Doors and windows have not been identified or dimensioned.
- The Front Elevation DA-06 does not show the windows W19, W31. These windows are close to the boundary on the second storey and must be shown to see the large impact they have on neighbouring solar & view access.
- Side boundary setbacks have not been dimensioned.
- Key RLs to fences, pop-out window hoods etc are not shown.

**Sections (DA-10, DA-11):**

- Outline of existing building to be demolished is missing.
- No roof pitch is indicated.
- Important RLs are missing to roof, pool, fences etc.
- No outline or mention of any adjoining buildings/fences is shown. Therefore, RLs of neighbouring buildings is also missing.
- Doors and windows have not been identified or dimensioned.
- Side boundary setbacks have not been dimensioned.
- The 'side boundary envelope/building envelope' has not been shown on the cross sections on DA-10. When drawn, it is clear to see that the proposed design breaches this DCP control.

### **Shadow Diagrams (DA-14, DA-15, DA-16):**

- Firstly, the neighbouring dwellings have not been indicated correctly. No mention of the separate Lots on DP1169131 '24 The Esplanade' and '24A The Esplanade' is shown. This impacts the assessment of the overshadowing of both properties.
- No window locations are shown to neighbouring properties. This is crucial as in the case of '24 The Esplanade', all bedrooms have windows facing east which will be heavily impacted by the proposed development.
- The shadow cast by the existing dwelling has not been shown. It is important to display the existing shadow conditions to assess the extent of the additional shadow.
- DA-14 – Shadow Diagram at 9AM June 21 shows that the proposal overshadows the entire eastern facade of both 24 and 24A The Esplanade. Additional shadow diagrams at 8, 10 & 11 am need to be provided to further assess the overshadowing. Additionally, elevational shadow diagrams to the facades of both 24 & 24A need to be provided to determine the impact on their openings at these hours.
- DA-16 – Shadow Diagram at 3pm June 21 shows that the proposed development severely overshadows the dwelling at 18 The Esplanade. Additional shadow diagrams at 1, 2 & 4pm need to be provided to further assess the overshadowing. Additionally, elevational shadow diagrams to the impacted facades of 18 The Esplanade need to be provided to determine the impact on its openings at these hours.

### **Warringah Local Environmental Plan (LEP) 2011**

The proposed development does not breach controls found in the WLEP 2011.

### **Warringah Development Control Plan (DCP) 2011**

The following section of this letter judges the proposed development at 20 The Esplanade against the Warringah Development Control Plan 2011 (WDCP). Below proves how the proposed design breaches numerous outcomes and controls found in the DCP, and thus Council should not grant approval to the current scheme.

#### **B1. Wall Heights:**

Although the wall height complies with the code, it should be noted that the use of flat roof with parapet wall increases the wall height near the boundaries compared to a roof form such as a gable and encroaches on the Side Boundary Envelope as per B3 below.

#### **B2. Number of Storeys**

The proposed development seeks to replace a one storey dwelling with a new, two storey dwelling. Although the proposed development sits under the 8.5m height line, it is asked that the proposed second storey have an increased front-setback to reduce the impact of overshadowing, view loss and privacy to the neighbouring dwelling at 24 The Esplanade.

#### **B3. Side Boundary Envelope:**

The Warringah DCP 2011 requires any proposed development on this site to sit within a building envelope determined by projecting plans at 45 degrees from a height of 4m above the existing ground level at the side boundaries. The proposed development designed by Shobha Designs

breaches this control significantly along both side boundaries; the development breaks the control for a total of 13.8m to the eastern side boundary and a distance of 12.8m to the western side boundary.

This breach of the B3 Control is unnecessary and adversely affects the neighbouring properties and the entire streetscape. Firstly, the proposed design completely fails to consider the solar access to its neighbouring properties which is particularly evident when assessing its failure to comply with the Side Boundary Envelope control. The use of a flat roof/parapet increases the bulk and wall height to the side boundaries when compared to a hipped/gable roof.

The encroachment of this proposed development's side boundary building envelope should not be allowed, and instead Shobha Design should re-evaluate their design to reduce its negative impacts (solar access, visual bulk, privacy & view loss) to adjacent neighbours.

It should also be noted that the Front Elevation does not show the windows W19 or W31, which further encroach on the 'building envelope' control. It is the Architect's responsibility to ensure all design features are included in the drawings to make an accurate assessment of the proposal.

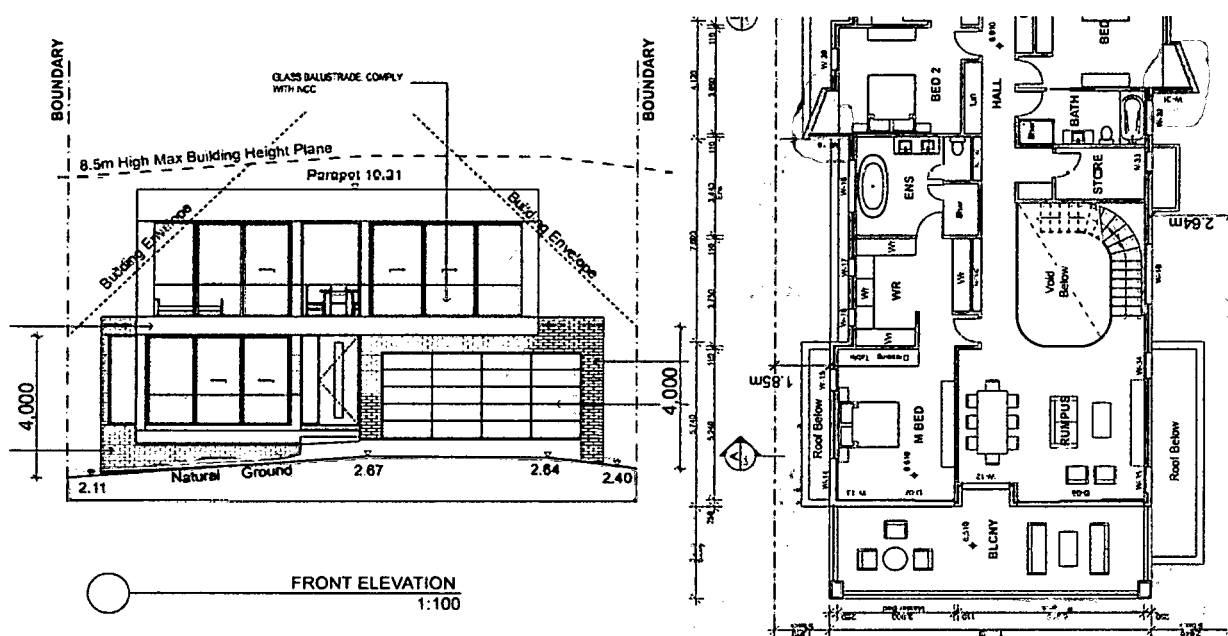


Figure 1. Front Elevation shows the clear breach of B3 control. Further, the architect has not drawn the windows W-31 or W-19 that further obstruct the 'Side Boundary Envelope'.

## B6. Merit Assessment of Side Boundary Setback

It is agreed that the proposed development of 20 The Esplanade adheres to the 0.9m side setback control outlined in the Warringah DCP 2011. However, it is asked that a merit assessment is made to increase the side setback to the western boundary as the second storey addition will have considerable impact on the solar access on all bedrooms in the dwelling at 24 The Esplanade, particularly those to the southern wing which solely rely on light penetrating the windows facing this boundary. Elevational shadow diagrams need to be prepared by the applicant to better demonstrate the negative impact of the proposed development on these windows of the neighbouring dwelling.

## B7. Front Boundary Setback

The DCP dictates a 6.5m front setback applies to this site; it is agreed that the proposed dwelling meets this minimum. However, the following objectives of this DCP control have not been met by the proposed development:

- To maintain the visual continuity and pattern of buildings and landscaped elements
- To protect and enhance the visual quality of streetscape and public spaces
- To achieve reasonable view sharing

The proposed front setback is approx. 6 m less than the existing dwelling's setback. This is significant as the new setback deviates from the pattern of staggered front setbacks that follow the angle of 'The Esplanade' and sits closer to the street than its direct neighbour at 24 The Esplanade. Evidence of how this deviation of the front setback pattern adversely affects the overall streetscape can be found when looking at the dwelling at 16 The Esplanade which also encroaches beyond neighbouring dwellings. The result is a dwelling that does not appear to sit naturally in its context and that significantly impacts vistas from neighbouring dwellings. It is hoped that the applicant can submit amended plans with a front setback that is sympathetic to its context & streetscape and does not encroach the existing dwelling's front setback, particularly with an addition of a second story which currently further encroaches on this new front setback.

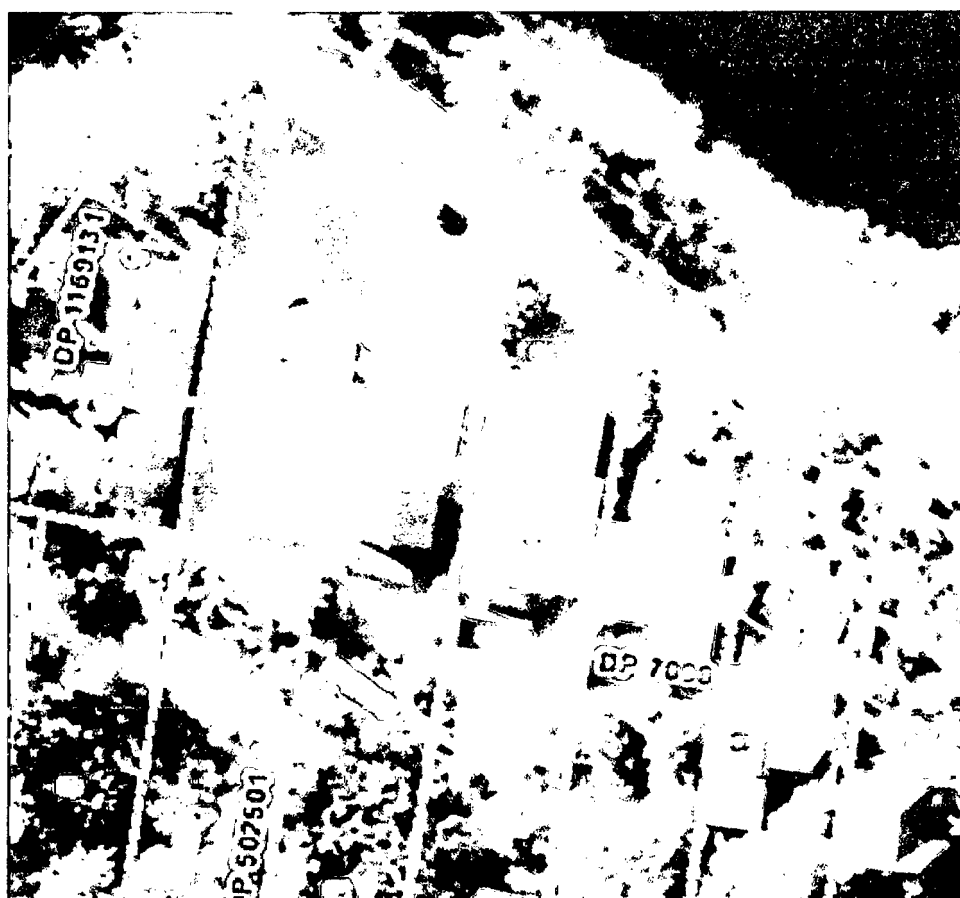


Figure 2. Six Maps - Existing pattern of front setbacks facing The Esplanade

## **B8. Merit assessment of front boundary setbacks**

B8 outlines that Council will determine the appropriate alignment of buildings to road frontages on a merit basis and will have regard to the streetscape, amenity of surrounding properties and setbacks of neighbouring development. In addition to points raised in section B7 above; it should be noted that the proposed reduction of the front setback will negatively impact the amenity of the dwelling at 24 The Esplanade, due unnecessary view loss and solar access reduction to the east-facing windows to the ground and first floor bedrooms. It is requested that the proposed development is altered so that it maintains the existing dwelling's front setback to the ground floor level, and that the proposed first floor front setback is further increased to minimise adverse solar and view loss consequences to its neighbouring dwelling at 24 The Esplanade. Further, an increased setback to the first floor will help the proposed development reduce its overall bulk and scale, and will sit better within the streetscape as it is a common architectural feature of the area and street.

## **Part D - Design**

### **D6. Access to Sunlight**

At least 50% of the required area of private open spaces of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.

The shadow diagrams submitted (DA-14, 15, 16) are insufficient as they do not show neighbouring window locations, nor do they label the addresses correctly as 24A is missing on the diagram. It is clear from the 9AM Winter diagram, and the 3pm Winter diagram that the proposed development significantly overshadows its direct neighbours. Further hourly diagrams need to be submitted in addition to elevational shadow diagrams showing the extent of the overshadowing to neighbouring openings throughout the day. It should be noted that the rear wing of bedrooms to 24 The Esplanade only have windows facing east, which is the facade directly impacted by the overshadowing of the proposed design.

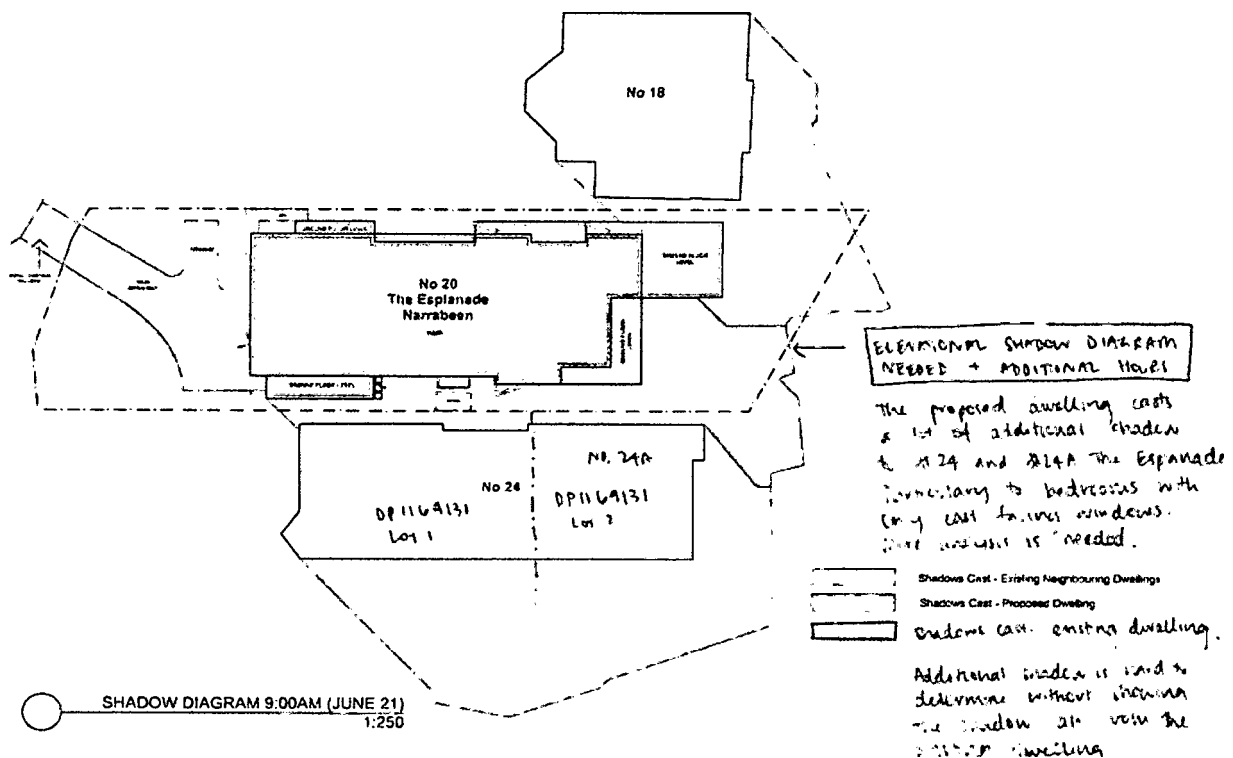


Figure 3. 9AM Winter Shadow Diagram - excessive overshadowing and incorrect labelling of neighbouring dwellings.

## D7. Views

The objectives of this control are to allow for reasonable sharing of views and to encourage innovative design solutions to improve the urban environment. In both cases, the proposed development fails to meet these objectives. The proposed front set-back encroaches the existing front setback by approximately 6m, with a second storey dwelling proposed to replace a single storey dwelling. The culmination of both factors significantly reduces the views offered from the ground floor & first floor north-eastern bedrooms of the dwelling at 24 The Esplanade and is therefore unreasonable. As previously mentioned, the proposed development should be altered so that the existing front-set back is maintained to the ground floor and an increased front-setback should be introduced for the first floor to reduce the loss of views.

At a minimum, view loss analysis diagrams should be produced by the applicant to properly assess the impact the proposed development will have on neighbouring vistas.

## D8. Privacy

The proposed development fails to place windows and doors in effective location in order to reduce overlooking into existing openings in neighbouring dwellings. In fact, the proposed windows and doors to the western elevation almost exactly line up with the eastern openings of the dwelling situated at 24 The Esplanade. Little care has been taken to create a design that is considerate of its neighbours and their amenity.

## D9. Building Bulk

Firstly, it is to be noted that it is hard to fully assess the overall bulk of the proposed development when the submitted documents do not include a street elevation, nor do they include any drawings

of the direct neighbours in any elevations or sections as is required by Council. Further, the 3D renders provided on the cover page show the proposed building in isolation which inhibits the assessment of the building's bulk, scale, or impact on its immediate context.

However, it is clear from the drawings that have been prepared by Shobha Designs that the proposed design in isolation is excessively bulky and deprived of architectural refine. One of the main contributors to the excessive perceived bulk of the proposal is because the proposed building's front setback is approx. 6.5m closer to the street than that of the existing dwelling. As mentioned earlier, this goes against the pattern of other dwelling's siting on the street and causes the building to appear larger in size due to its prominence.

Another key issue affecting the perceived bulk of the proposal is the use of a flat/parapet roof which encroaches the side boundary envelope (B3 of the WDCP) and maintains a consistent height across the facade of the building, unlike a hipped/gable roof that would appear lower at the eaves/boundaries. See D11 below.

The proposed elevations lack articulation and detail which therefore create a bulkier facade and increased visual building mass.

The submitted Statement of Environmental Effects notes that 'the development is surrounded by landscaped open spaces. As such, the bulk of the development has been minimised'. The Landscape Plan merely suggests a proposed concrete driveway and grassed area with some agapanthus. This does not equate to any thoughtful landscaped area that would aid in the reduction of the building's bulk.

#### **D11. Roofs**

The proposed flat roof does not complement the roof pitch and forms of the existing buildings in the streetscape which are predominantly gable or hipped forms. In the immediate vicinity, there are no other flat roofs with parapets as per the proposed. The siting, reduced front setback and the introduction of a second storey would more appropriately suit a more considerate roof form such as a gable roof to reduce the bulk and height of the proposed dwelling at the boundaries. This would in turn reduce the numerous negative impacts on neighbouring homes including excessive overshadowing, view loss and bulkiness.



*Figure 4. Existing roof forms of the streetscape of The Esplanade. None of which include the 'parapet/flat roof' form.*

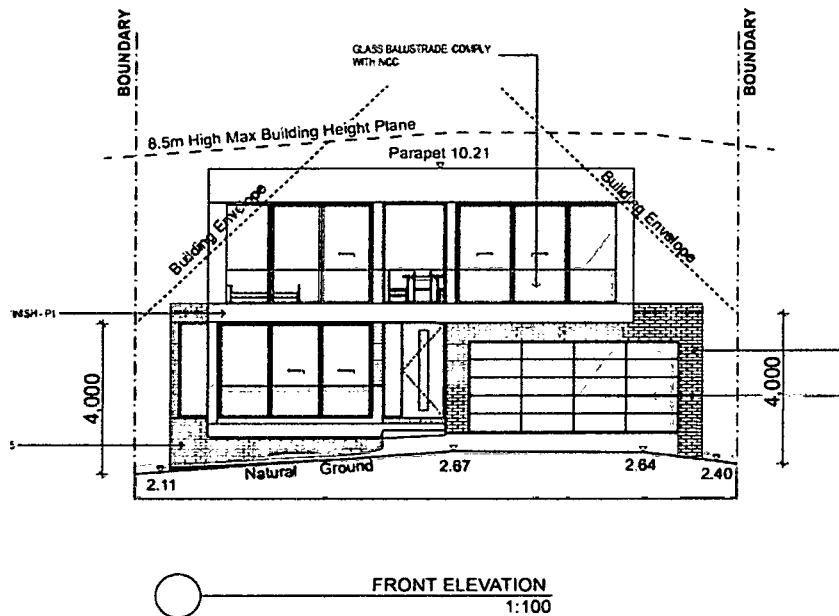


Figure 5. Proposed Front Elevation clearly portrays how the flat roof form breaks Council controls and an inappropriate choice.

## Environmental Planning and Assessment Act 1979 No 203

### Evaluation

#### Matters for consideration:

- a. The provisions of the development control plan.
- b. The likely impact of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.  
The proposed development will have an unfavourable impact on the built environment of The Esplanade as the proposed design lacks finesse, and has not been designed to harmoniously sit within its streetscape. As discussed previously, the reduced front set-back, the imposed excessive bulk of the building and the inappropriate use of a flat roof despite exceeding the side boundary envelope guideline, will all contribute to the proposed dwelling appearing out of place when comparing to its neighbours. Further to this, the proposal's direct neighbours will all experience an unreasonable amount of overshadowing, privacy, and view loss. Further consideration into neighbouring dwelling's amenity is needed.
- c. The suitability of the site for the development

As detailed above, the development as proposed is not suitable for the site due to its adverse effects on its immediate neighbours at both 24 The Esplanade, 24a The Esplanade and 18 The Esplanade. The proposed design breaches the Warringah DCP 2011 as outlined previously. It is also important to note that is very hard to assess the proposal's relationship to the site when no neighbouring dwellings have been included in elevations, sections or 3D

renders. Changes to the design need to be made and revised drawings need to include elevations, outlines and RLs of the adjoining buildings.

## Conclusion

As clearly demonstrated above, the proposed development designed by Shobha Design at 20 The Esplanade, Narrabeen does not meet the minimum requirements for approval. The applicant should re-evaluate the current design to mitigate its current unreasonable impact on neighbour's views, solar access and privacy. Any new documents should clearly demonstrate the proposed dwelling in its immediate context, with elevations and heights of neighbouring dwellings included, to be able to accurately assess its impact.

The site overlooking Narrabeen Lake is a beautiful site and is deserving of a considerate architectural response. The applicant should reassess the submitted scheme to produce a dwelling that will elevate the built environment of Narrabeen and will harmoniously sit within The Esplanade streetscape.

My wife, Nicolette Oliver, and son, Thomas Oliver, have submitted separate submissions in relation to the proposed development at 20 The Esplanade. They have detailed the physical and mental impact that the proposed submission will have on our severely disabled son, Thomas.

Yours sincerely



Gary Oliver

| DRAWING No. | DESCRIPTION                      |
|-------------|----------------------------------|
| DA-01       | COVER SHEET                      |
| DA-02       | SITE PLAN & SITE ANALYSIS        |
| DA-03       | GROUND FLOOR PLAN                |
| DA-04       | FIRST FLOOR PLAN                 |
| DA-05       | ROOF PLAN                        |
| DA-06       | FRONT ELEVATION                  |
| DA-07       | EAST ELEVATION                   |
| DA-08       | REAR ELEVATION                   |
| DA-09       | WEST ELEVATION                   |
| DA-10       | SECTION A & B                    |
| DA-11       | SECTION C                        |
| DA-12       | DEMOLITION & WASTE SITE MANAG... |
| DA-13       | CUT & FILL PLAN                  |
| DA-14       | SHADOW DIAGRAM (9:00AM)          |
| DA-15       | SHADOW DIAGRAM (12 NOON)         |
| DA-16       | SHADOW DIAGRAM (3:00PM)          |
| DA-17       | SCHEDULE OF EXTERNAL FINISHES    |

#### AREA STATEMENT

**SITE AREA** = 833.1 m<sup>2</sup>

#### LANDSCAPED AREA REQUIRED AS PER DCP

**40% OF SITE AREA TO BE LANDSCAPED** = 333.24 m<sup>2</sup>  
(Min 2m wide & Min 1m deep soil)

*Swimming Pools & rock outcrops included in*

*landscaped area as per DCP*

**DEEP SOIL AREA PROVIDED** = 334.76 m<sup>2</sup>

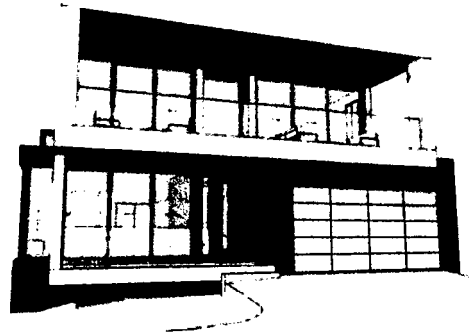
= (40% of site area)

#### PRIVATE OPEN SPACE REQUIRED AS PER DCP

**Min 80m<sup>2</sup>**

*(Min 5m wide & directly accessible from Living area and located at the rear)*

**PRIVATE OPEN SPACE PROVIDED** = 85 m<sup>2</sup>



— SUBJECT SITE

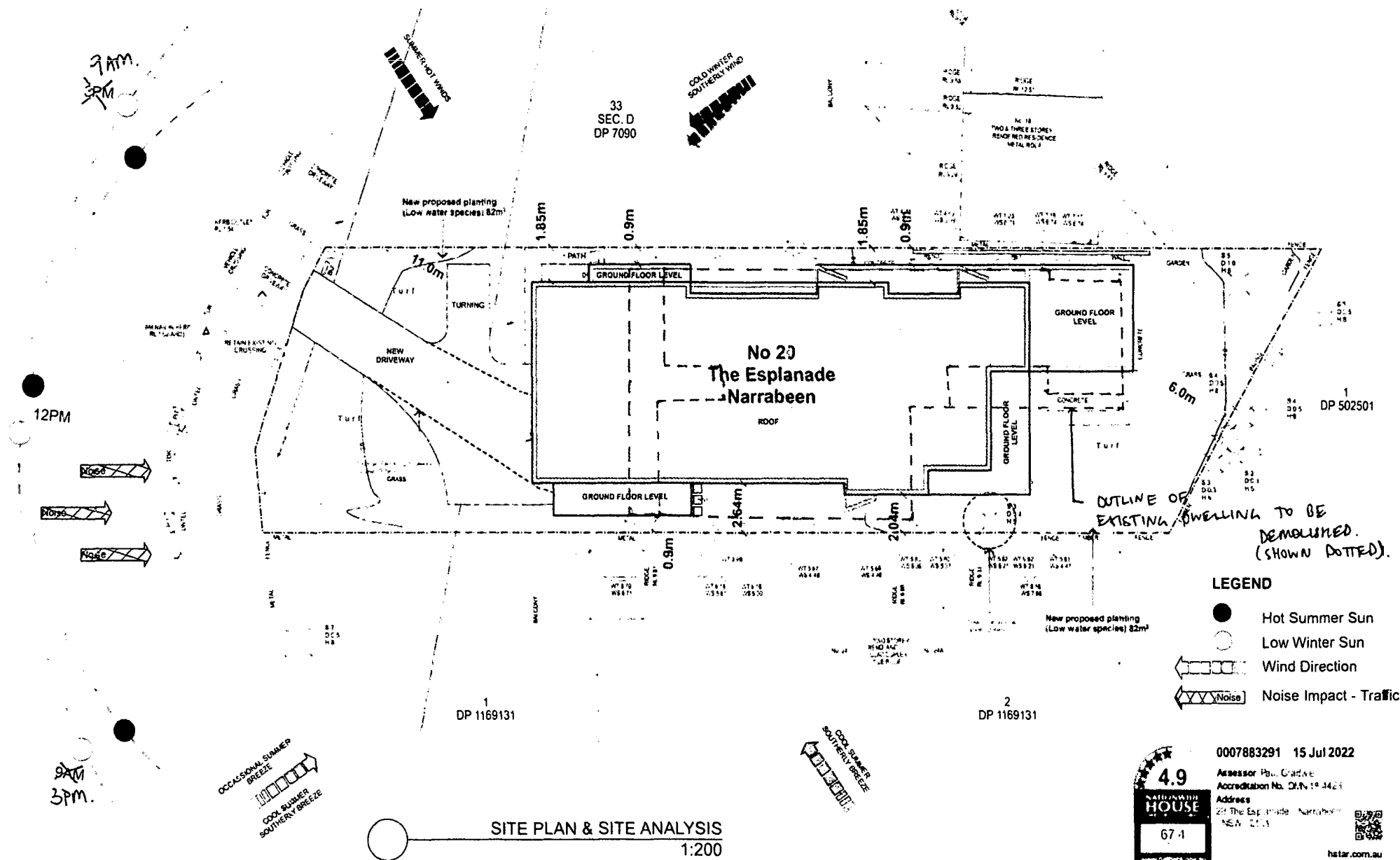
← RENDERERS ARE NOT SHOWN WITH STREET/NEIGHBOUR'S DWELLING CONTEXT.

**SHOBHA DESIGNS**  
ARCHITECTS & URBAN DESIGNERS

Suite 19 1-7 Jordan St, Glebeville NSW 2111  
PHONE : 02 98790020  
MOBILE : 0418112677  
EMAIL : nish@shobhadesigns.com.au

**Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen**

shobha



# **SITE PLAN & SITE ANALYSIS**

1:200

Architects.

**SHOBHA DESIGNS**

ARCHITECTS & URBAN DESIGNERS

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shobha

**PROJECT**

Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen

**CLIENT**

Jason Smith

**Drawing Name**

**SITE PLAN & SITE ANALYSIS**

**General Notes**

The Builder shall check all dimensions and levels on site prior to construction.

Notify any errors, discrepancies or omissions to the architect.

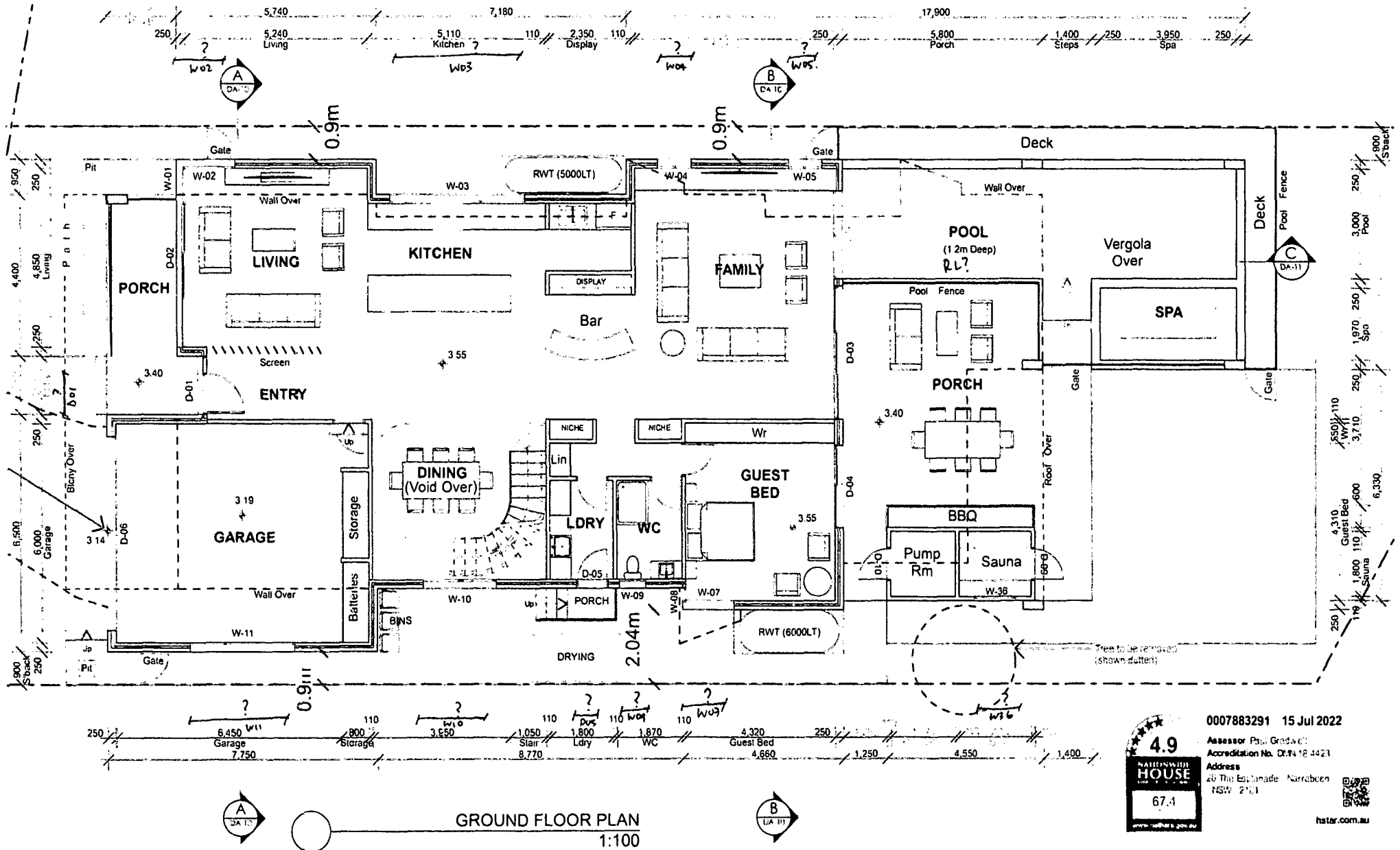
Drawings shall not be used for construction on any poles with, issued or construction.

Do not scale drawings.

All boundaries and contours subject to survey.



| Amendments         |                      |            |      | Date of Issue |                | 20-Jul-22 |   |
|--------------------|----------------------|------------|------|---------------|----------------|-----------|---|
| Transmittal Set ID | Transmittal Set Name | Checked by | Date | Drawing Scale | Drawn By       | Issue     |   |
| A                  | DA Issue to Council  | NM         |      | 1:200         | Sandy Martikas |           |   |
|                    |                      |            |      | Layout ID     | Checked By: NM |           |   |
|                    |                      |            |      | DA-02         |                |           | A |



Architects:

**SHOBHA DESIGNS**  
ARCHITECTS & URBAN DESIGNERS

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shobha

**PROJECT**

Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen

**CLIENT**

Jason Smith

**Drawing Name**

GROUND FLOOR PLAN

**General Notes**  
The B. User shall check all dimensions and levels on site prior to construction.  
Notably any errors, discrepancies or omissions to the architect.  
Drawings shall not be used for construction purposes until issued for construction.  
Do not scale drawings.  
A. boundaries and contours subject to survey

**Amendments**

| Transmittal Set ID | Transmittal Set Name | Checked By | Date |
|--------------------|----------------------|------------|------|
| A                  | DA Issue to Council  | NM         |      |

**Date of Issue**

20-Jul-22

**Drawing Scale**

Drawn By **Sandy Martikas**

**1:100**

Checked By: **NM**

**Layout ID**

**Issue**

**DA-03**

**A**

0007883291 15 Jul 2022

Assessor Paul Grady

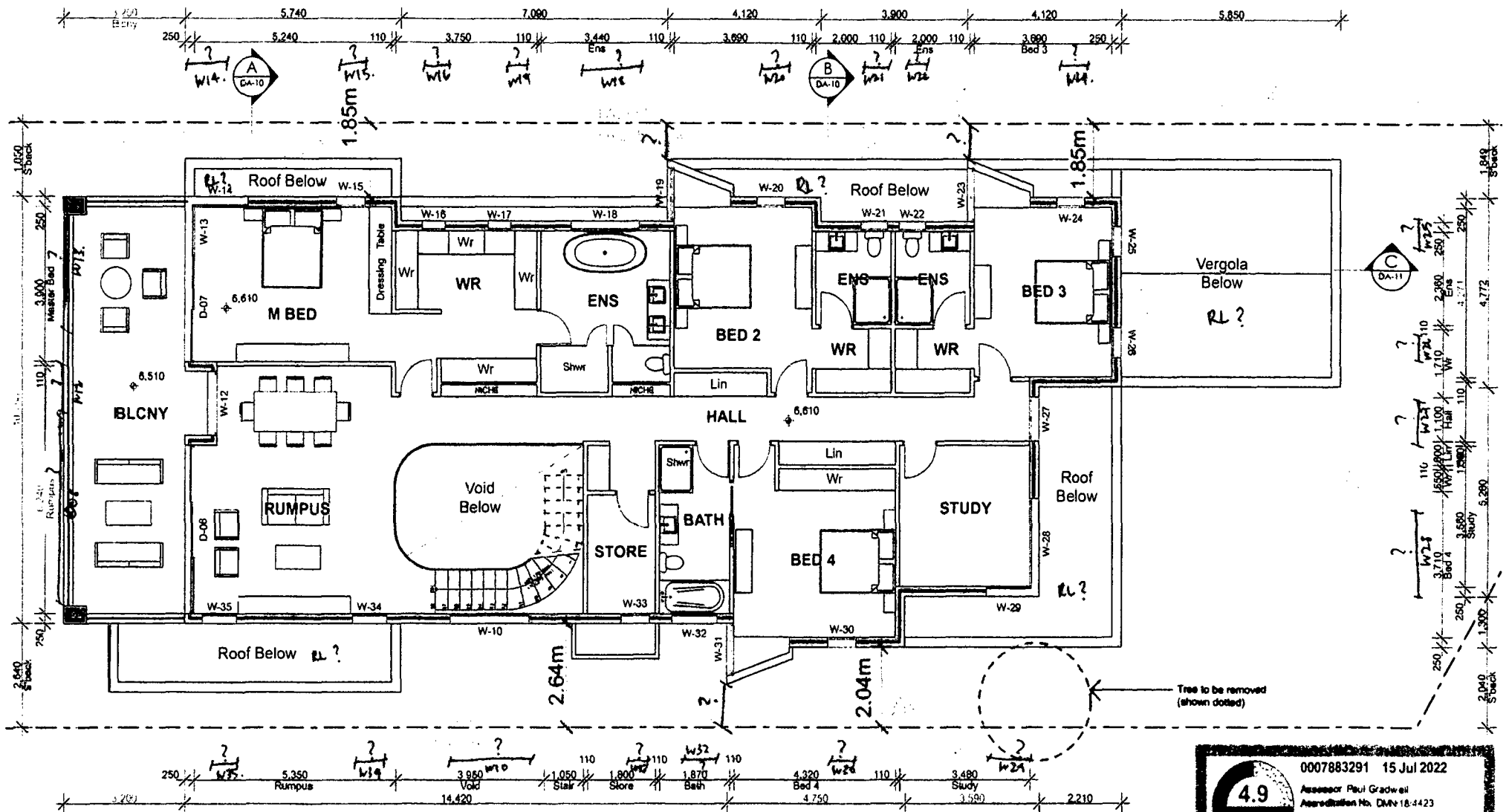
Accreditation No. DA-18-4423

Address

20 The Esplanade Narrabeen

NSW 2111

hstar.com.au



**4.9 HOUSE**  
67.4

0007883291 15 Jul 2022  
Assessor: Paul Gradwell  
Accreditation No. DMN 18-4423  
Address:  
20 The Esplanade, Narrabeen  
NSW, 2101

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Architects:

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**shobha**

PROJECT

Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade, Narrabeen

CLIENT

Jason Smith



Drawing Name

FIRST FLOOR PLAN

General Notes  
The Builder shall check all dimensions and levels on site prior to construction.  
Verify any errors, discrepancies or omissions to the architect.  
Drawings shall not be used for construction purposes until issued for construction.  
Do not scale drawings.  
All boundaries and contours subject to survey.

Amendments

| Transmitted Set ID | Transmitted Set Name | Checked by | Date |
|--------------------|----------------------|------------|------|
| A                  | DA Issue to Council  | NM         |      |

Date of Issue

20-Jul-22

Drawing Scale

Drawn By: Sandy Marikas

1:100

Checked By: NM

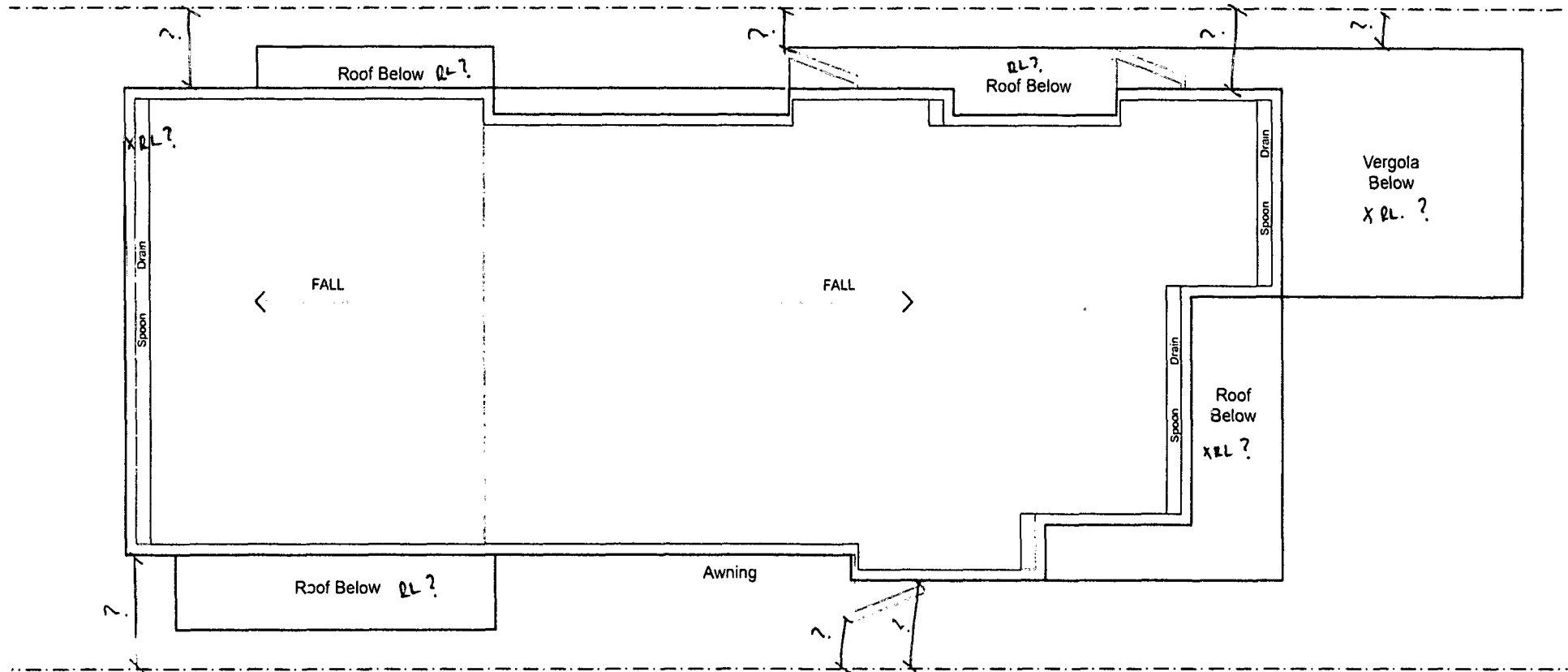
Layout ID

Issue

DA-04

A

NO ROOF PLAN SHOWN FOR '18 THE ESPLANADE'



NO ROOF PLAN SHOWN FOR '24 THE ESPLANADE'

NO ROOF PLAN SHOWN FOR '24A THE ESPLANADE'

ROOF PLAN  
1:100



0007883291 15 Jul 2022

Assessor: Paul Gradoni

Accreditation No. DA-18-4423

Address

20 The Esplanade, Narrabeen

NSW 2101



hstar.com.au

Architects:

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shobha

PROJECT

Demolition of Existing Structures & Construction of a  
New 2-storey Dwelling and Swimming Pool at 20 The  
Esplanade Narrabeen

CLIENT

Jason Smith

Drawing Name

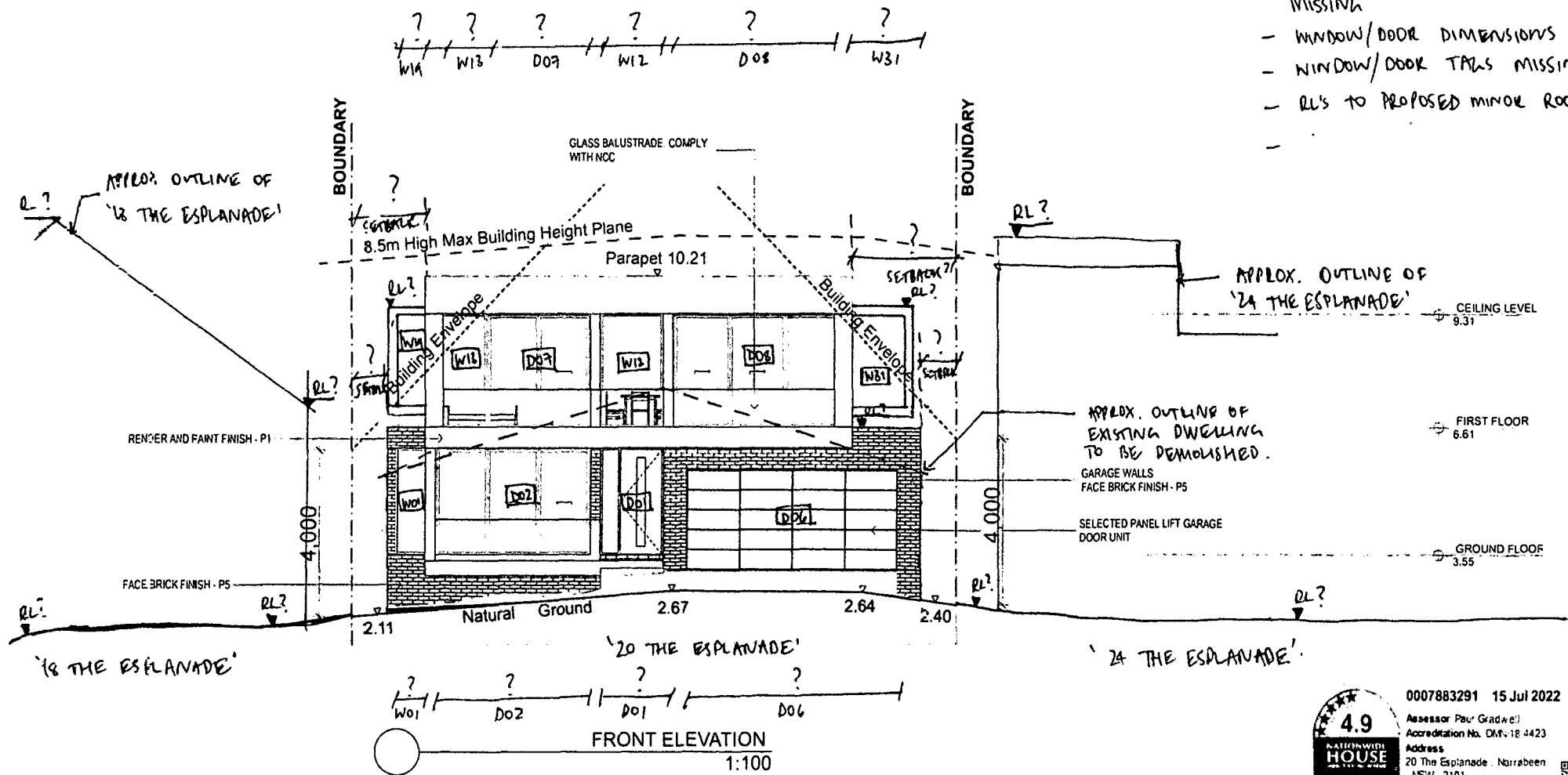
ROOF PLAN

General Notes

The Builder shall check all dimensions and levels on site prior to  
construction.  
Noisy or other disturbances or construction to the architect.  
Drawings shall not be used for construction purposes unless issued or  
approved by the architect.  
Some scale drawings  
All boundaries and contours subject to survey



| Amendments         |                      |            | Date of Issue |               | 20-Jul-22      |       |
|--------------------|----------------------|------------|---------------|---------------|----------------|-------|
| Transmittal Set ID | Transmittal Set Name | Checked by | Date          | Drawing Scale | Drawn By       | Issue |
| A                  | DA Issue to Council  | NM         |               | 1:100         | Sandy Martikas |       |
|                    |                      |            |               | Layout ID     | Checked By: NM |       |
|                    |                      |            |               | DA-05         |                | A     |



#### GENERAL NOTES.

- ELEVATIONS + RL'S MISSING OF NEIGHBOURING DWELLINGS.
- SETBACK DIMENSIONS MISSING
- EXISTING DWELLING OUTLINE MISSING
- WINDOW/DOOR DIMENSIONS MISSING
- WINDOW/DOOR TABS MISSING
- RL'S TO PROPOSED MINOR ROOFS MISSING

Architects:

**SHOBHA DESIGNS**  
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shobha

#### PROJECT

Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen

#### CLIENT

Jason Smith

#### Drawing Name

FRONT ELEVATION

General Notes  
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Do not scale drawings.  
All boundaries and contours subject to survey.

#### Amendments

| Transmittal Set ID | Transmittal Set Name | Checked by | Date |
|--------------------|----------------------|------------|------|
| A                  | DA Issue to Council  | NM         |      |

#### Date of Issue

20-Jul-22

#### Drawing Scale

1:100

#### Layout ID

DA-06

Drawn By : Sandy Mantikas

Checked By: NM

#### Issue

A



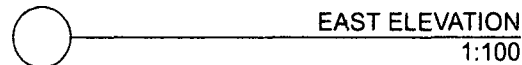
0007883291 15 Jul 2022

Assessor Paul Gradwell  
Accreditation No. DMV-18-4423  
Address  
20 The Esplanade, Narrabeen  
NSW 2101



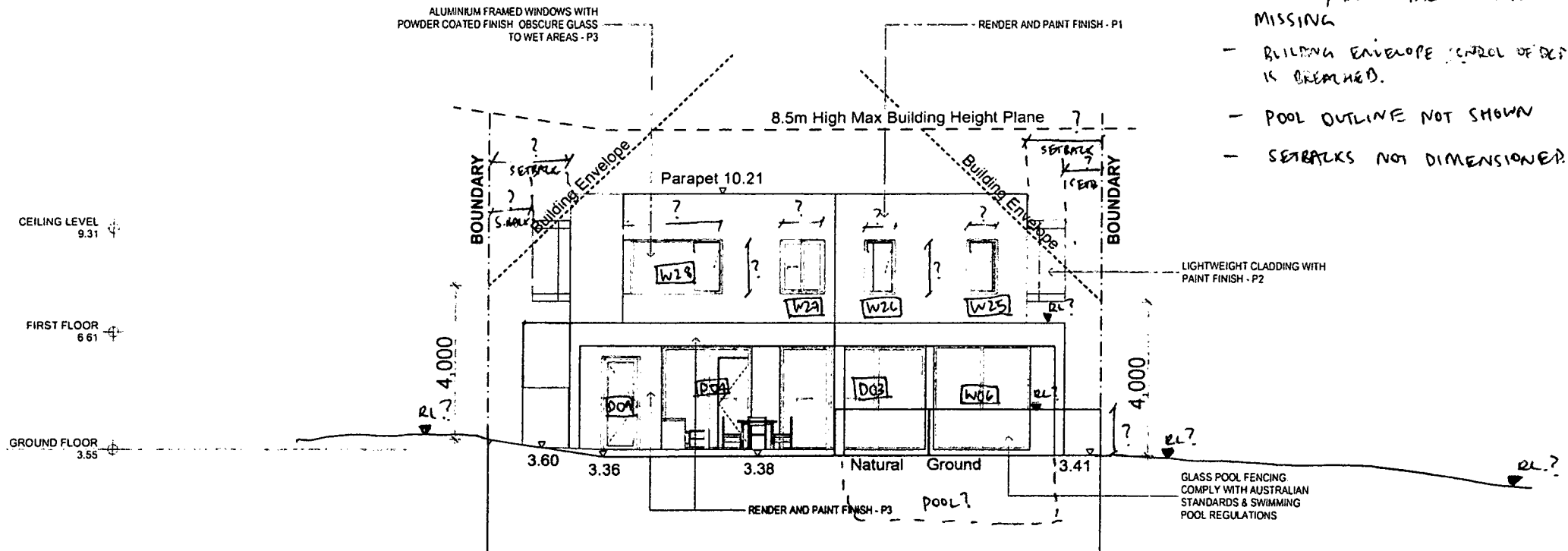
hstar.com.au

- SIDE ELEVATION OF NEIGHBOURING DWELLINGS MISSING.
- EXISTING DWELLING OUTLINE MISSING.
- WINDOW / DOOR TALL + DIMENSIONS MISSING.
- POOL OUTLINE NOT SHOWN.



| Amendments         |                      |            | Date of Issue |                         |
|--------------------|----------------------|------------|---------------|-------------------------|
| Transmittal Set ID | Transmittal Set Name | Checked by | Date          |                         |
| A                  | DA Issue to Council  | NM         |               | 20-Jul-22               |
|                    |                      |            | Drawing Scale | Drawn By Sandy Martikas |
|                    |                      |            | 1:100         | Checked By: NM          |
|                    |                      |            | Layout ID     | Issue                   |
|                    |                      |            | DA-07         | A                       |

- ELEVATIONS + RL'S OF NEIGHBOURING DWELLINGS MISSING.
- OUTLINE OF EXISTING DWELLING MISSING
- WINDOW/DOOR TAL + DIMENSION MISSING
- BUILDING ENVELOPE CONTROL OF DCS IS BREACHED.
- POOL OUTLINE NOT SHOWN
- SETBACKS NOT DIMENSIONED



24A THE ESPLANADE'

20 THE ESPLANADE

REAR ELEVATION  
1:100

'18 THE ESPLANADE'



0007883291 15 Jul 2022  
Assessor Paul Gradwell  
Accreditation No. DM1418 4423  
Address  
20 The Esplanade Narrabeen  
NSW 2101



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**SHOBHA DESIGNS**  
ARCHITECTS & URBAN DESIGNERS

shobha

**Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen**

**Jason Smith**

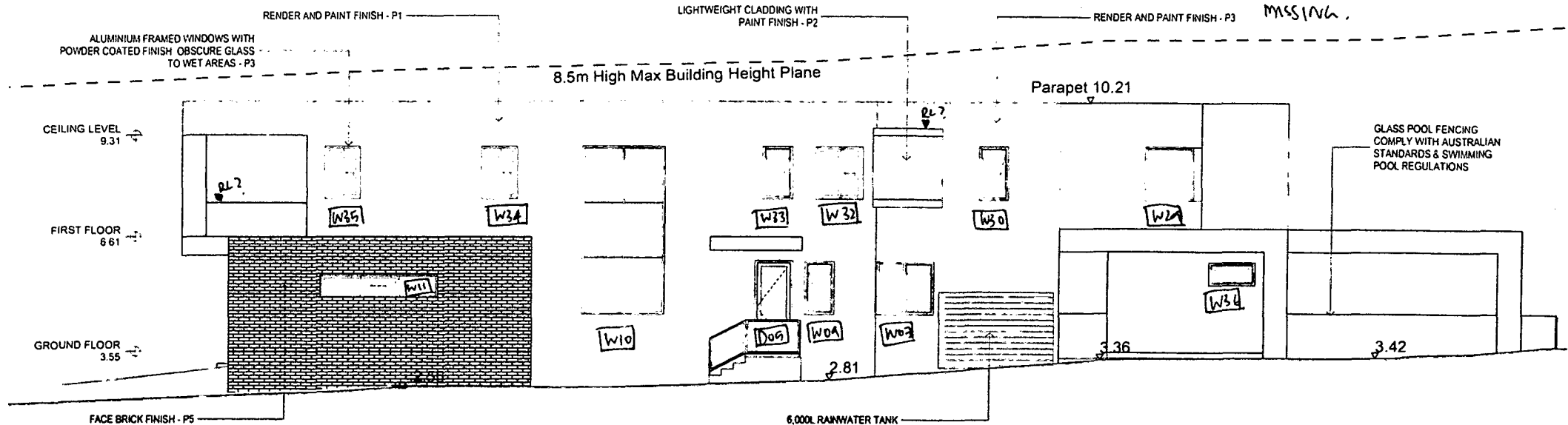
**REAR ELEVATION**

\* General Notes  
The Builder shall check all dimensions and levels on site prior to construction.  
Notify any errors, discrepancies or omissions to the architect.  
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Do not scale drawings.  
All boundaries and contours subject to survey.

| Amendments         |                      |            |      | Date of Issue | 20-Jul-22                 |
|--------------------|----------------------|------------|------|---------------|---------------------------|
| Transmittal Set ID | Transmittal Set Name | Checked by | Date | Drawing Scale | Drawn By : Sandy Martikas |
| A                  | DA Issue to Council  | NM         |      | 1:100         | Checked By: NM            |
|                    |                      |            |      | Layout ID     | Issue                     |
|                    |                      |            |      | DA-08         | A                         |

# GENERAL NOTES:

- SIDE ELEVATIONS OF NEIGHBOURING DWELLING (+RLS) BEYOND, MISSING.
- WINDOW/DOOR TAGS + DIMENSIONS MISSING
- OUTLINE OF EXISTING DWELLING MISSING.



WEST ELEVATION  
1:100



0007883291 15 Jul 2022

Assessor Paul Gradwe  
Accreditation No. DAN 12 4423

Address  
20 The Esplanade Narrabeen  
NSW 2101



hstar.com.au

Architects  
**SHOBHA DESIGNS**  
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PHONE : 02 98780020  
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EMAIL : nilesh@shobhadesigns.com.au

shobha

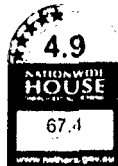
PROJECT  
Demolition of Existing Structures & Construction of a  
New 2-storey Dwelling and Swimming Pool at 20 The  
Esplanade Narrabeen

CLIENT  
Jason Smith

Drawing Name  
WEST ELEVATION

General Notes  
The Builder shall check all dimensions and levels on site prior to  
construction.  
Notably any errors, discrepancies or omissions to the architect  
Drawings shall not be used for construction purposes until issued for  
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| Amendments         |                      |            | Date of Issue | 20-Jul-22                 |
|--------------------|----------------------|------------|---------------|---------------------------|
| Transmittal Set ID | Transmittal Set Name | Checked by | Date          |                           |
| A                  | DA Issue to Council  | NM         |               |                           |
|                    |                      |            | Drawing Scale | Drawn By : Sandy Martikas |
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|                    |                      |            | Layout ID     | Issue                     |
|                    |                      |            | DA-09         | A                         |



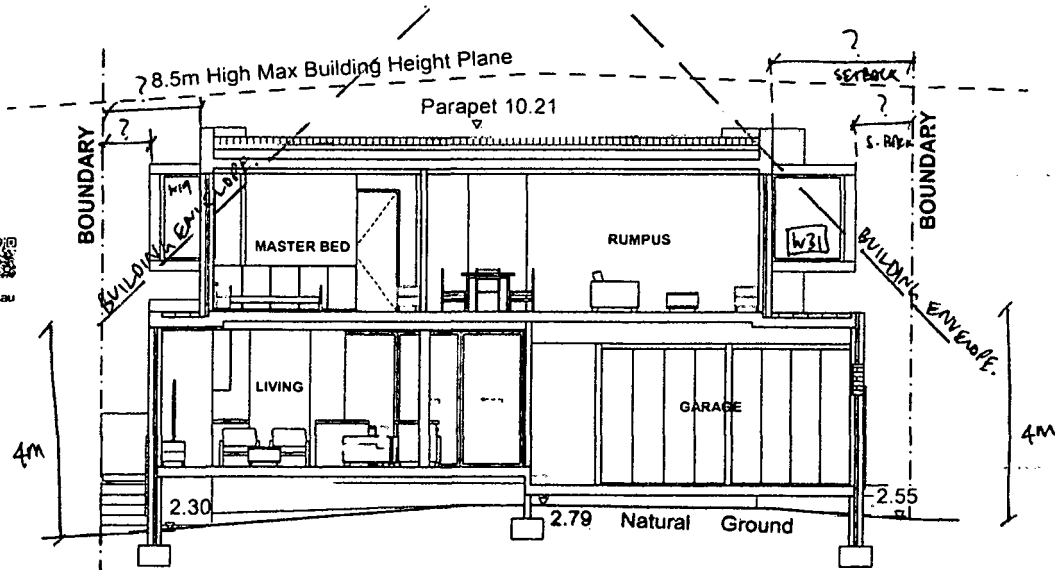
0007883291 15 Jul 2022

Assessor: Paul Gradwell  
Accreditation No. DA/N 18 4423  
Address: 20 The Esplanade, Narrabeen, NSW 2101



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\* OUTLINE OF NEIGHBOURING DWELLING MISSING.



\* OUTLINE OF NEIGHBOURING DWELLING MISSING.

'18 THE ESPLANADE'

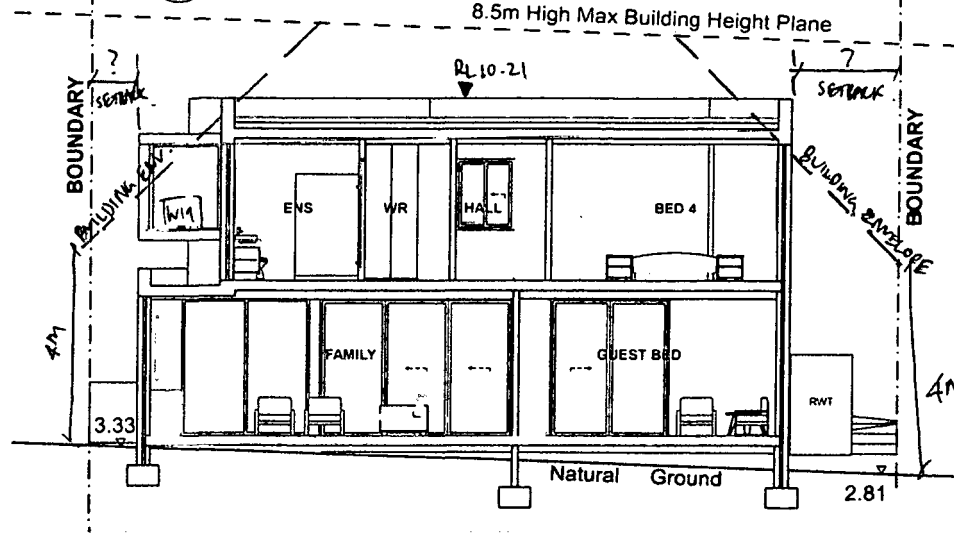
SECTION A  
1:100

'20 THE ESPLANADE'

\* OUTLINE OF EXISTING DWELLING MISSING.  
8.5m High Max Building Height Plane

'24 THE ESPLANADE'

\* OUTLINE OF NEIGHBOURING DWELLING MISSING.



\* OUTLINE OF NEIGHBOURING DWELLING MISSING.

'18 THE ESPLANADE'

SECTION B  
1:100

'20 THE ESPLANADE'

\* OUTLINE OF EXISTING DWELLING MISSING.

'24 THE ESPLANADE'

Architects:

**SHOBHA DESIGNS**  
ARCHITECTS & URBAN DESIGNERS

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EMAIL: nitesh@shobhadesigns.com.au

shobha

PROJECT

Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen

CLIENT

Jason Smith

Drawing Name

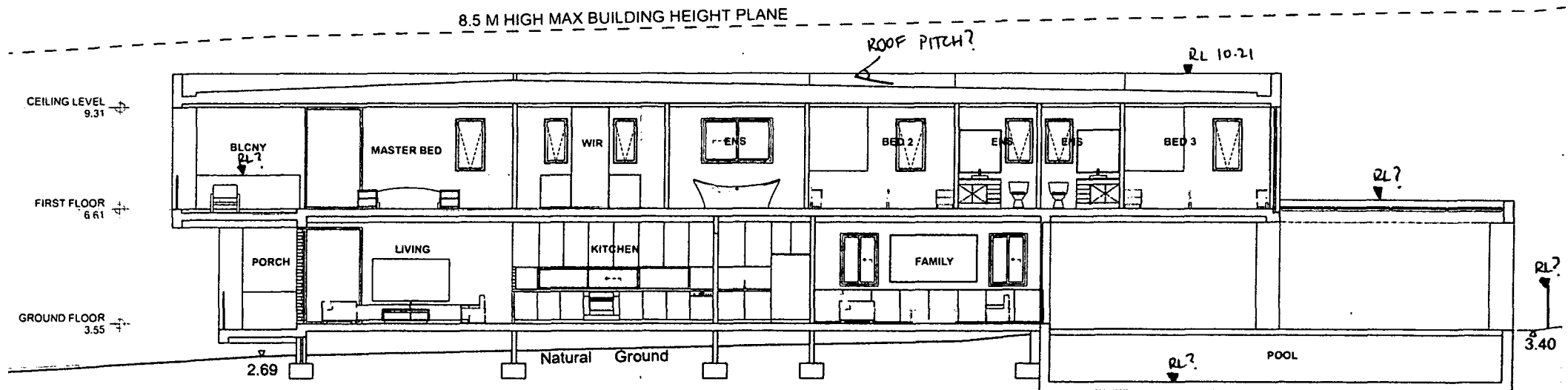
SECTION A & B

General Notes

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Amendments

| Transmittal Set ID | Transmittal Set Name | Checked by | Date | Date of Issue | 20-Jul-22      |
|--------------------|----------------------|------------|------|---------------|----------------|
| A                  | DA Issue to Council  | NM         |      | Drawing Scale | 1:100          |
|                    |                      |            |      | Layout ID     | DA-10          |
|                    |                      |            |      | Drawn By      | Sandy Martikas |
|                    |                      |            |      | Checked By    | NM             |
|                    |                      |            |      | Issue         | A              |



SECTION C  
1:100

\* OUTLINE OF EXISTING DWELLING MISSING.



0007883291 15 Jul 2022

Assessor: Paul Gradwell  
Accreditation No. DA1V18 4423  
Address  
20 The Esplanade Narrabeen  
NSW 2101



hatar.com.au

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**SHOBHA DESIGNS**  
ARCHITECTS & URBAN DESIGNERS

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shobha

PROJECT

Demolition of Existing Structures & Construction of a  
New 2-storey Dwelling and Swimming Pool at 20 The  
Esplanade Narrabeen

CLIENT

Jason Smith

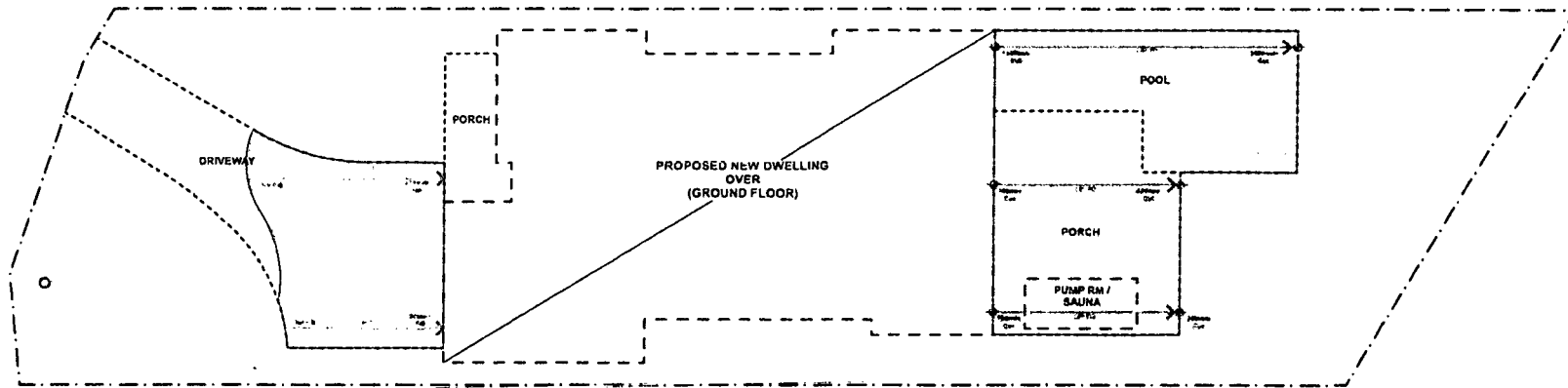
Drawing Name

SECTION C

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construction.  
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| Amendments         |                      |            |      | Date of Issue |                           |
|--------------------|----------------------|------------|------|---------------|---------------------------|
| Transmitter Set ID | Transmitter Set Name | Checked by | Date | Drawing Scale | Drawn By : Sandy Martikas |
| A                  | DA Issue to Council  | NM         |      | 1:100         | Checked By: NM            |
|                    |                      |            |      | Layout ID     | Issue                     |
|                    |                      |            |      | DA-11         | A                         |

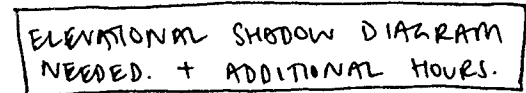




LEGEND  
[Red Line] PROPOSED CUT  
[Green Line] PROPOSED FILL

○ ————— Cut & Fill Plan  
1:200

|                                                                                                                                                                                                                                                            |                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                        |                    |                      |            |      |                            |                           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|----------------------|------------|------|----------------------------|---------------------------|
| <div>Architects:<br/><b>SHOBHA DESIGNS</b><br/>ARCHITECTS &amp; URBAN DESIGNERS</div> <div>Suite 21, 1 - 7 Jordan St, Gladesville NSW 2111<br/>PHONE : 02 98790020<br/>MOBILE : 0418112677<br/>EMAIL : nitesh@shobhadesigns.com.au</div> <div>shobha</div> | <div>PROJECT<br/>Demolition of Existing Structures &amp; Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen</div> <div>CLIENT<br/>Jason Smith</div> <div>z ⊕</div> | <div>Drawing Name<br/>CUT &amp; FILL PLAN</div> <div>General Notes<br/>The Builder shall check all dimensions and levels on site prior to construction.<br/>Not to be used for construction purposes until issued for construction.<br/>Do not scale drawings.<br/>All boundaries and contours subject to survey</div> | Amendments         |                      |            |      | Date of Issue<br>20-Jul-22 |                           |
|                                                                                                                                                                                                                                                            |                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                        | Transmittal Set ID | Transmittal Set Name | Checked by | Date | Drawing Scale              | Drawn By : Sandy Martikas |
|                                                                                                                                                                                                                                                            |                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                        | A                  | DA Issue to Council  | NM         |      | 1:200                      | Checked By: NM            |
|                                                                                                                                                                                                                                                            |                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                        |                    |                      |            |      | Layout ID                  | Issue                     |
|                                                                                                                                                                                                                                                            |                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                        |                    |                      |            |      | DA-13                      | A                         |

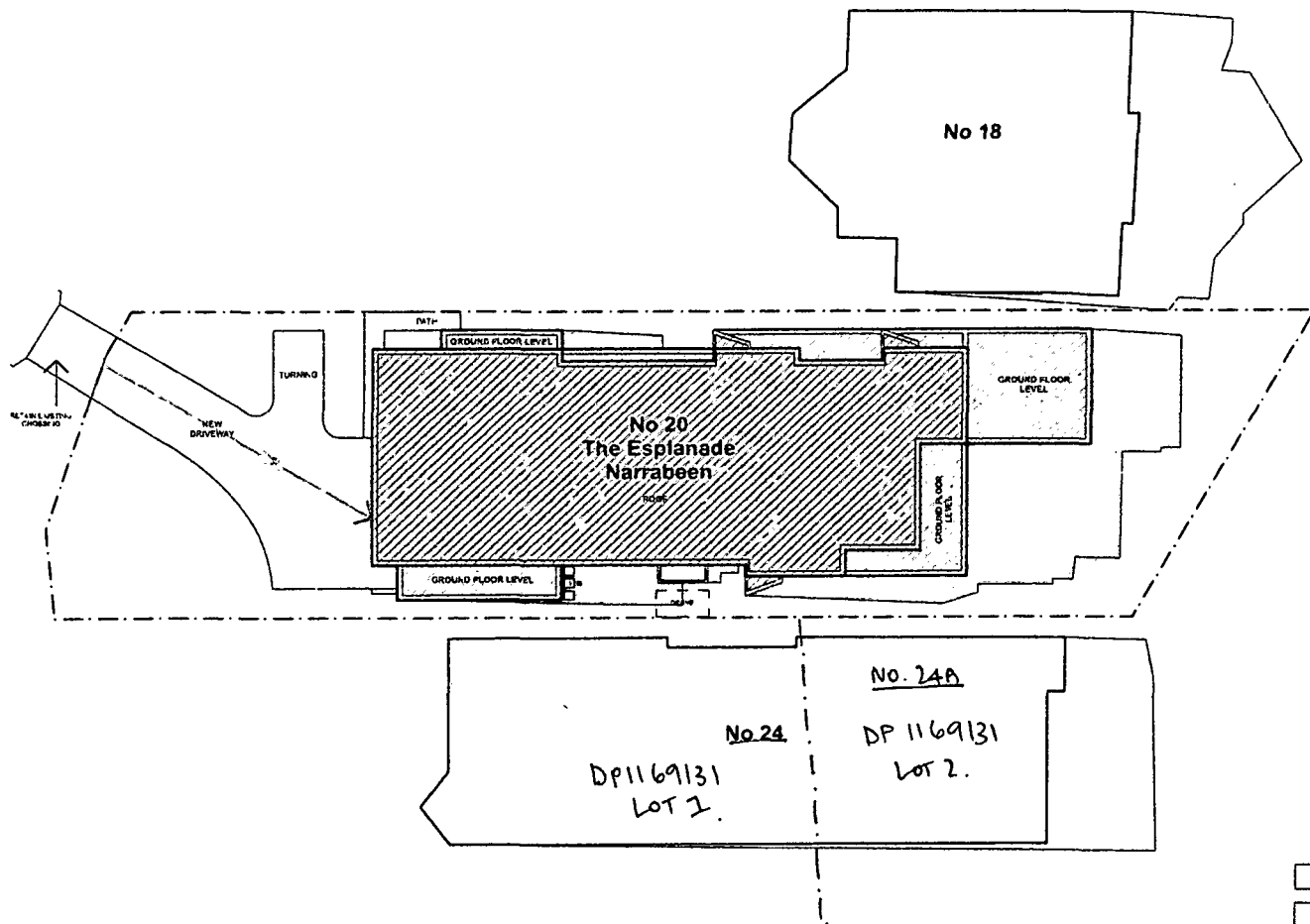


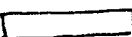
The proposed dwelling casts a lot of additional shadow to #24 and #24A The Esplanade Particularly to bedrooms with only east-facing windows. More analysis is needed.

- ☐ Shadows Cast - Existing Neighbouring Dwellings
- ☐ Shadows Cast - Proposed Dwelling
- ☒ shadows cast- existing dwelling.

Additional shadow is hard to determine without showing the shadow cast from the existing dwelling.

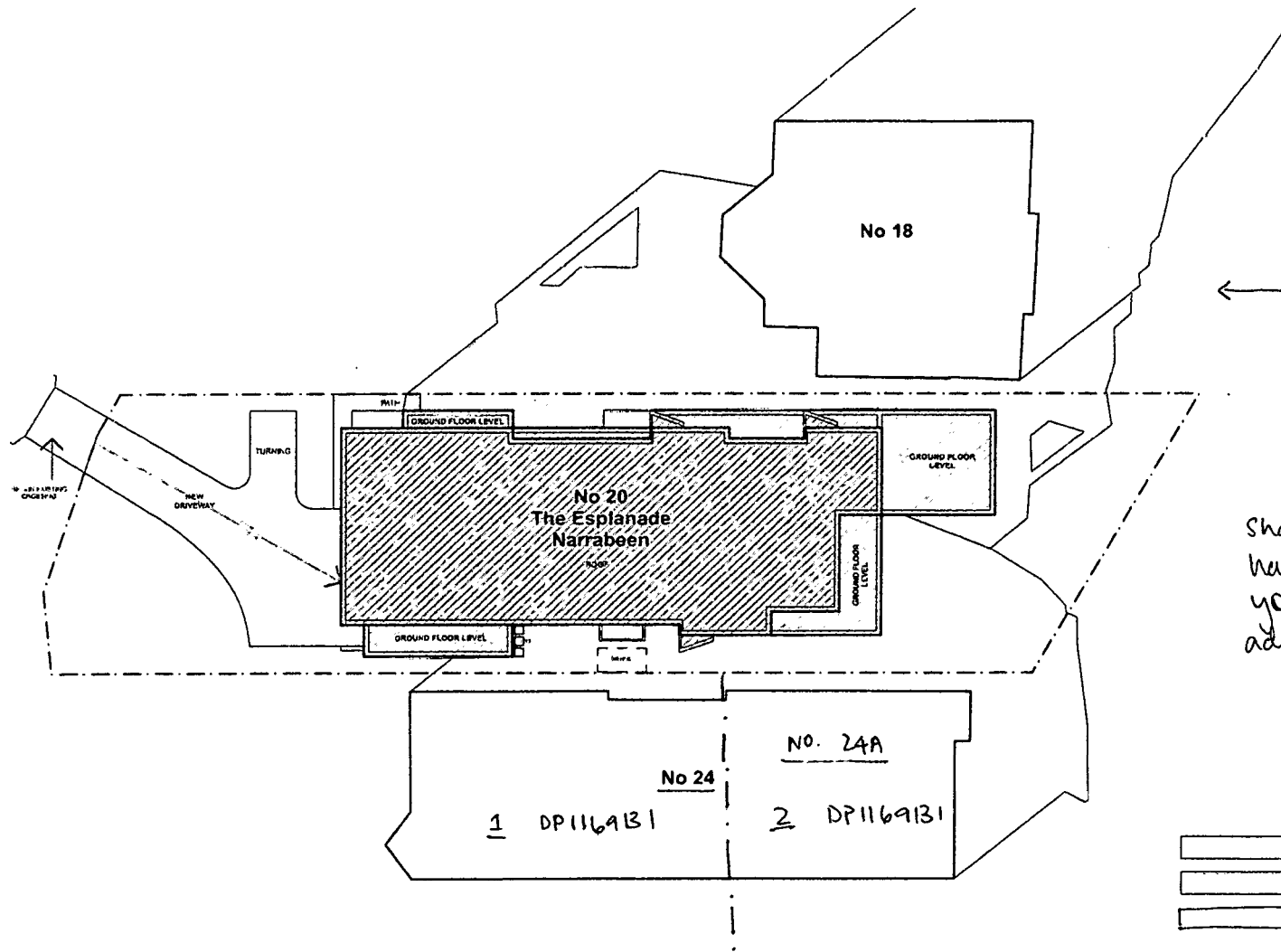
| <div>Architects:</div> <div>SHOBHA DESIGNS</div> <div>ARCHITECTS &amp; URBAN DESIGNERS</div> <div>Suite 21, 1 - 7 Jordan St, Gladstone NSW 2111</div> <div>PHONE : 02 99700020</div> <div>MOBILE : 0416112677</div> <div>EMAIL : nilash@shobhadesigns.com.au</div> |                      | <div>PROJECT</div> <div>Demolition of Existing Structures &amp; Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen</div> <div>CLIENT</div> <div>Jason Smith</div> |      | <div>Drawing Name</div> <div>SHADOW DIAGRAM (9:00AM)</div> <div>General Notes</div> <div>The Builder shall check all dimensions and levels on site prior to construction.</div> <div>Not to any errors, discrepancies or omissions to the architect.</div> <div>Drawings shall not be used for construction purposes until issued for construction.</div> <div>Do not scale drawings.</div> <div>All boundaries and contours subject to survey</div> |  | <div>Amendments</div> <table><thead><tr><th>Transmittal Set ID</th><th>Transmittal Set Name</th><th>Checked by</th><th>Date</th></tr></thead><tbody><tr><td>A</td><td>DA Issue to Council</td><td>NM</td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></tbody></table> |  |  |  | Transmittal Set ID | Transmittal Set Name | Checked by | Date | A | DA Issue to Council | NM |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | <div>Date of Issue</div> <div>20-Jul-22</div> <div>Drawing Scale</div> <div>1:250</div> <div>Layout ID</div> <div>DA-14</div> |  | <div>Drawn By : Sandy Martikas</div> <div>Checked By: NM</div> <div>Issue</div> <div>A</div> |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|--------------------|----------------------|------------|------|---|---------------------|----|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|-------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------------------------------------|--|
| Transmittal Set ID                                                                                                                                                                                                                                                 | Transmittal Set Name | Checked by                                                                                                                                                                                             | Date |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |
| A                                                                                                                                                                                                                                                                  | DA Issue to Council  | NM                                                                                                                                                                                                     |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |
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|                                                                                                                                                                                                                                                                    |                      |                                                                                                                                                                                                        |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |
|                                                                                                                                                                                                                                                                    |                      |                                                                                                                                                                                                        |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |
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|                                                                                                                                                                                                                                                                    |                      |                                                                                                                                                                                                        |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |
|                                                                                                                                                                                                                                                                    |                      |                                                                                                                                                                                                        |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |
|                                                                                                                                                                                                                                                                    |                      |                                                                                                                                                                                                        |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                               |  |                                                                                              |  |



 Shadows Cast - Existing Neighbouring Dwellings  
 Shadows Cast - Proposed Dwelling  
 shadows cast - existing dwelling

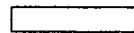
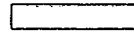
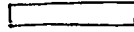
 SHADOW DIAGRAM 12 NOON (JUNE 21)  
 1:250

|                                                                                                                                                                                                                  |                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                         |                         |                                             |                  |      |                         |                                             |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|---------------------------------------------|------------------|------|-------------------------|---------------------------------------------|
| Architects:<br><b>SHOBHA DESIGNS</b><br>ARCHITECTS & URBAN DESIGNERS<br><br>Suite 21, 1 - 7 Jordan St, Gladesville NSW 2111<br>PHONE : 02 98790020<br>MOBILE : 0418112677<br>EMAIL : nilesh@shobhadesigns.com.au | <b>PROJECT</b><br>Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen | <b>Drawing Name</b><br>SHADOW DIAGRAM (12 NOON)                                                                                                                                                                                                                                                                                         | Amendments              |                                             |                  |      | Date of Issue 20-Jul-22 |                                             |
|                                                                                                                                                                                                                  |                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                         | Transmittal Set ID<br>A | Transmittal Set Name<br>DA Issue to Council | Checked by<br>NM | Date | Drawing Scale<br>1:250  | Drawn By : Sandy Martikas<br>Checked By: NM |
| <b>CLIENT</b><br>Jason Smith                                                                                                                                                                                     |                                                           | General Notes<br>The Builder shall check all dimensions and levels on site prior to construction.<br>Not to any errors, discrepancies or omissions to the architect.<br>Drawings shall not be used for construction purposes until issued for construction.<br>Do not scale drawings.<br>All boundaries and contours subject to survey. | Layout ID               |                                             |                  |      | Issue                   |                                             |
|                                                                                                                                                                                                                  |                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                         | DA-15                   |                                             |                  |      | A                       |                                             |



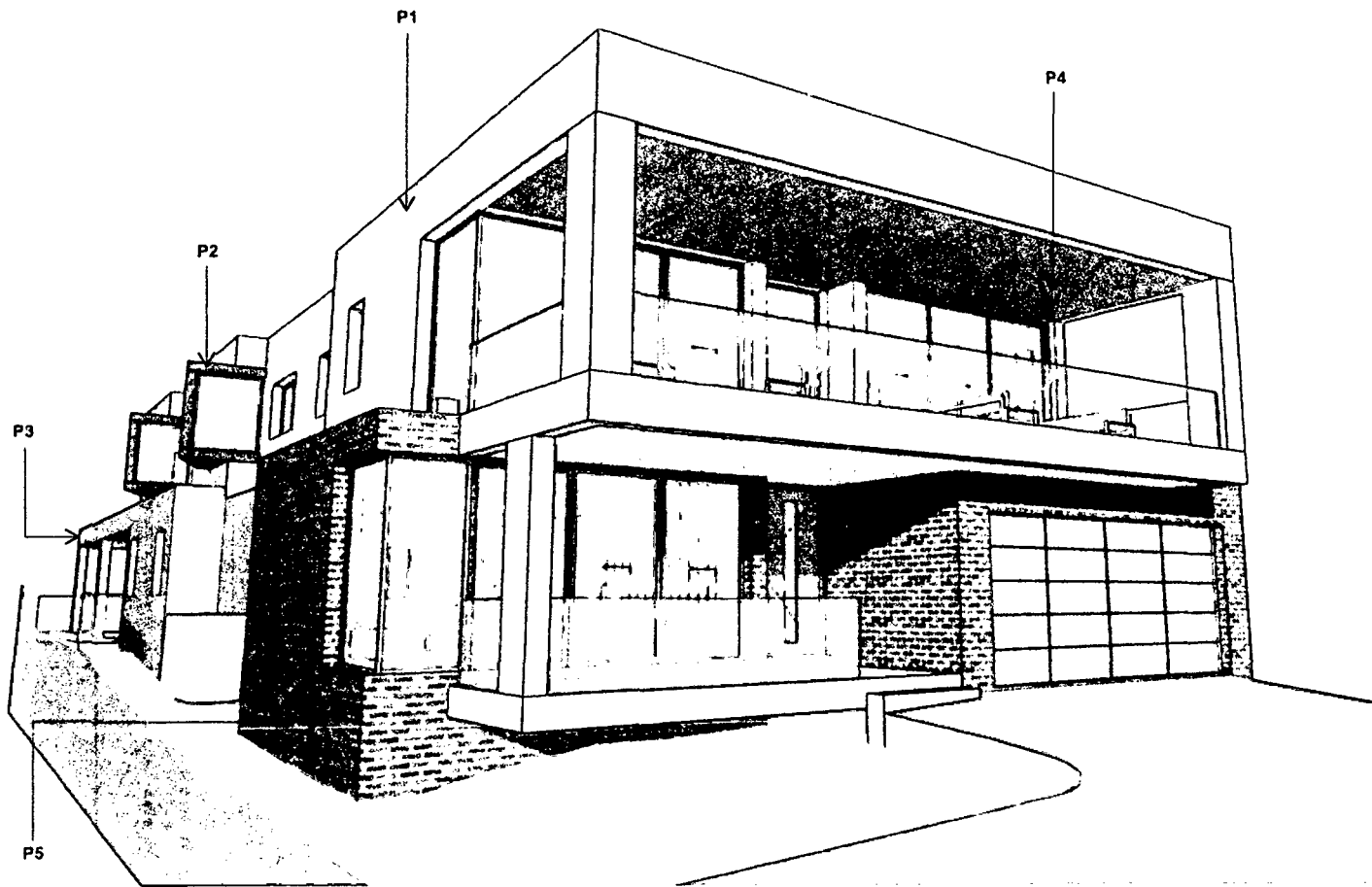
← Elevational shadow diagrams need to be drawn to determine new shadow to #18.

Shadow of existing dwelling has not been shown, therefore you cannot compare/determine additional shadow.

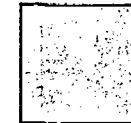
-  Shadows Cast - Existing Neighbouring Dwellings
-  Shadows Cast - Proposed Dwelling
-  Shadows cast - existing dwelling

SHADOW DIAGRAM 3:00PM (JUNE 21)  
1:250

| <div>Architects:</div> <div>SHOBHA DESIGNS</div> <div>ARCHITECTS &amp; URBAN DESIGNERS</div> <div>Suite 21, 1 - 7 Jordan St, Gladesville NSW 2111</div> <div>PHONE : 02 98780020</div> <div>MOBILE : 0418112677</div> <div>EMAIL : nillesh@shobhadesigns.com.au</div> <div>shobha</div> |                      | <div>PROJECT</div> <div>Demolition of Existing Structures &amp; Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen</div> <div>CLIENT</div> <div>Jason Smith</div> <div></div> | <div>Drawing Name</div> <div>SHADOW DIAGRAM (3:00PM)</div> <div><div>General Notes</div><div>The Builder shall check all dimensions and levels on site prior to construction.</div><div>Not to any other, discrepancies or omissions to the architect.</div><div>Drawings shall not be used for construction purposes until issued for construction.</div><div>Do not scale drawings.</div><div>All boundaries and contours subject to survey</div></div> | <table><tr><th colspan="4">Amendments</th></tr><tr><th>Transmittal Set ID</th><th>Transmittal Set Name</th><th>Checked by</th><th>Date</th></tr><tr><td>A</td><td>DA Issue to Council</td><td>NM</td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table> | Amendments |  |  |  | Transmittal Set ID | Transmittal Set Name | Checked by | Date | A | DA Issue to Council | NM |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | <div>Date of Issue</div> <div>20-Jul-22</div> <div><div>Drawing Scale</div><div>1:250</div></div> <div><div>Drawn By</div><div>: Sandy Martikas</div></div> <div><div>Checked By:</div><div>NM</div></div> <div><div>Layout ID</div><div>DA-16</div></div> <div><div>Issue</div><div>A</div></div> |
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| Amendments                                                                                                                                                                                                                                                                              |                      |                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                              |            |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                    |
| Transmittal Set ID                                                                                                                                                                                                                                                                      | Transmittal Set Name | Checked by                                                                                                                                                                                                                                                                                              | Date                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                              |            |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                    |
| A                                                                                                                                                                                                                                                                                       | DA Issue to Council  | NM                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                              |            |  |  |  |                    |                      |            |      |   |                     |    |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                    |
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P1 - RENDER AND PAINT FINISH - DULUX 'SURFMIST' OR SIMILAR



P2 - RENDER AND PAINT FINISH - DULUX 'WOODLAND GREY' OR SIMILAR



P3 - PAINT FINISH - DULUX 'WINDSPRAY' OR SIMILAR



P4 TIMBER CEILING LINING IN WESTERN RED CEDAR OR SIMILAR



P5 - FACE BRICKWORK - PGH DARK & STORMY COLLECTION OR SIMILAR

## SCHEDULE OF EXTERNAL FINISHES

|                                                                                                                                                                                                                     |                                                                                                                                               |                                                      |                    |                      |            |      |                                |                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|--------------------|----------------------|------------|------|--------------------------------|---------------------------|
| <b>Architects:</b><br><b>SHOBHA DESIGNS</b><br>ARCHITECTS & URBAN DESIGNERS<br><br>Suite 21, 1-7 Jordan St, Gladesville NSW 2111<br>PHONE : 02 98790020<br>MOBILE : 0418112877<br>EMAIL : info@shobhadesigns.com.au | <b>PROJECT</b><br>Demolition of Existing Structures & Construction of a New 2-storey Dwelling and Swimming Pool at 20 The Esplanade Narrabeen | <b>Drawing Name</b><br>SCHEDULE OF EXTERNAL FINISHES | <b>Amendments</b>  |                      |            |      | <b>Date of Issue</b> 20-Jul-22 |                           |
|                                                                                                                                                                                                                     |                                                                                                                                               |                                                      | Transmittal Set ID | Transmittal Set Name | Checked by | Date | Drawing Scale                  | Drawn By : Sandy Martikas |
|                                                                                                                                                                                                                     |                                                                                                                                               |                                                      | A                  | DA Issue to Council  | NM         |      |                                | Checked By: NM            |
|                                                                                                                                                                                                                     |                                                                                                                                               |                                                      |                    |                      |            |      | Layout ID                      | Issue                     |
|                                                                                                                                                                                                                     |                                                                                                                                               |                                                      |                    |                      |            |      | DA-17                          | A                         |

**CLIENT**  
Jason Smith

**General Notes**  
The Builder shall check all dimensions and levels on site prior to construction.  
Not to any errors, discrepancies or omissions to the architect.  
Drawings shall not be used for construction purposes until issued for construction.  
Do not scale drawings.  
All boundaries and contours subject to survey.

Nicolette Oliver  
24 The Esplanade  
Narrabeen 2101 NSW  
(email: nicoletteoliver@live.com)

26 August 2022

The Manager  
Northern Beaches Council  
725 Pittwater Rd  
Dee Why NSW 2099

Attention: Adam Croft

Dear Sir

**DA Application No: DA 2022/1252,**  
**ADDRESS: 20 The Esplanade, Narrabeen, 2010**  
**LOT AND DP: Part Lot 32 Sec D DP 7090**



I am writing to you in response to plans submitted for the above address, which is next door to our property, even though the street numbers are not sequential.

## A. PROFESSIONAL FEEDBACK

1. Clause B1 (building wall height) - In accordance with clause B1, walls are not to exceed 7.2 metre from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space) -

The proposed development does not comply, referring to relative levels shown on DA-03 along eastern boundary near section marker A. Multiple spot levels indicate 1.99 and 1.98 and 2.0 RLs. Noting the ceiling RL is at 9.31 metres, this would clearly indicate the wall height of ranging from 7.31 to 7.33 metres along the eastern elevation in that particular area exceeds the permissible wall height of 7.2 metres.

2. Clause B3 (side boundary envelopes) - In accordance with clause B3 of the DCP, buildings on the site must be sited within a building envelope determined by projecting plans at 45 degrees from a height of 4 metres above ground level at the side boundaries -

The proposed development results in major breaches to both side boundary envelopes on both elevations shown in DA-06 . The proposed dwelling results in a building that will be visually dominant by virtue of its height and bulk. The proposed building mass due to this breach will result in any adverse impacts on the solar access available to the adjoining property. The scale of the

building is therefore in breach and not compatible with the adjoining properties, thus should be made to comply with the building envelope control. The variation to the building envelope control does result in unreasonable impacts on the amenity of the adjoining properties, which is not highlighted by the shadow diagrams that accompany the application. In particular windows on the east of the neighbouring dwelling will be blocked of all available direct sunlight, view and amenity to cross ventilation.

3. Clause D1 Landscaped Open Space - In accordance with Part D1 of the WDCP a minimum landscaped area of 40% of the site area is to be provided (333.24 square metres) -

The proposed development states to provide 40% of the site area or 334.76 square metres of landscaped open space. This is subject to review and requires further description/analysis as calculations by others deem the proposed design to not comply.

4. Clause D.1.11 Privacy -

The privacy needs of both residents and neighbours are not considered as both windows and balconies face directly onto windows and balconies to living areas and private open space of adjacent dwellings. Particularly the private balcony to the western neighbour, No.24. Window locations are proposed directly opposite one another, creating direct view sight lines into private bathrooms and private open space. The room labelled rumpus room is clearly a living room which as per D.1.11.3 - Controls, should not be located on the 2nd storey where they are likely to impact on the privacy of adjoining properties. This is exactly what the proposed dwelling has done, therefore not meets the design controls. Pump room is also located close to neighbouring bedrooms, which will create noise nuisance to adjoining residences during all hours of the day/night. The privacy of the adjoining properties has not been protected through the minimum setbacks and sheer amount of windows on the elevations, which all overlook existing windows. This is also emphasised by lack of privacy glass and or screening, which is not applied to windows W-35, W-34, W-10, W-33, W-31, W-30, W-29, W-14, W-15, W-16, W-17, W-18, W-19, W-20. All of which are within 9 metres of neighbouring windows.

5. D9 Building Bulk -

The bulk of the development does not reflect WDCP. The design reads as one mass viewed from the street and neighbours. The development does appear to be excessively bulky when viewed from the street, compared to other dwellings along The Esplanade. The development does not maintain the pattern of detached dwellings and side setbacks. The siting of the dwelling does not provide generous boundary setbacks, it only just meets the minimums, contributing little to none spatial separation and openness between the dwellings. The articulated design of the dwelling does not limit the impact on the adjacent properties in terms of bulk, privacy and overshadowing and will dominate any perceived views enjoyed by others.

## 6. Clause D.1.8 Landscaping -

Landscaped areas on site of proposed dwelling do not meet D.1.8.2 - Performance Criteria. The proposed landscape plan shows tree removal, further increasing views into neighbouring dwellings. The new proposed driveway area is substantially increased compared to the existing driveway, resulting in more surface area increasing runoff and potentially causing overflow to adjoining properties, in particular to 24 The Esplanade, whose front area is lower. This plan does not minimise the amount of hard surfaces (driveways, paved areas etc) and increases surface runoff. Significant views from private property and public areas are not protected as the proposed dwelling obstructs significant views from both adjoining properties.

## B. PERSONAL FEEDBACK

### 1. Our Severely Disabled Son.

Our severely disabled son, Thomas, is 22 years old and has muscular dystrophy. A terminal degenerative neurological disorder. Thomas lives at home with us, and we are his primary carers. He is confined to a wheelchair, a full report by Thomas' OT is attached (Christel Rehab dated 23/8/22). Thomas' bedroom and bathroom has been fully modified and approved by the NDIS to provide a comfortable living and sleeping space for him. His disability requires that he must use his bedroom as a living space for extended periods throughout the day as he suffers from serious pain. The proposed plan will not only block Thomas' view of the Lake but also, he will not have any direct sunlight entering his room. Currently, his room is flooded in sunlight every morning throughout the entire year. Thomas regularly sits in the window to soak up the sun and look at the view. It is his one place of peace and solace. With this proposed plan he will be looking at a brown brick garage wall which will greatly impact his mental health which is fragile due to his terminal and degenerative illness.

Thomas' living room/bedroom is located, in the north-east corner of our house. As stated above it provides Thomas with a view of the Lake and its associated activities, it makes him feel part of the community as he watches people undertaking activities around the Lake. Even though he cannot participate it still provides him with a sense of community engagement. This was the main reason that we bought this house, 11 years ago, so that Thomas could have this outlook from his living room/bedroom and have the best sanctuary that we could provide, as his disease progresses and worsens, he will be further confined to his bedroom.

Also, Thomas works from home part time in a room that has been specifically modified to be his office. With this proposed his working space will now be in constant shadow. At present sunlight streams into his office until midday, providing a happy and comfortable environment for his mental health.

Below are photos taken from Thomas' living room/bedroom at 8am in Winter.



Below is a photo taken in Thomas' office at 8am in Winter.



2. Light From Main Bedroom (on Eastern Side of House) on a Mezzanine Level floods into my main Living Room – which will be blocked by proposed plan

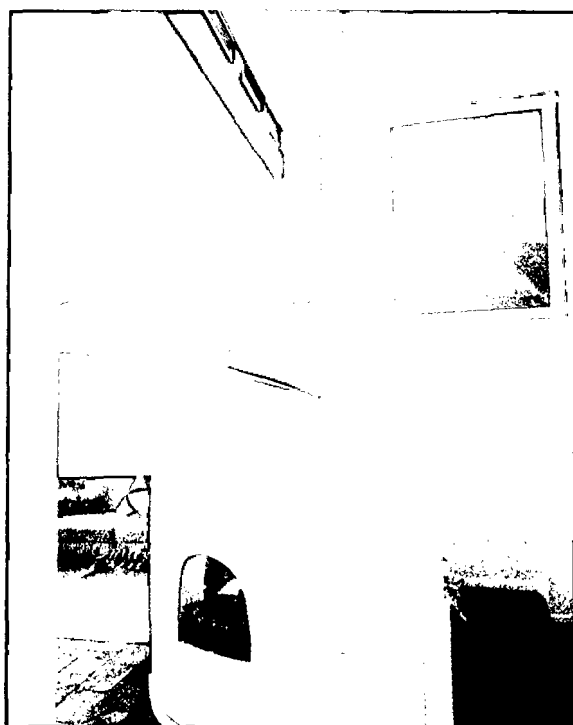
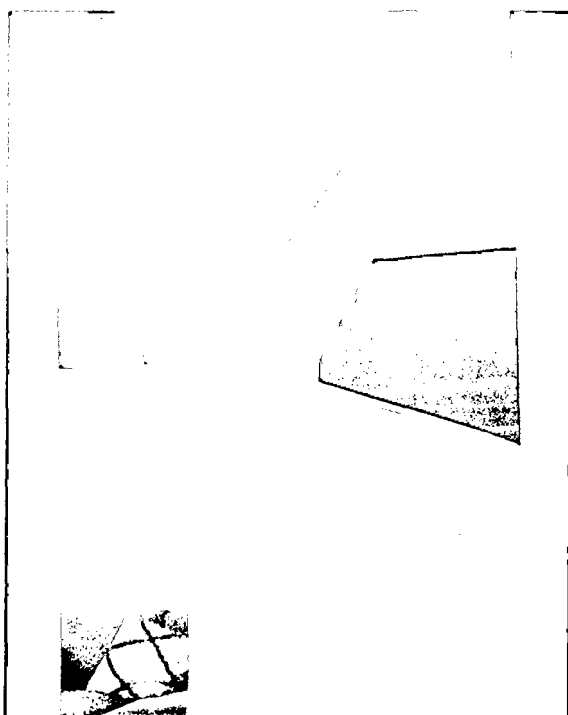
The proposed dwelling will completely restrict my Eastern view and sunlight into my main bedroom. This is critical as the sunlight through the main bedroom window, on the mezzanine level, was specifically architect designed to light up and warm the entire living/dining and kitchen area of the house.

Ironically, the proposed plan has the main bedroom in the north-east corner of the house to obtain maximum views and sunlight but the proposed plan will destroy those views and access to sunlight that I currently have.

Below is a photo from the main bedroom at 7 am in Winter looking East showing view and sunlight.



Below are photos taken at 7 am in Winter showing sunlight coming from master bedroom on the mezzanine level flooding into the main living spaces of the house.



### 3. Loss of Privacy on my Front Balcony Outdoor Space – from proposed plan

The proposed plan will encroach upon one half of my front balcony giving me no privacy from the proposed upstairs balcony and rumpus room. The proposed plan means that I will not have any privacy on the existing main entertaining area of my house, which we utilise extensively.

### 4. Flooding and Hard Surface Areas

Having lived in our house for 11 years, we have experienced 3 floods and witnessed the lake level cross the Esplanade and come into next door's property, the subject of the proposed plan, the water coming to an area that will now be covered by a house with the proposed plan. The extensive increase in hard surface area at the front of the proposed dwelling is a concern as our property is lower and there will be increased run-off onto my property.

## C. MEDIATION

My husband Gary Oliver, is lodging a separate submission on the proposed plan as will my son Thomas.

My husband and I are willing to discuss the proposed plan with the applicants. Modifications to cater for Thomas' medical conditions including both his physical and mental well-being needs to be addressed and resolved.

In addition solar access and privacy needs to be considered for our living areas.

Kind regards



Nicolette Oliver



**Christel Rehab**  
Treatment in your home

August 23, 2022

To Whom It May Concern

**RE: Mr Thomas Oliver DOB: 7/10/99**  
**24 The Esplanade**  
**Narrabeen NSW 2102**

Mr Thomas Oliver is a 22 year old man with a degenerative neurological disorder. It is a progressive and ultimately terminal disease. It results in extreme weakness and physical disability. Mr Oliver uses a powered wheelchair for mobility and has done so for many years. He cannot lift his arms up past his shoulders. To be able to use his hands, he leans on his legs with his elbows for stability. He requires assistance during the night from his mother Mrs Nicolette Oliver to reposition.

Mr Oliver lives with his parents with his parents Mrs Nicolette Oliver and Mr Gary Oliver in their home. They support him will all daily activities. They have modified their home to be accessible to Mr Oliver, to enable him to live with the family and be part of their daily lives.

Mr Oliver also works from home in a part time capacity in an administrative role with modified phone and computer access. Working from home enables his family to support his other daily needs. Mr Oliver has normal cognitive abilities, and living with his disability and prognosis negatively affects his mental health.

Mr Oliver's bedroom is at the front of the house and receives the morning sun. Due to his disability, he often lays in bed for long periods as this is a comfortable and supportive place to rest when he is in pain and fatigued. He is unable to get out of

Page 1/2

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P O B O X 1 6 8 , F o r e s t v i l l e , N S W , 2 0 8 7

phone:0410 358 611, fax: (02) 8021 6214,

web: [www.christelrehab.com.au](http://www.christelrehab.com.au), email: [kylie@christelrehab.com.au](mailto:kylie@christelrehab.com.au), ABN 89 122 013 656



**Christel Rehab**  
Treatment in your home

bed without assistance of others.

When it is difficult for him to access the outside, having the sun coming into his bedroom is very therapeutic for him. The ability for him to be able to see flora and fauna through his bedroom window is positive for his mental health.

There are concerns that the proposed construction at 20 The Esplanade Narrabeen, NSW 2101 would severely affect the natural light coming into this young gentleman's room, negatively impacting on his quality of life. Due to his disability as well as the modifications made to the house, it is not possible for him to change rooms within the house to seek an alternative space.

I am writing to request the consideration of this young man's quality of life within the design of the new dwelling at 20 The Esplanade, Narrabeen NSW 2101.

Kylie Christel

Registered Occupational Therapist

B.App.Sc. (Occ Ther), M.App.Mgt.(Hth)

Ph: 0410 358 611