



R 79355

Pittwater Council

Construction Certificate No: CC0087/02

Site Details: **33 PACIFIC ROAD PALM BEACH NSW 2108**

Legal Description: **Lot 414 DP 19651**

Type of Development: Building Work ☒ Subdivision ☐

Description: **additions to the dwelling and carport**

Associated Development Consent No: **N0700/01** Dated: **21/02/2002**

Building Code of Australia Certification: **Class 1a & 10a**

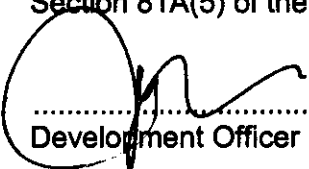
Details of plans, documents or Certificates to which this Certificate relates:

- Driveway Certificate VM 19211B dated 13/2/02 prepared by Jack Hodgson.
- Structural Adequacy Certificate VM 19211A dated 13/2/02 prepared by Jack Hodgson.
- Landscape Plan dated 2/3/02 prepared by Sally Kelly
- Structural / Geotechnical Engineering Plans 19211-1, 2, 4 dated 17/1/02 prepared by Jack Hodgson.
- On Site Detention Details 19211-5 dated 18/3/02 prepared by Jack Hodgson.
- Plan No. 011851 to 8 (A) dated 14/2/02 prepared by J D Evans
- Plan No. 01185-9 dated 1/3/02 prepared by Jack Hodgson regarding FRL 60/60/60

I hereby certify that the above plans, documents or Certificates satisfy:

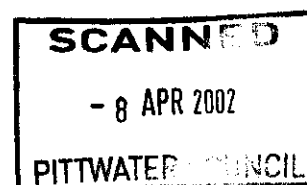
- ☒ The relevant provisions of the Building Code of Australia.
- ☒ The relevant conditions of Development Consent No: **N0700/01**

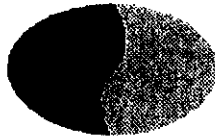
Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


.....
Development Officer

27/3/2002
.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.





DEPARTMENT OF **FAIR TRADING**

NSW Consumer Protection Agency

DAVID BOYD COULTON
33 PACIFIC ROAD
PALM BEACH 2028

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :236757P
Receipt:AA1539809

Issued:07/03/2002
Amount:\$100.00

Building Site:

LOT 414, 33 PACIFIC ROAD, PALM BEACH 2028

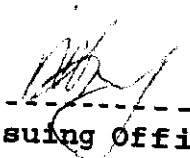
Authorised Building Work:

BUILDING WORK AS PER BA NO.
DA NO.: n0700/01
ISSUED BY PITTWATER COUNCIL

You should obtain professional advice from private insurers regarding public liability and property damage cover, etc.

Should the property be sold within 7 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers. A certificate of insurance must be attached to any contract for sale.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.


Issuing Officer

***** END OF PERMIT *****

OutRWALL 60

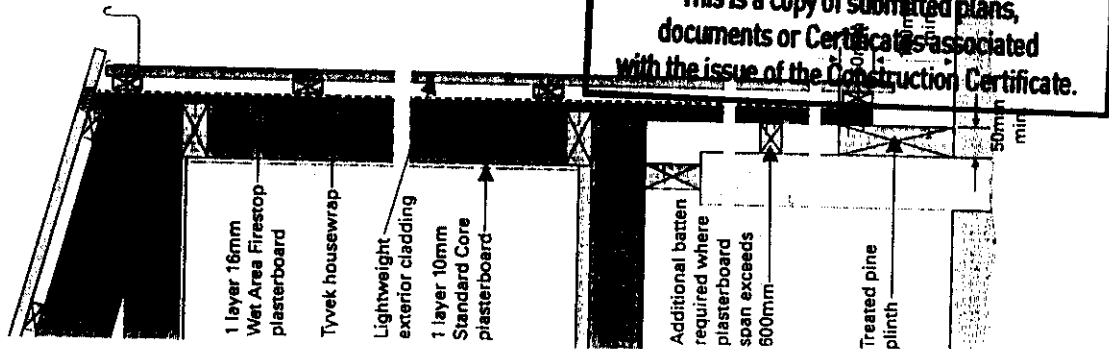
(TS24) FIRE RATING

1-Hour

FRL 60/60/60
from outside
only

CSIRO Opinion
FCO-0982

Load
Bearing



THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE

This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.

OutRWALL™ Timber Stud, External Load-Bearing Wall

1 layer 16mm Boral Wet Area Firestop plasterboard fixed to load bearing timber frame at 600mm stud centres. Tyvek housewrap stapled to outer face of plasterboard as per manufacturer's recommendations. Additional layer of 16mm Boral Wet Area Firestop fixed to floor joists and plinth and butted to underside of bottom plate. Additional layer of 16mm Boral Wet Area Firestop fixed to roof framing and butted to topside of top plate. 1 layer 10mm Boral Standard Core plasterboard fixed as interior lining.

Vertical or horizontal timber battens (on outer face of plasterboard) fixed to studs at 600mm centres. Lightweight external cladding fixed to timber battens as per manufacturer's recommendations.

Notes:
Axial load for timber frame not to exceed 9kN/Stud.

For frame, stumps and footings to be in accordance with AS1684 -1999, Residential Timber Framed Construction".
For permissible heights to suit axial loading, stud stress grade and larger section sizes, use Charfactor 11.



J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596



PROJECT
PROPOSED ALTERATIONS / ADDITIONS
No. 33 PACIFIC ROAD
PALM BEACH N.S.W. 2108
MARK COULTON & LISA THOMSON

DATE 01-03-02	SCALE HTS
DRAWN JOE	CHECKED
DRAWING No. 01185-9	



Memorandum

To: Jeremy Swan

cc:

From: Cat Mackenzie

Date: March 27, 2002

File: N0700/01

Subject: CC Landscape plan for 33 Pacific Rd., Palm Beach

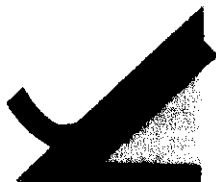
The
landscape
plan drawn
by Sally
Kelly and
dated
02/03/02

and submitted for release of CC is satisfactory and in accordance with the conditions of dev. Consent.

Cat Mackenzie

**THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE**

This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VM 19211A.

13th February, 2002.

Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

33 PACIFIC ROAD, PALM BEACH.

This Report on Structural Adequacy is based on a surface inspection of the subject property. No opening up of the existing developments or excavations have been carried out.

We have inspected the existing house at the subject address and examined the plans of the proposed additions.

We are satisfied that the existing structure is adequate to support the loads that may be imposed on it by the proposed additions.

Our Mr. Jack Hodgson is appropriately qualified and experienced to provide this certificate.

JACK HODGSON CONSULTANTS PTY. LIMITED.


J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.

THE COUNCIL OF PITTWATER CONSTRUCTION CERTIFICATE

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with the issue of the Construction Certificate.

DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788

11 Bungan Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

**33 PACIFIC ROAD, PALM BEACH.
DRIVEWAY LEVELS.**

We have checked the levels of the driveway shown on the architectural plans prepared by J. D. Evans and Company Pty. Ltd. and find that, using these levels, the gradient on the left hand edge will be greater than 1 vertical to 4 horizontal.

To over come this problem it is recommended that the level of the proposed carport be increased from 89.85 AHD to 89.95 AHD.

Provided this level change is made and the gutter crossing is the Council Low Level Crossing, the driveway will conform to the requirements of DCP - E3 and AS 2890.

Our Mr. Jack Hodgson is appropriately qualified and experienced to provide this certificate.

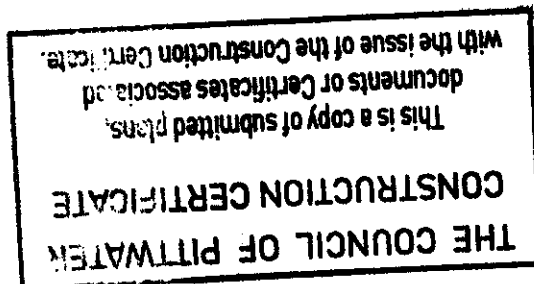
JACK HODGSON CONSULTANTS PTY. LIMITED.

J. D. Hodgson M.Eng.Sc.,
F.I.E. Aust., CP ENG.

Civil & Structural Engineer.

Nper3, Struct. Civil. No. 149788.

Director.



PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 2103
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 1111



Office Use Only:

C/C NO: _____
FILE AND PART NO: _____
PROPERTY NO: _____
OFFICER: _____
TARGET DATE: _____
APPROVAL NO: _____
POST OUT ☐ or PICK UP ☐ _____

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

☐ BUILDING WORK

☐ SUBDIVISION WORK

☐ AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No N0700/01 Date _____

☐ A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____

SITE DETAILS: (please print)

House No 33 Street/Road Pacific Road Suburb Parlin Beach
Postcode 2108 Lot 414 Section _____ Deposited Plan 19651

Description of Proposal _____

VALUE OF DEVELOPMENT: \$ 100,000

Nominated Building Classification: Class(es) _____

☐ **APPLICANT: (please print)**

Name/Company David Coulter + Kim Coulter

Address 33 Pacific Road Palm Beach

Phone (02 99742527) Daytime Contact No (0404491814)

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature David Coulter Date 25.2.2002

☐ **OWNER (please print)**
This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s D Coulter + K. Coulter

33 Pacific Road Palm Beach

Address 33 Pacific Rd Palm Beach

Postcode 2108

Signature(s) David Coulter, Kim Coulter

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- **If the written consent is not signed by all owners of the property, this application will not be accepted.**

☐ **BUILDER'S NAME AND ADDRESS**
(must be completed when the proposal involves residential building work): (please print)

Are you an Owner-Builder? YES, Permit No.....

Licensed Builder Details

Name/Company _____

Address _____

Phone () _____ Daytime Contact No () _____

Licence No _____ Insurance Policy No _____

Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.

(2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.



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CONSTRUCTION MATERIALS/DETAILS: *(please print) (must by law be accurate)*

Construction materials

External walls _____ Roof _____

Floor _____ Wall frames _____

Details

Current use of the land/building(s) _____

Site area _____ m²

Floor area - existing _____ m²

- proposed _____ m²

Total _____ m²

Number of Storeys _____

Number of dwellings to be demolished _____

Number of dwellings proposed _____

THE CHECKLIST

- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

YOUR USE	STAFF USE
A COMPLIANCE WITH CONSENT CONDITIONS	
	All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.
B COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.	
	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.
C SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200	
	North point and all boundary dimensions of the block. All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured). The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors. Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses. Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.
D ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100	
	All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified. Existing/proposed ground levels and all floor to ceiling heights. Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels. Roof profile, material, colour, reflectivity and eaves width are shown. The outline of buildings on the adjoining sites.

YOUR USE	STAFF USE
E SECTIONS A cut through view of the building and site. Minimum scale 1:100	
	The outline of the existing and/or proposed building showing all dimensions including roof pitch. All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients). Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any). Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size Provisions made for Fire Safety and Fire Resistance.
F LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
	Details of driveways, vehicle crossing profiles and transitions. Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.
G FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
	North point shown. Room dimensions and use shown. The location and dimension of all windows, doors and walls (including wall thickness). Provisions made for Fire Safety and Fire Resistance
H BUILDING SPECIFICATION Details of construction.	
	Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length. Whether the material will be new or second hand. Give particulars of second hand materials. Details of drainage, effluent disposal, water supply, ventilation arrangements etc.
Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.	
I FIRE SAFETY PROVISIONS Class 2-9 buildings only	
	Details of the fire safety measures to be implemented.
	Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.
J DETAILED ENGINEERING DRAWINGS Detailed plans which have been certified by a qualified consultant for the following where relevant	
	Earthworks, erosion control measures, elevations of retaining walls, etc.
	Roadworks, road pavement details.
	Stormwater drainage (including stormwater management details).
	Water supply, effluent disposal.
	Landscape construction works.
Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.	
Checked by: 	

PROPOSED ADDITIONS

ADJOINING RESIDENCE

PATIO

DECK

EXISTING RESIDENCE

ADJOINING RESIDENCE

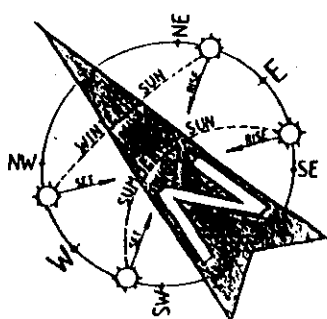
DECK

PROPOSED CARPORT

SITE PLAN

LOT 4/4 DP 12651

THE COUNCIL OF PITWATER
CONSTRUCTION CERTIFICATE
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Documents or Certificates associated
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DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	102	87 (184)	
ROOF AREA	—	195	
SITE COVERAGE (HARD SURFACE ETC)	—	210 (214%)	
LANDSCAPING AREA	—	769	
SITE AREA	979	NOT APPLICABLE	

DATE	30/07/01	SCALE	1:200
DRAWN	JOE	CHECKED	
PROJECT NO.	01185-1	DATE	14/4/01

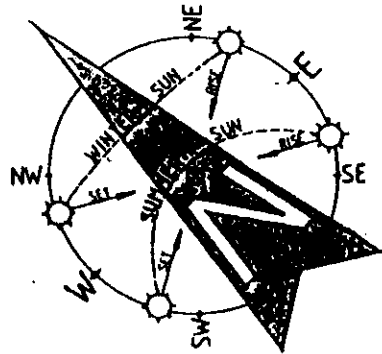
PROPOSED ALTERATIONS / ADDITIONS
No. 33 PACIFIC ROAD
PALM BEACH N.S.W. 2108
MARK COULTON & LISA THOMSON

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

NO.	REVISION	DATE

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THE WRITTEN PERMISSION OF THE
DRAWING CONSULTANT, WILL BE
TREATED AS AN INFRINGEMENT OF
THE COPYRIGHT ACT, 1969.

1. The owner of the land is responsible for ensuring that the land is suitable for the proposed development.
2. The owner of the land is responsible for ensuring that the land is suitable for the proposed development.
3. The owner of the land is responsible for ensuring that the land is suitable for the proposed development.
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LOWER FLOOR PLAN

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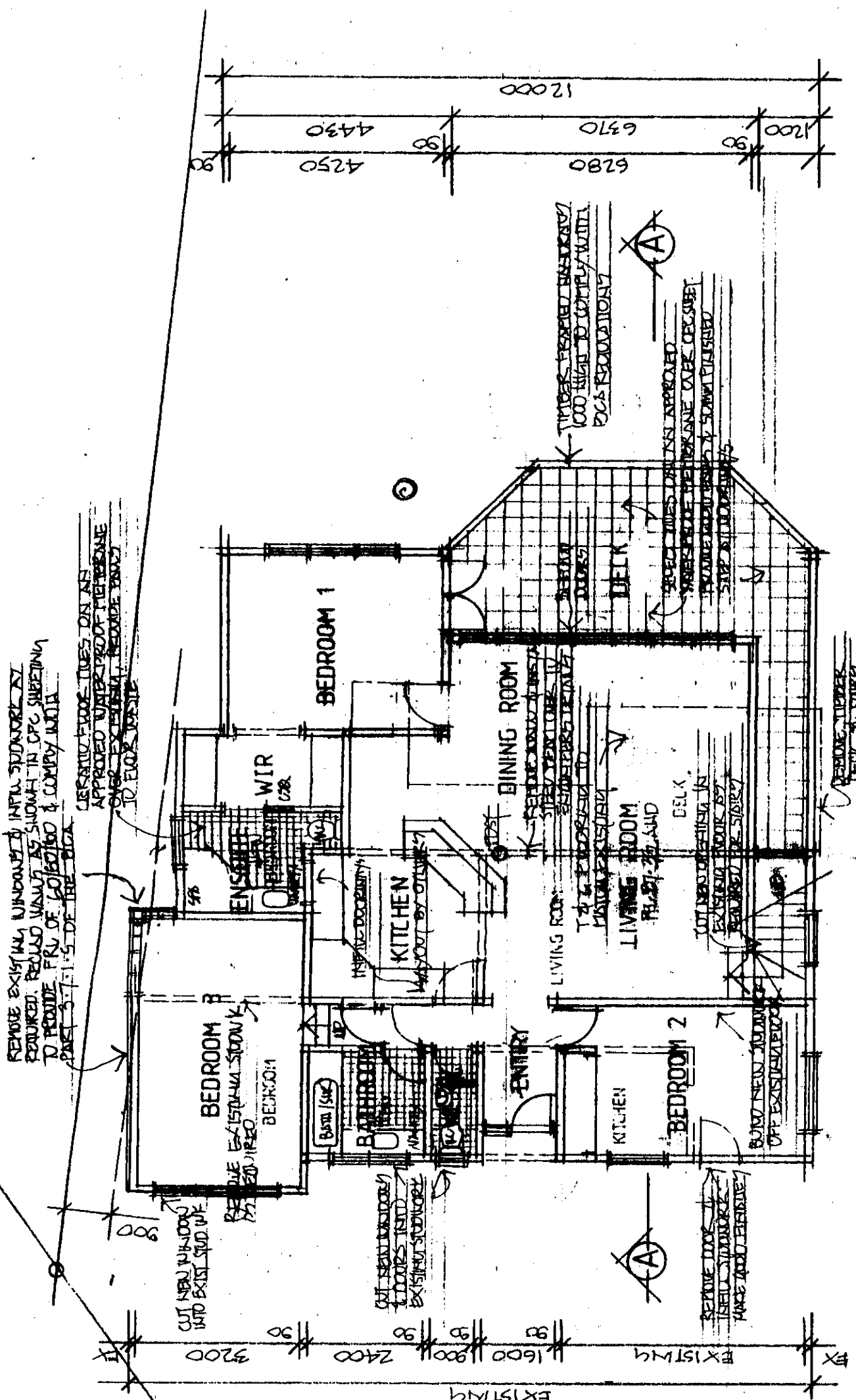
J.B. STANLEY AND COMPANY, INC., LTD.
10000 WILSON AVENUE, SUITE 100
ATLANTA, GEORGIA 30338

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 J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
4, EVERETT AVE., AVALOON HEIGHTS 2107
Ph. 02 918 2286 Fax (02) 917 2434
Mobile 048 918 394

PROPOSED ALTERATIONS / ADDITIONS/IS
No. 33 PACIFIC ROAD
PALM BEACH N. S. W. 2108
MARK COULTON & LISA THOMPSON

DATE	30/07/01	SCALE	1:100
DRAWN	JOE	DESIGNED	
DRAWING No.		01185-2	
		SHEET	



UPPER FLOOR PLAN

[illegible]

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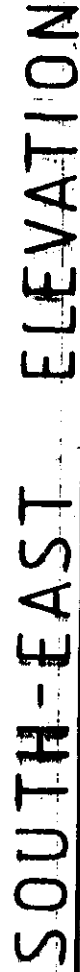
J.B. DYKES AND COMPANY PVT. LTD.
INCORPORATED IN INDIA
10, BRIDGE ROAD, SINGAPORE 10

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74 RIVERVIEW AVE. AVALON BEACH, 1107
SYDNEY, N.S.W. 15106 Fax (011) 9973 2434
Mobile 098 976 396

MEMBER OF THE
**INTERNATIONAL
BUILDING
EXHIBITION
ASSOCIATION**


PROJECT
PROPOSED ALTERATIONS / ADDITIONS
No. 33 PACIFIC ROAD
PALM BEACH N. S. W. 2108
MARK COULTON & LISA THOMSON

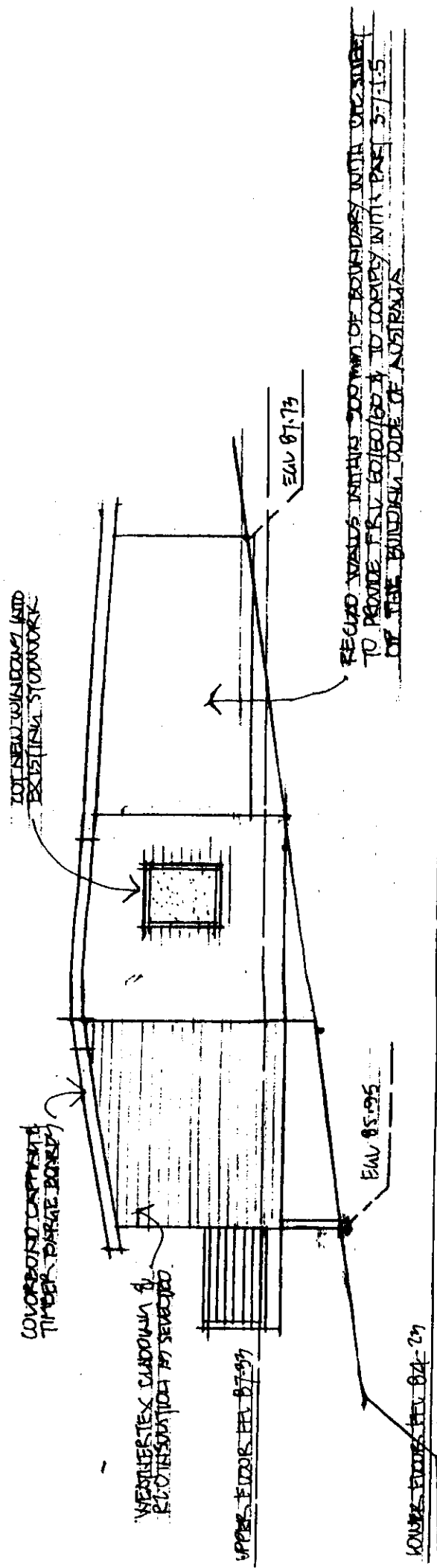
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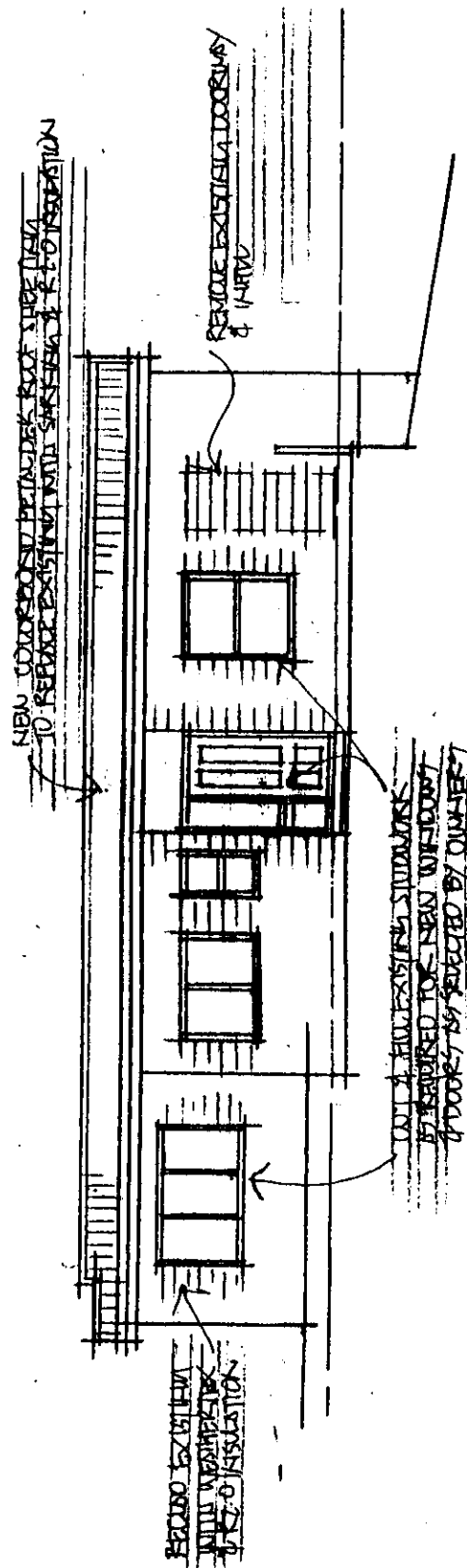
DATE 30/07/01	SCALE 1:100
DRAWN JOE	CHECKED

BRUNNENING MO. 01185-1

SCALE 1:100



NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

1. The owner is advised that the drawings are prepared on the basis of information supplied by the owner and are not to be used for any other purpose without the written consent of the architect.

2. The architect is not responsible for the accuracy of the information supplied by the owner and is not to be used for any other purpose without the written consent of the architect.

3. The architect is not responsible for the accuracy of the information supplied by the owner and is not to be used for any other purpose without the written consent of the architect.

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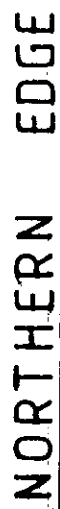
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Phone (07) 548 8888 Fax (07) 548 8889
Mobile 098 375 596

J.D. EVANS AND COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
14 RIVERVIEW AVE., PALM BEACH, QLD 4217
Phone (07) 548 8888 Fax (07) 548 8889
Mobile 098 375 596

PROJECT
PROPOSED ALTERATIONS / ADDITIONS
No. 33 PACIFIC ROAD
PALM BEACH N.S.W. 2108
MARK COULTON & LISA THOMSON

DATE 30/07/01 SCALE 1:100
DRAWN JOE
CHECKED
01185-51477A



LONGITUDINAL SECTION OF DRIVEWAY

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10, RAJENDRA NAGAR, CHENNAI-600 029
INDIA

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BUILDING DESIGN CONSULTANTS
74 RIVIERA, AVE. AVALON BEACH, 2107
Phone: 001 9916 9706 Fax: 001 9973 2454
Mobile 096 976 396

 **ISO 9001**
REGISTERED
QUALITY SYSTEM
CERTIFICATION

PROJECT
PROPOSED ALTERATIONS / ADDITIONS
No. 33 PACIFIC ROAD
PALM BEACH N.S.W. 2108
MARK COULTON & LISA THOMSON

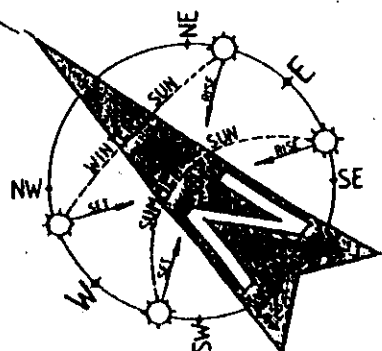
DATE	30/07/01	SCALE	1:100
ENGINEER	JOE	CHECKED	

01185-6

EXPANDED No. 14/1/01

DATE 14/1/01

SCALE A



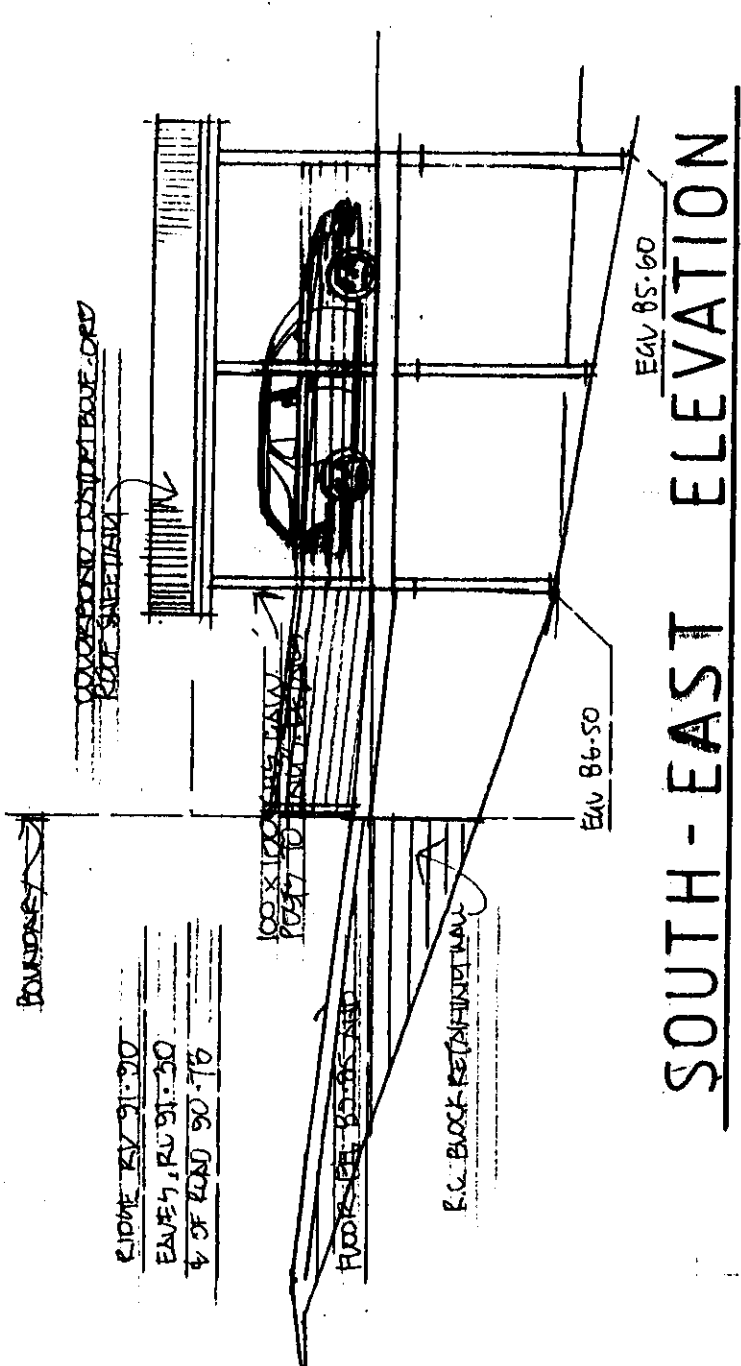
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DRAWN JOE	CHECKED

01185-7

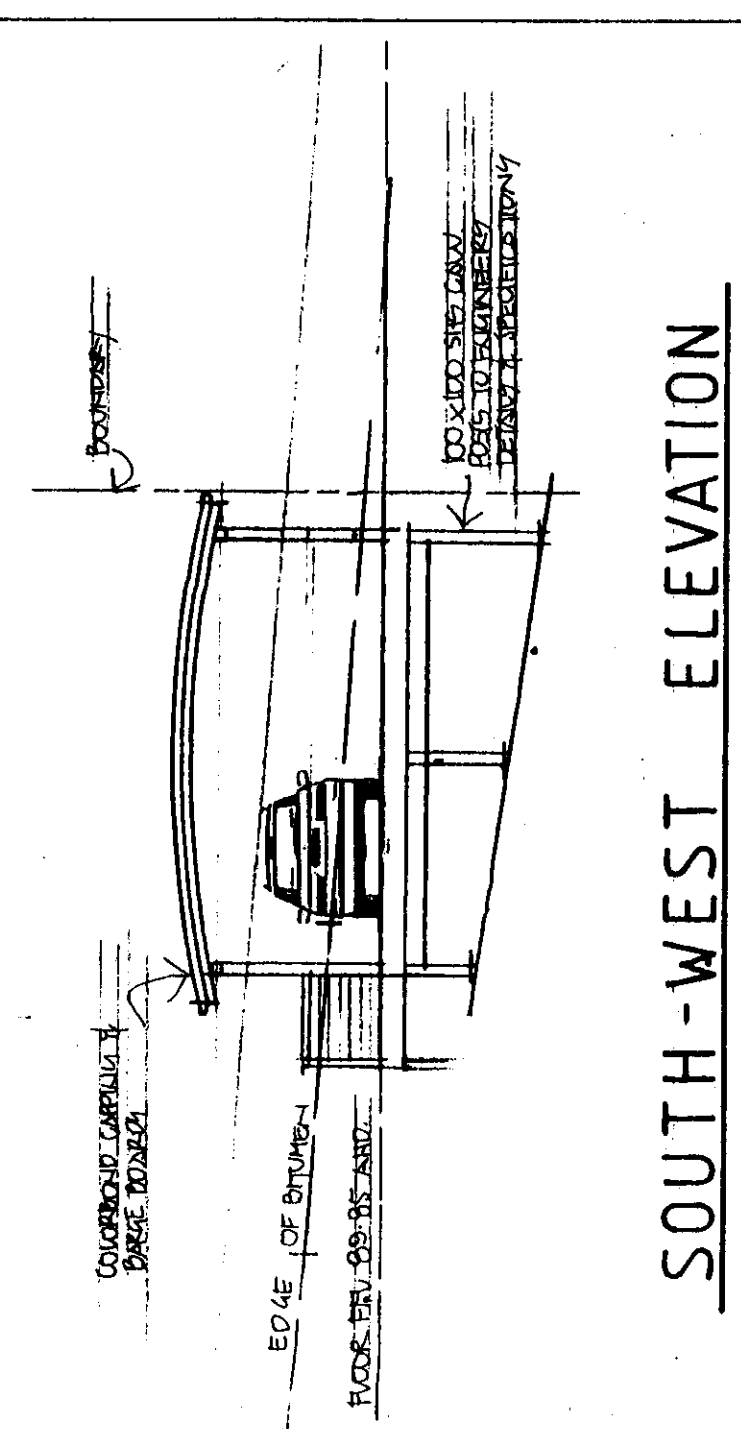
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SCALE

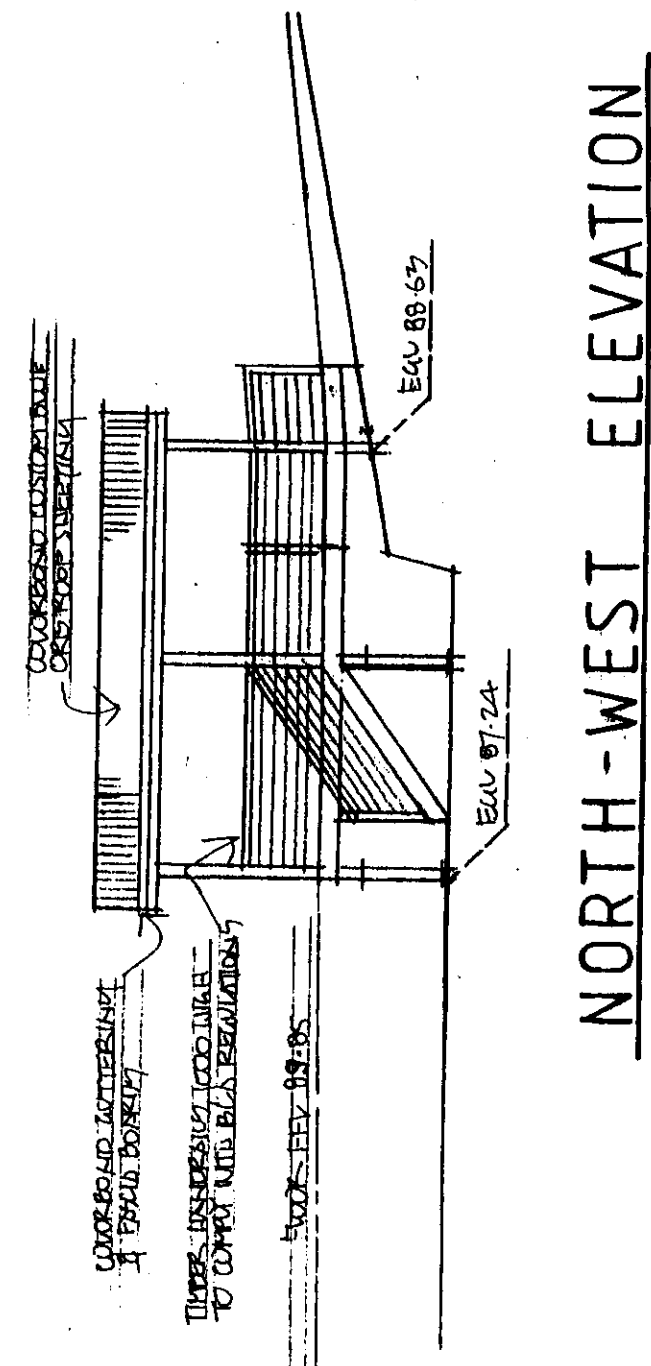
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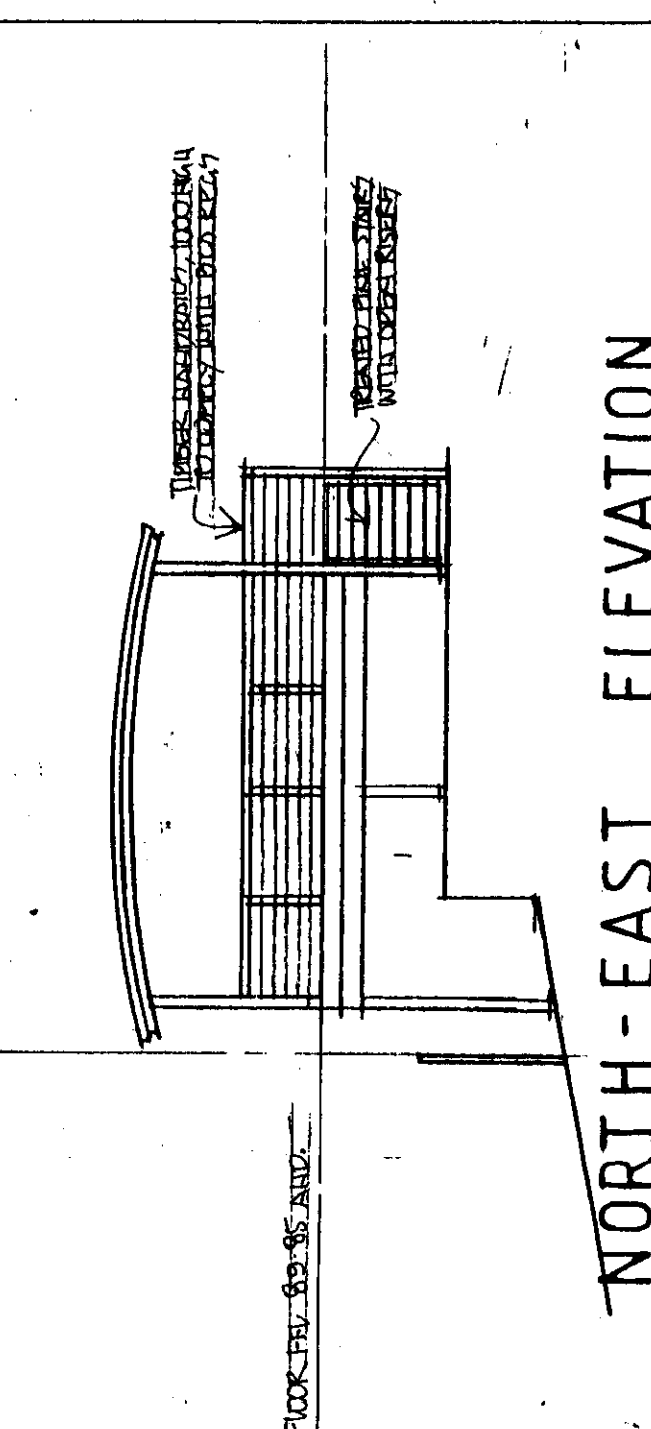
SOUTH - EAST ELEVATION



SOUTH - WEST ELEVATION



NORTH - WEST ELEVATION



NORTH - EAST ELEVATION

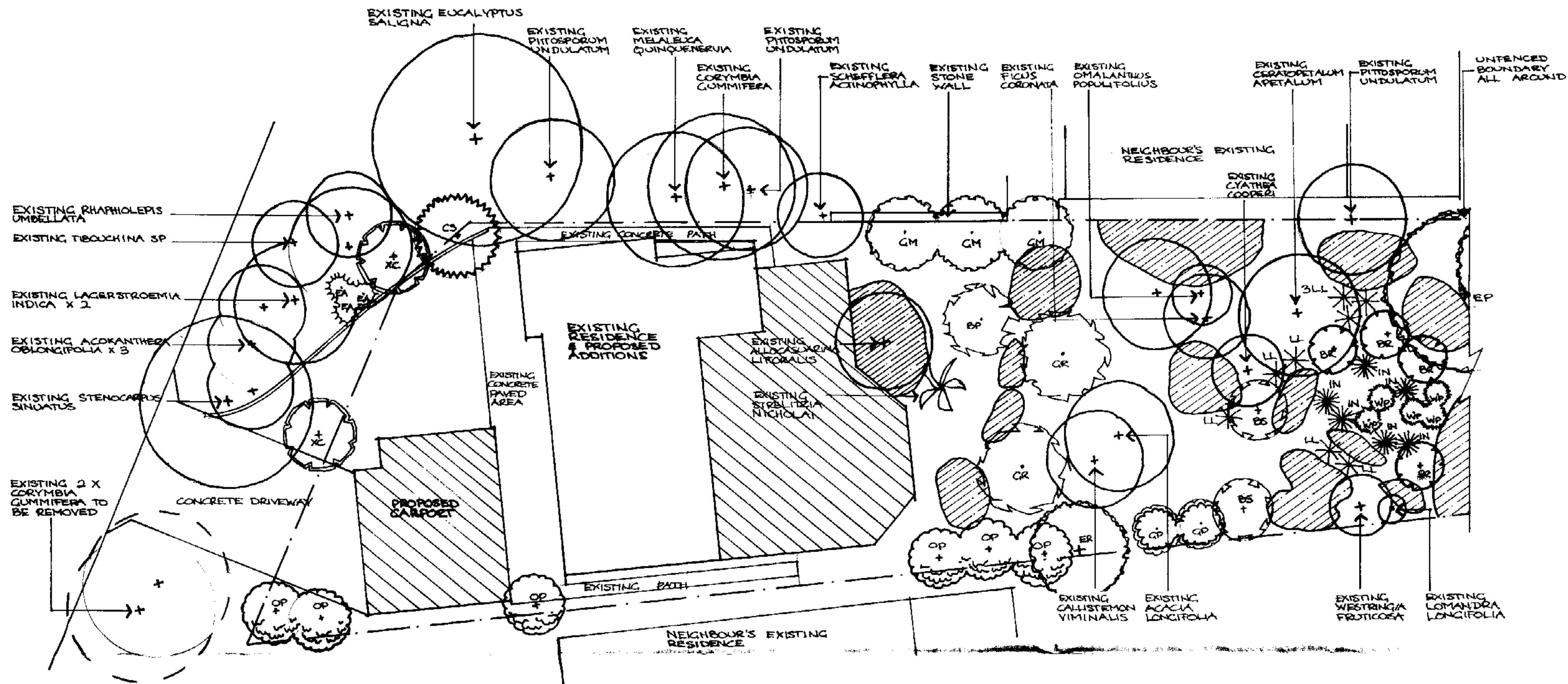
PROPOSED ALTERATIONS / ADDITIONS
 NO. 33 PACIFIC ROAD
 PALM BEACH N.S.W. 2108
 MARK COULTON & LISA THOMSON

J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 14 LIVIERA AVE. AVALON BEACH, 2107
 Phone (02) 9918 9206 Fax (02) 9973 2454
 Mobile 098 976 596

DATE: 30/07/01 **SCALE:** 1:100
DRAWN BY: JOE **CHECKED BY:** [Signature]
PROJECT NO.: 01185-8

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NOTES:
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 2. The client has been advised that the drawings are not to be used for construction without the written permission of J.D. Evans and Company Pty. Ltd.
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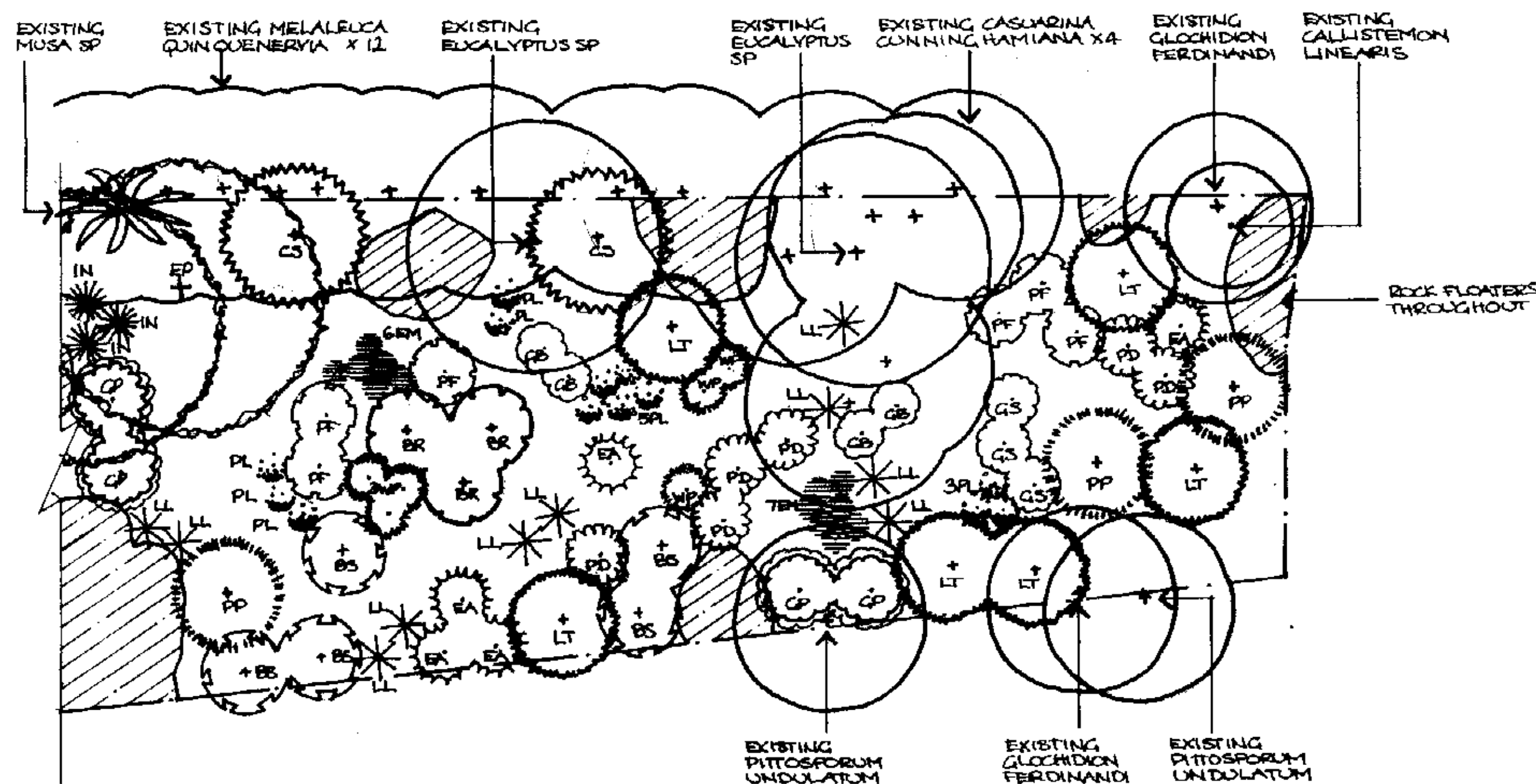


SPECIFICATIONS

- ERECT PROTECTIVE FENCING OF CHAIN WIRE MESH, 1. MINIMUM 1 METRE OUTSIDE DRIPLINE. WHERE THIS IS POSSIBLE DUE TO ROCK SHELF, USE THE MOST SUITABLE METHOD AVAILABLE TO FORM BARRIER AS ABOVE. EN: MATERIALS ARE STORED WITHIN THIS AREA AT ANY.
- DO NOT DISPOSE OF DANGEROUS, HARMFUL OR EXCE MATERIALS ON SITE.
- REMOVE ALL WEEDS BY HAND OR USE GLYPHOSATE MANUFACTURER'S RECOMMENDATIONS FOR PERSISTENT SUCH AS ASPARAGUS FERN.
- APPLY LEAF LITTER MULCH TO A DEPTH OF 75-100 MM ALL PLANTED AREAS, AFTER PLANTING.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PITWATER COUNCIL'S DCP NO 23 - LANDSCAPE & VEGE MANAGEMENT.

Solely HORTICULTURIST



PLANT SCHEDULE

SYMBOL	NAME	COMMON NAME	MATURE HEIGHT (m)	POT SIZE	NUMBER
TREES					
EP	EUCALYPTUS PUNCTATA	GREY GUM	10M	45 LT	2
OP	OMALANTHUS POPULIFOLIUS	BLEEDING HEART	4	300MM	1
ER	ELAEODENDRON RETICULATUS	BLUEBERRY ASH	6	200MM	1
SHRUBS					
BR	BANKSIA ROBUR	SWAMP BANKSIA	2	200MM	1
BS	BANKSIA SPINULOSA VAR SPINULOSA	HAIRPIN BANKSIA	2.5	200MM	1
CS	CALLISTEMON SERRATIFOLIA	BLACK WATTLE	5	200MM	3
EA	ERIOSTEMON AUSTRALIS	PINK WAX FLOWER	2	200MM	1
EM	EPACRIS MICROPHYLLA	CORAL HEATH	1.5	200MM	1
GB	GREVILLEA BUXIFOLIA	GREY SPIDER FLOWER	1.5	TUBE	1
GM	GREVILLEA 'MOONLIGHT'	RED SPIDER FLOWER	2	TUBE	1
GP	GREVILLEA SPECIOSA	PINK SPIDER FLOWER	1.5	TUBE	1
LD	LEPTOSPERMUM TRINERVIUM	LARGE LEAF BUSH-PEA	2.5	200MM	1
PD	RUTENARIA DAPHNOIDES	HANDSOME FLAT-PEA	2.5	TUBE	1
PF	PIRELLA LINDFOLIA	PINE-LEAF CREEPER	2.5	TUBE	1
PP	PEROONIA PINIFOLIA	WOOLLY-LEAF	1.5	200MM	1
WD	WOOLLSIA PUNGENS	WOOLLY-LEAF	1.5	TUBE	1
XC	XANTHOSTEMON CHRYSANTHUS	GOLDEN PANDA	3	200MM	1
GRASSES					
GD	GROUNDCOVER		PROS	200MM	1
GR	GREVILLEA PICHY ROSSUM	ROYAL MANTLE	PROS	200MM	2
IN	ISOLEPIS NODOSA	KNOBBY CLUB-RUSH	7	TUBE	1
LL	LOMANDRA LONGIFOLIA	SPINY MAT RUSH	1	TUBE	10

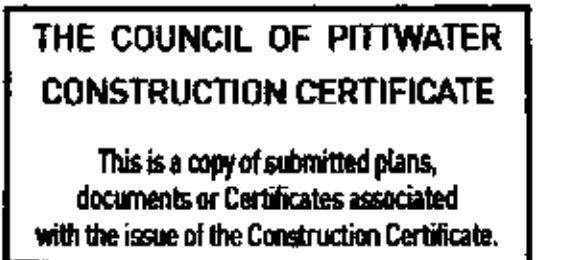
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DATE 2/3/02

PROPOSED RENOVATIONS & ADDITIONS
FOR
MARK COULTON

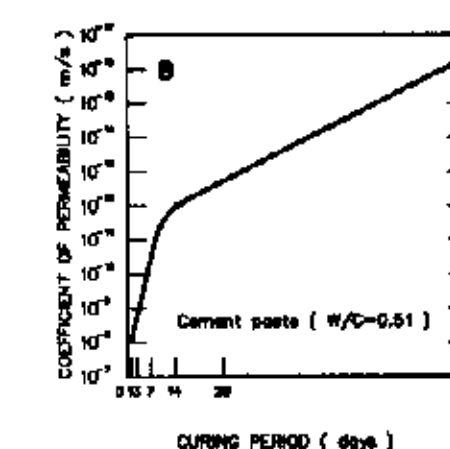
THE COUNCIL OF PITWATER
CONSTRUCTION CERTIFICATE

This is a copy of submitted plans, documents or Certificates submitted to the Council of Pitwater.

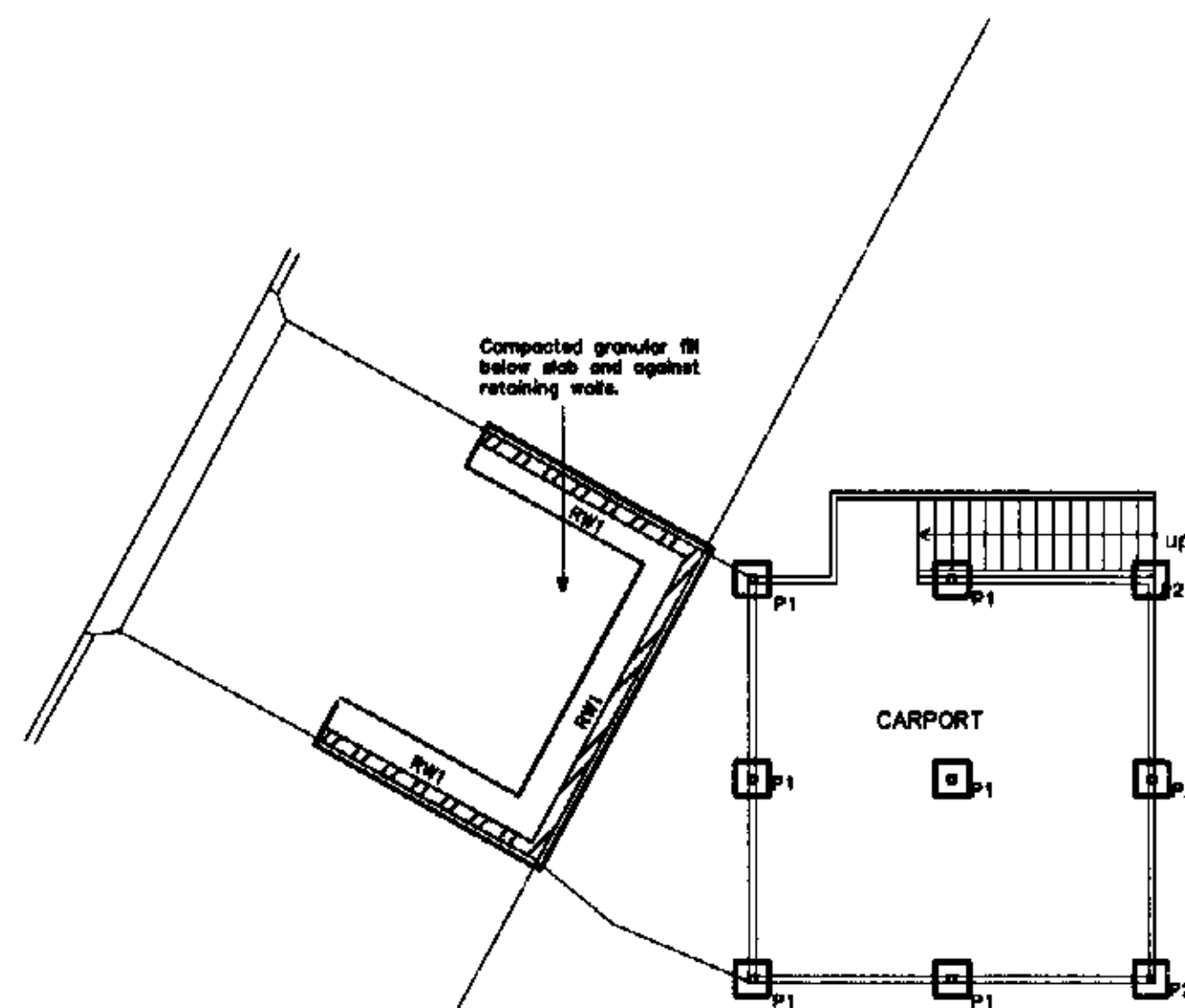
LANDSCAPE PLAN



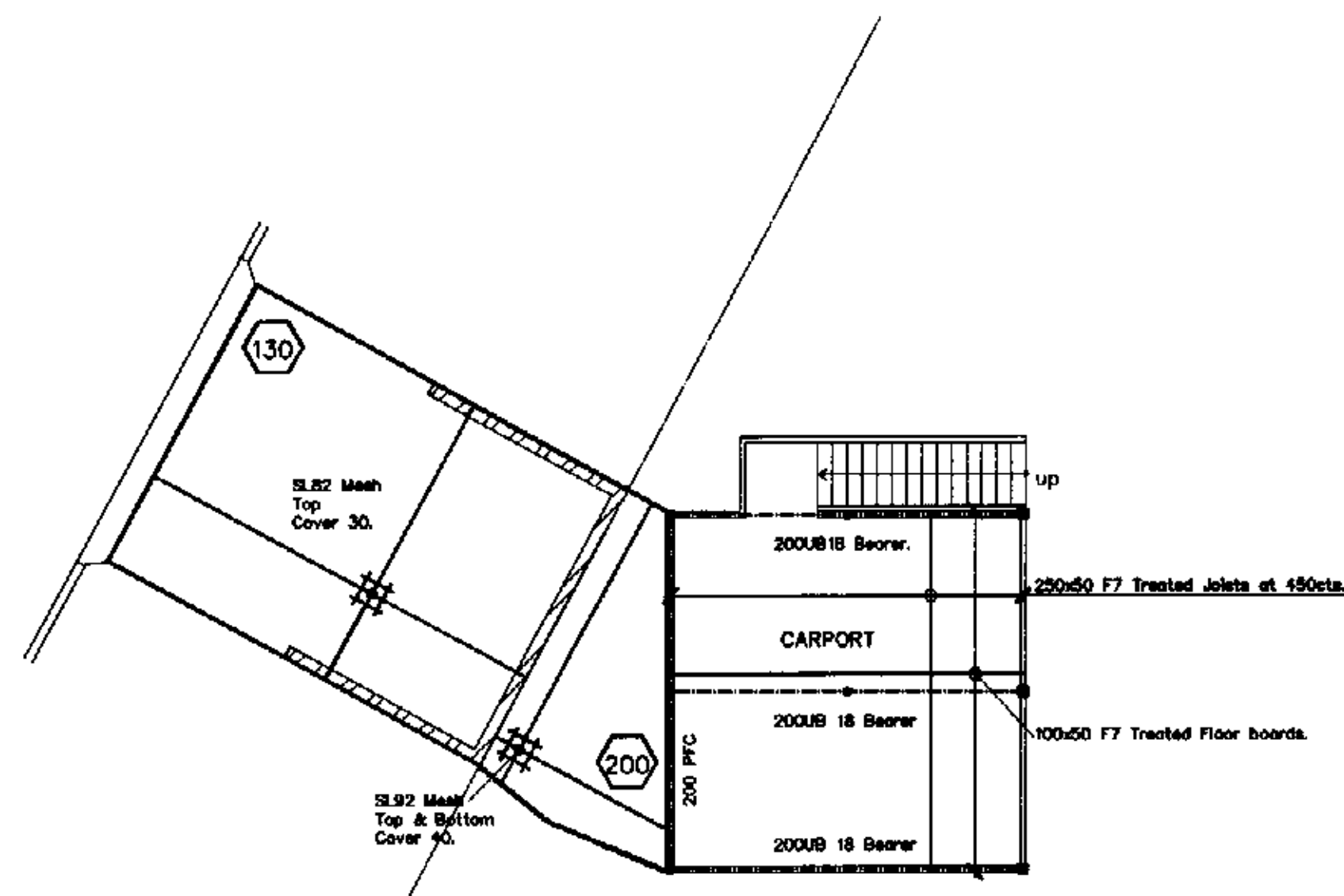
- | | | | |
|-------------|--------------------|---------|-------------|
| Designed GH | Drawn GH | Job No. | Drawing No. |
| Checked JDH | Scale 1:100.20 ums | 19211-5 | |
| Date | 18 MARCH 2002 | | |



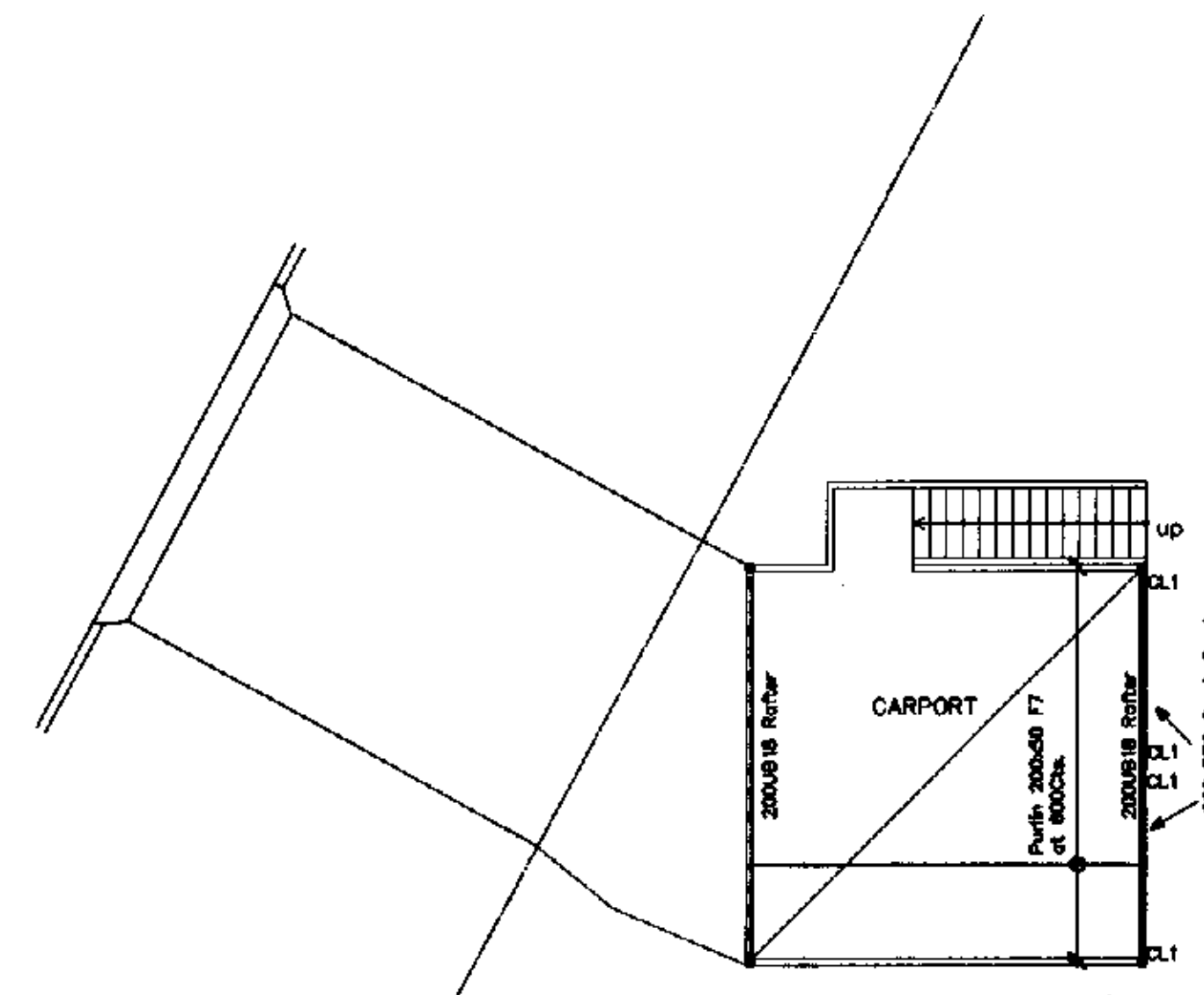
Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1984: 1986)



CARPORT FOOTING PLAN
Scale 1:100

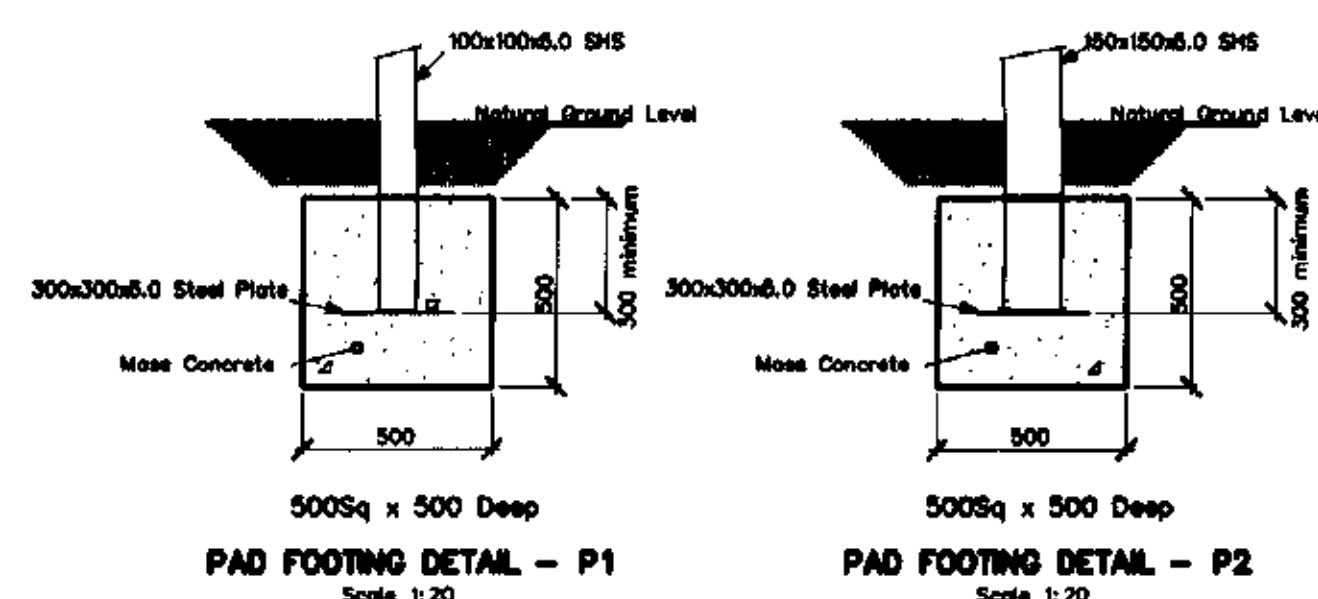


DRIVEWAY SLAB & CARPORT MARKING PLAN
Scale 1:100

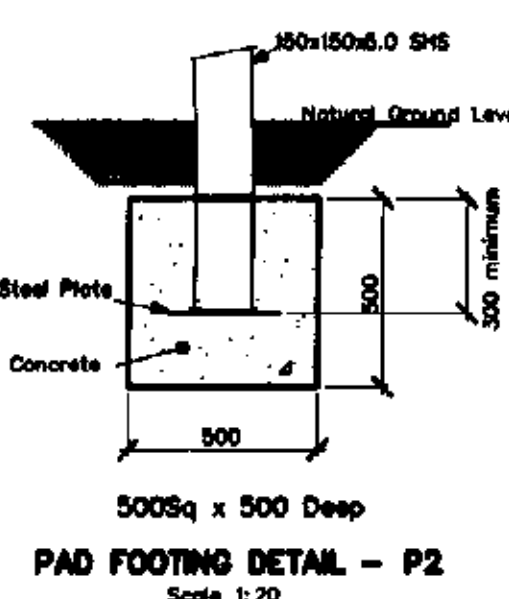


ROOF AND CRASH BARRIER MARKING PLAN
Scale 1:100

- CONCRETE NOTES**
- All concrete work to be in accordance with AS 3600.
 - $f'_c = 40$ MPa for all external slabs & columns.
 $= 25$ MPa for slabs, plans and beams.
 $= 20$ MPa for block filling and footings.
Maximum aggregate size = 20 for footings, slabs & beams.
 $= 10$ for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 800mm up to air spacing.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be DSDN unless noted otherwise (where 500 = strength grade in megapascals & N = Normal ductility class).
 - Reinforcement to be tied at every other intersection minimum.
 - Depth of Slab must be taken from the Top of the Roof RB.
 - Specified bottom cover must be taken from the Top of the Roof RB.
- TIMBER NOTES**
- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 1684, AS 1720 & the Specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of gum veins, pockets, knots, holes or splits within 25mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.
- STEELWORK NOTES**
- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Chip off welds free of slag.
 - All steelwork to be Hot Dipped Galvanized. Unless otherwise noted.
 - Unless otherwise noted use:
a) 6mm continuous fillet weld
b) 10mm thick gusset, fin and end plates, weld all round.
c) 18mm dia. 4.6/s bolts
d) Minimum and bearing 150mm.



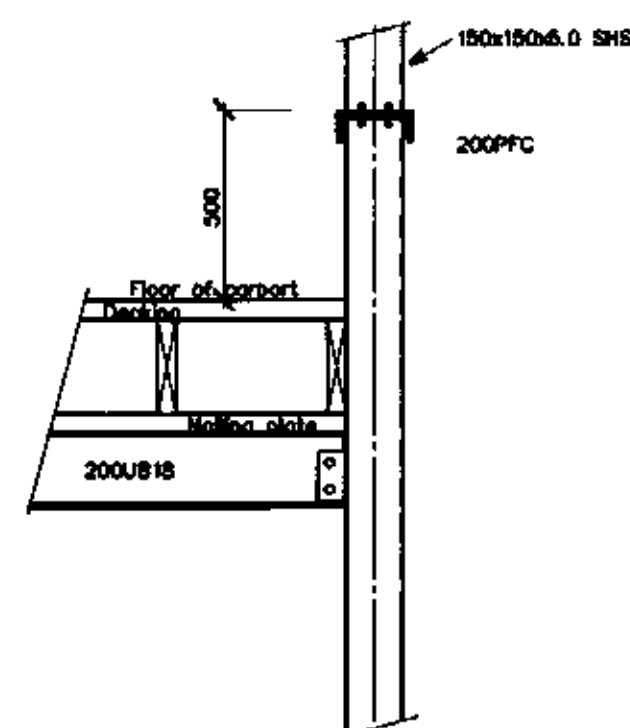
PAD FOOTING DETAIL - P1
Scale 1:20



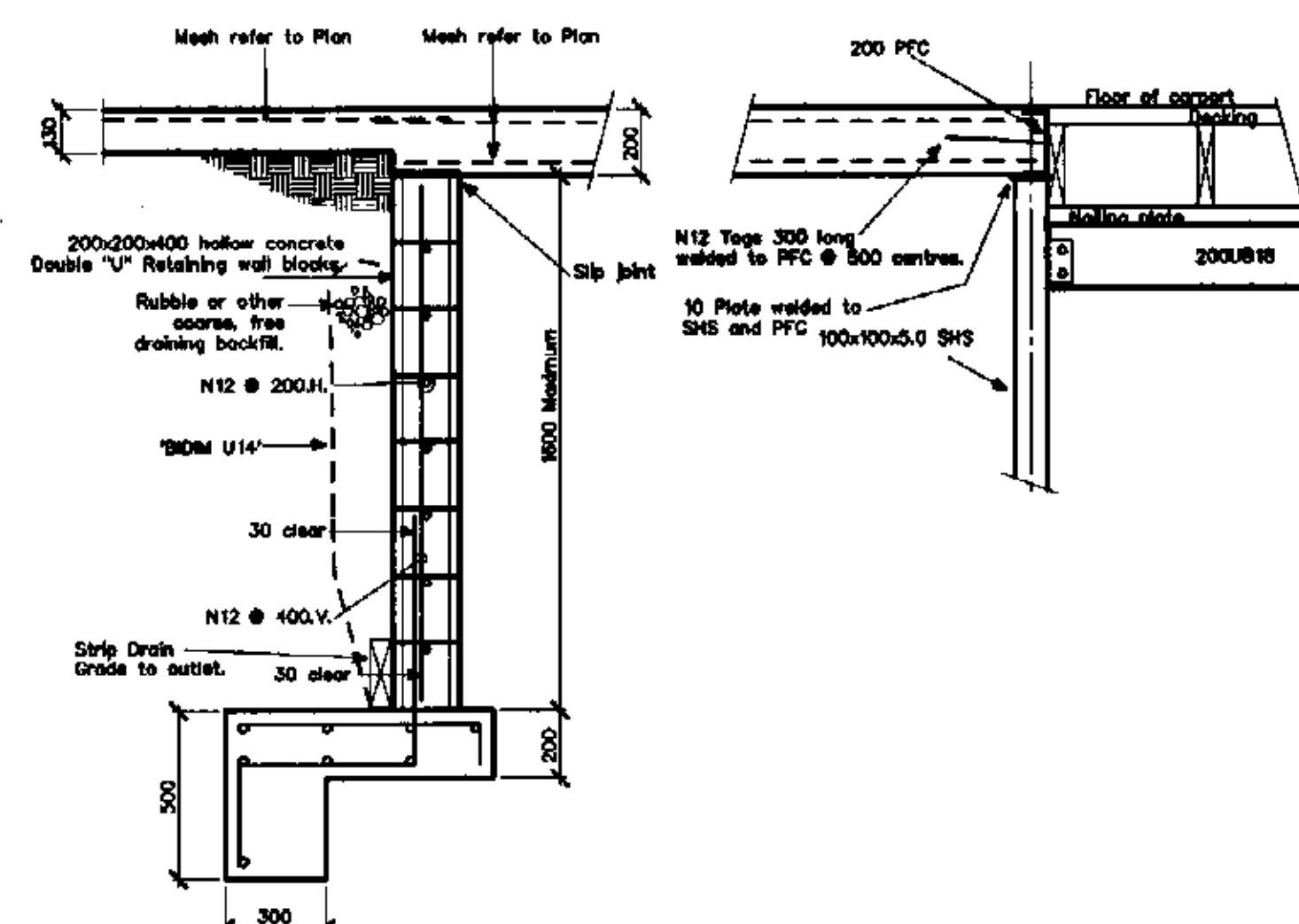
PAD FOOTING DETAIL - P2
Scale 1:20

NOTE
140x80x10 Cleats to be welded 500 above Carport floor level to 150x150x5.0 SHS post. Fasten PFC with 2-M20 8.8 bolts.

CRASH BARRIER DETAIL - CL1
Scale 1:20

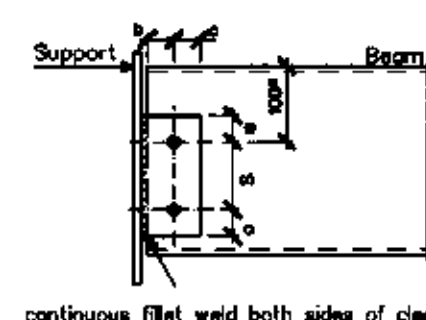


TYPICAL BLOCK RETAINING WALL
SCALE 1:20

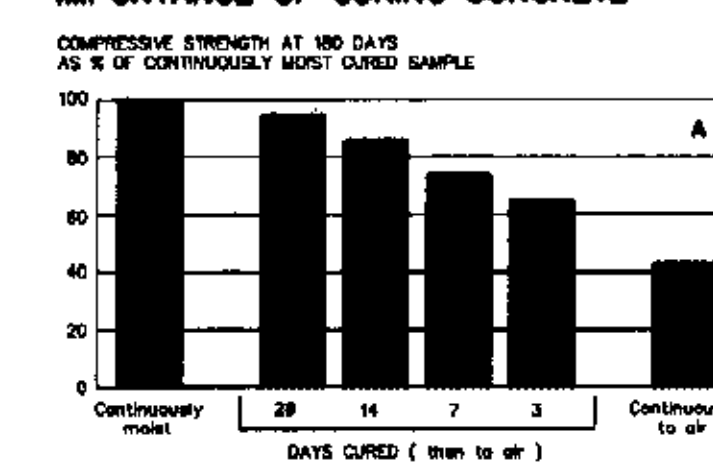


WEB SIDE PLATE CONNECTION TABLE

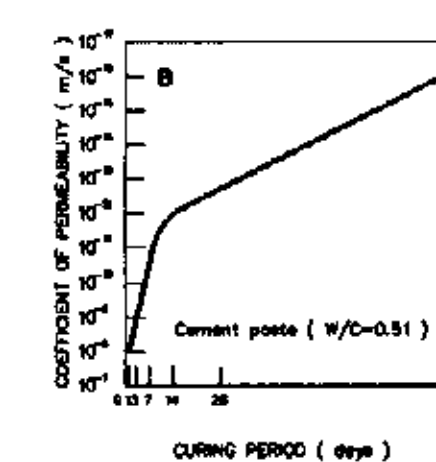
Beam Size	Plate (mm)	Dimensions (mm)	No. of Bolts	Bolt Size	Hole Dia. (mm)	Weld Size	Connection Details
150 UB	120 75 6	25 30 30 70	2	M20	22	8	
180 UB	130 75 6	30 30 30 70	2	M20	22	8	
200 UB	130 75 6	30 30 30 70	2	M20	22	8	
250 UB	140 90 8	35 35 35 70	2	M20	22	8	
310 UB	210 90 8	35 35 35 70	3	M20	22	8	
360 UB	210 90 8	35 35 35 70	3	M20	22	8	
410 UB	250 90 8	35 35 35 90	3	M20	22	8	
460 UB	250 90 8	35 35 35 90	3	M20	22	8	
150 UC	120 75 6	25 30 30 70	2	M20	22	8	
200 UC	140 90 8	35 35 35 70	2	M20	22	8	
250 UC	140 90 8	35 35 35 70	2	M20	22	8	
150 PFC	130 75 6	30 30 30 70	2	M16	18	6	
180 PFC	130 75 6	30 30 30 70	2	M16	18	6	
200 PFC	150 75 6	30 30 30 90	2	M16	18	6	
230 PFC	160 90 8	35 35 35 90	2	M20	22	8	
250 PFC	160 90 8	35 35 35 90	2	M20	22	8	
300 PFC	210 90 8	35 35 35 70	3	M20	22	8	
300 PFC	210 90 8	35 35 35 70	3	M20	22	8	



IMPORTANCE OF CURING CONCRETE



Effect of curing duration on: (A) compressive strength; and (B) concrete permeability
Acknowledgement: Diagram is based on Fig 1.2 of Guide to Concrete Repair & Protection (SAA/NBS-1998)



PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civl.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170.1, A.S.1170.2, A.S.1170.3, A.S.1584, A.S.3600, A.S.3700, A.S.4100

Jack D. Hodgson 18/3/02 J. Hodgson
Name Date Signature

THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE
CARPORT & DRIVEWAY STRUCTURAL DETAILS
PROPOSED ALTERNATIVES & AMENDMENTS
33 PACIFIC ROAD
Palm Beach

MR M COULTON & MR L THOMSON

The Structural Details shown on this Drawing are Not to change under any circumstances. No Certificate will be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungan Street, MERRILL VALE, NSW, 2445 P.O. Box 386, MERRILL VALE, NSW, 2445.
Telephone (02) 9878 8733. Facsimile (02) 9878 8826. A.C.N. 083 106 011

Designed JDH Drawn ARC Job No. Drawing No.
Checked JDH Scale 1:100, 20 and 19211-4
Date 15 MARCH 2002