



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897
29 June 2015

The General Manager
Pittwater Council
PO Box 882
MONA VALE, NSW 1660

Attention: Planning Department

Dear Sir/Madam,

**RE: OUR CDC No. 201/15
14 JUBILEE AVENUE, WARRIEWOOD NSW 2102**

Please find attached a copy of the Complying Development Certificate and Appointment of PCA for the proposed development.

This letter is also to act pursuant to Clause 86 of the EP&A Act, and is intended to:

- Notify Council of a Principal Certifying Authority (PCA) appointment pursuant to Clause 86 of the EP&A Act.

This letter is also to act pursuant to Clause 129D of the EP&A Regulation, and is intended to:

- Notify Council as to a significant fire safety issue/s as identified under 129B within our CDC inspection record which is attached for Councils consideration.

This Complying Development Certificate relates to the alterations and additions to an existing mezzanine and first use as a warehouse at the above address.

A Complying Development Certificate has been approved by:

- Accredited Certifier, Mr. Orlando Da Silva.
- PCA for this Complying Development Consent is Mr. Orlando Da Silva

Pursuant to section 94EC (1) of the Act we have also included a condition requiring the applicant to pay any section 94 contributions applicable under Councils Section 94 Contributions Plan and Security Damage Deposits.

Upon receipt and review of this development, if payment is required under your Contribution Control Plan, please forward to us and the applicant a quote as to the Sec 94 amount payable or cost summary details for the applicants action.

We have enclosed the following documents for Council's record:

1. An Approved Complying Development Certificate with the supporting documentation;
2. Appointment of PCA, and;
3. Notice of Commencement, which is two days from Council receipt of this application.
4. Record of inspection and notification of a significant fire safety issues.

We have attached a cheque for the registration of this certificate. In forwarding the receipt for this cheque it is requested that reference be made to the address of the premises.

If you have any queries regarding the above or if Council requests additional information in relation to this development, please do not hesitate to contact our office on (02) 8014 7720 during business hours to attend to your concerns.

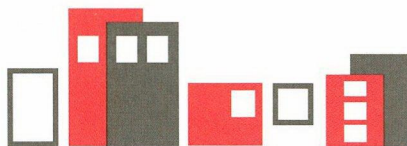
Yours faithfully,

Adam Mainey
Building Certificates Australia Pty Ltd

CC:- Newport Kinghorn Surf Racing Academy



\$36 Rec: 380011. 1/7/15



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

- construction, compliance & occupation certificates
- fire safety inspections for building upgrades
- pre-development compliance advice
- principal certifying authority (PCA)
- liaising with local authorities
- BCA compliance reporting
- project management
- building approvals
- strata approval

Complying Development Certificate

Issued under the Environmental Planning and Assessment Act 1979

Certificate No.	201/15
Subject Land Lot and SP:	U1/14 Jubilee Avenue, Warriewood NSW 2102 Lot 7 SP 64042
Applicant Name: Address: PH./Fax:	Newport Kinghorn Surf Racing Academy C/- Oricon Developments Pty Ltd 13/237 Macpherson Street, Warriewood NSW 2102 0411 153 990
Owner Name:	Joy & Anthony Clark
Description of Building Works	Alterations and additions to an existing mezzanine and first use as a warehouse.
BCA Classification	Class 7b
Cost of Works	\$23,350.00
Principal Contractor/Builder	Oricon Developments Pty Ltd - Licence No: 148165C
Complying Development Certificate Date of CDC Application: Determination: Date of Determination: Date of Lapse:	11/06/15 Approved 29/06/15 29/06/20
Relevant Planning Instrument:	State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 –
Land Use Zone:	Part 5 Commercial and Industrial Alterations Code B7 Business Park
Approved plans:	Architectural plans prepared by Oricon Developments drawing numbers 01,02 and 03, dated 23/04/2015.
Attachments:	- Appendix of Supporting Documents - Conditions imposed on the development under the Regulations
Accredited Certifier Accreditation Level: Registration No.: Accreditation Body:	A1 - Accredited Certifier - Building Surveying Grade 1 BPB 0081 Building Professionals Board

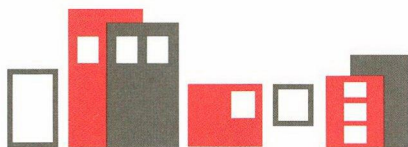
I certify that:

- the development is complying development and (if carried out as specified in the certificate) will comply with all development standards applicable to the development and with such other requirements prescribed by this regulation concerning the issue of the certificate.

Signed:

Orlando Da Silva
Accredited Certifier

Date: 29/06/15



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

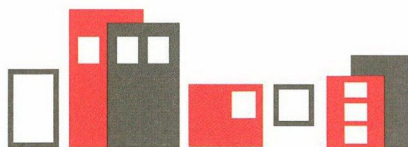
APPENDIX OF SUPPORTING DOCUMENTS CDC201/15

Attachments: Statutory Documents:

1. Application for a Complying Development Certificate,
2. Pre Complying Development Certificate inspection record,
3. Prescribed Conditions under the Regulations
 - 136B Erection of signs
 - 136E Development involving bonded asbestos material and friable asbestos material
 - 136H Condition relating to shoring and adequacy of adjoining property
 - 136J Development on contaminated land
 - 136K When complying development certificates must be subject to section 85A (9) condition
 - 136L Contributions and levies payable under section 85A (9) must be paid before work commences
 - 136M Condition relating to payment of security
 - 136N Principal certifying authority to be satisfied that preconditions met before commencement of work
 - And, Schedule 8 Conditions applying to complying development certificates under the Commercial and Industrial Alterations Code and the Commercial and Industrial (New Buildings and Additions) Code
4. Council/SEPP Conditions of Complying Development
5. Fire Safety Schedule issued with this Complying Development Certificate
 - 5.1. The provided Fire Safety Schedule by David Rees of Oricon Developments Pty Ltd, dated 26/06/15.

Documents Relied upon:

6. Supporting Design Statement;
 - 6.1. BCA Compliance Design Statement;
 - 6.1.1. By: David Rees of Oricon Developments Pty Ltd, dated 18/06/15
 - 6.2. Stamped Approved Complying Development Architectural Plans;
 - 6.2.1. By: Oricon Developments drawing numbers 01,02 and 03, dated 23/04/2015.
 - 6.3. Supporting Structural drawings and design statement;
 - 6.3.1. By: Soliman Hanna of Soliman Hanna & Associates, dated 11/06/15 & drawing number S1, dated 25/05/15. & Dematic Pty Ltd drawing numbers P16905-L001, P16905-L002, dated 10/06/15.
 - 6.4. Supporting Mechanical, Electrical and Fire Services drawings and design statement;
 - 6.4.1. By: David Rees of Oricon Developments Pty Ltd, dated 18/06/15
 7. Builder's details:
 - 7.1. Oricon Developments Pty Ltd - Licence No: 148165C
 8. All other supporting documents
 9. Strata Plan prepared by Land and Property Information
 10. Planning Certificate 149 (2) and (5) prepared by Mark Ferguson of Pittwater Council dated 27/03/15
 11. All other supporting documents
 - 11.1. Planning Certificate provided by Adam Mainey of Australian Facilities Solutions Pty Ltd, dated 28/06/15.
 - 11.2. Certification from qualified engineer provided by Soliman Hanna & Associates, dated 29/05/15
-



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

BEFORE YOU BEGIN WORK - YOU MUST!

1. Appoint a PCA if not already done;
2. This Complying Development Consent does **Not** approve any works outside this Lot and DP no. Where your development results in the necessity to upgrade or connect to footpaths, roads and public drainage systems you will need further approval from Council before you undertake such works. You may also need approval for hoarding and construction (work) zones.
3. Two days before any site works, building or demolition begins, the applicant must: (if not already done)
 - a) forward a Notice of Commencement of Work and Appointment of Principal Certifying Authority to the Council;
 - b) notify PCA that you intend to commence work; (Have you a PCA?)

When you notify your PCA, you must demonstrate that all Pre-Commencement Conditions have been satisfied within your consent. Ensure that;

1. *Protection of adjoining areas*
 2. *Toilet Facilities*
 3. *Waste Management*
 4. *Adjoining wall dilapidation report*
 5. *Run-off and erosion controls*
 6. *Tree Protection Measures*
4. Before any site works, building or demolition begins;
 - a) notify the council of the name, address, phone number and licence number of the builder; and
 - b) erect a sign at the front of the property with the builder's name, licence number, site address and the number given by the Council to the application for the complying development certificate; and
 - c) provide a temporary on-site toilet if access to existing toilets is not adequate; and
 - d) protect any public land or place from obstruction, inconvenience or damage due to the carrying out of the development; and
 - e) prevent any substance from falling onto any public land or place; and
 - f) pay any section 94 or 94A contributions if required by a contributions plan applying to the land; and
 - g) pay any damage or security deposits to Council; and;
 - h) Obtained any road opening permits under the Local Government Act
 - i) comply with any other conditions prescribed by the *Environmental Planning and Assessment Regulation 2000 and State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

NOTE: This item does not impose a requirement on an applicant if it is complied with by the builder.

NOTE: The Applicant and Builder must be aware of all development Consent Conditions.

Conditions of Complying Development Certificate *(Prescribed Conditions under the Regulations) (22/02/2014)*

Division 2A Conditions of complying development certificate

136B Erection of signs

- (1) A complying development certificate for development that involves any building work, subdivision work or demolition work must be issued subject to a condition that the requirements of subclauses (2) and (3) are complied with.
- (2) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.
- (3) Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- (4) This clause does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building, that does not affect the external walls of the building.
- (5) This clause does not apply in relation to Crown building work that is certified, in accordance with section 109R of the Act, to comply with the technical provisions of the State's building laws.
- (6) This clause applies to a complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date.

Note. Principal certifying authorities and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100).

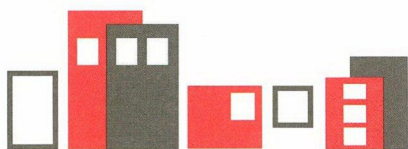
136E Development involving bonded asbestos material and friable asbestos material

- (1) A complying development certificate for development that involves building work or demolition work must be issued subject to the following conditions:
 - (a) work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the Work Health and Safety Regulation 2011,
 - (b) the person having the benefit of the complying development certificate must provide the principal certifying authority with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
 - (c) any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered,
 - (d) if the contract indicates that bonded asbestos material or friable asbestos material will be removed to a specified landfill site, the person having the benefit of the complying development certificate must give the principal certifying authority a copy of a receipt from the operator of the landfill site stating that all the asbestos material referred to in the contract has been received by the operator.
- (2) This clause applies only to a complying development certificate issued after the commencement of this clause.
- (3) In this clause, ***bonded asbestos material***, ***bonded asbestos removal work***, ***friable asbestos material*** and ***friable asbestos removal work*** have the same meanings as in clause 317 of the Occupational Health and Safety Regulation 2001.

Note 1. Under clause 317 removal work refers to work in which the bonded asbestos material or friable asbestos material is removed, repaired or disturbed.

Note 2. The effect of subclause (1) (a) is that the development will be a workplace to which the Occupational Health and Safety Regulation 2001 applies while removal work involving bonded asbestos material or friable asbestos material is being undertaken.

Note 3. Information on the removal and disposal of asbestos to landfill sites licensed to accept this waste is available from the Department of Environment, Climate Change and Water.



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

Note 4. Demolition undertaken in relation to complying development under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* must be carried out in accordance with Australian Standard AS 2601—2001, *Demolition of structures*.

136F, 136G (Repealed)

136H Condition relating to shoring and adequacy of adjoining property

- (1) A complying development certificate for development must be issued subject to a condition that if the development involves an excavation that extends below the level of the base of the footings of a building, structure or work (including any structure or work within a road or rail corridor) on adjoining land, the person having the benefit of the certificate must at the person's own expense:
 - (a) protect and support the building, structure or work from possible damage from the excavation, and
 - (b) where necessary, underpin the building, structure or work to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

136I Traffic generating development

If an application for a complying development certificate is required to be accompanied by a certificate of Roads and Maritime Services as referred to in clause 4 (1) (k) of Schedule 1, the complying development certificate must be issued subject to a condition that any requirements specified in the certificate of Roads and Maritime Services must be complied with.

136J Development on contaminated land

- (1) If an application for a complying development certificate is required to be accompanied by a statement of a qualified person as referred to in clause 4 (1) (l) of Schedule 1, the complying development certificate must be issued subject to a condition that any requirements specified in the statement must be complied with.
- (2) Subclause (1) does not apply to complying development carried out under the complying development provisions of *State Environmental Planning Policy (Port Botany and Port Kembla) 2013* in the Lease Area within the meaning of clause 4 of that Policy.

136K When complying development certificates must be subject to section 85A (9) condition

- (1) This clause applies if a council's contributions plan provides for the payment of a monetary section 94 contribution or section 94A levy in relation to development for a particular purpose (whether or not it is classed as complying development under the contributions plan).
- (2) The certifying authority must issue the relevant complying development certificate authorising development for that purpose subject to a condition requiring payment of such contribution or levy, as required by section 85A (9) of the Act.
- (3) Subclause (2) applies despite any provision to the contrary in the council's contributions plan.

136L Contributions and levies payable under section 85A (9) must be paid before work commences

- (1) A complying development certificate issued subject to a condition required by section 85A (9) of the Act must be issued subject to a condition that the contribution or levy must be paid before any work authorised by the certificate commences.
- (2) Subclause (1) applies despite any provision to the contrary in the council's contributions plan.

136M Condition relating to payment of security

- (1) This clause applies to a complying development certificate authorising the carrying out of development if:
 - (a) the development is demolition of a work or building, erection of a new building or an addition to an existing building and the estimated cost of the development (as specified in the application for the certificate) is \$25,000 or more, and
 - (b) the development is to be carried out on land adjacent to a public road, and
 - (c) at the time the application for the certificate is made, there is specified on the website of the council for the area in which the development is to be carried out an amount of security determined by the council that must be paid in relation to:
 - (i) development of the same type or description, or



BUILDING CERTIFICATES AUSTRALIA PTY LTD

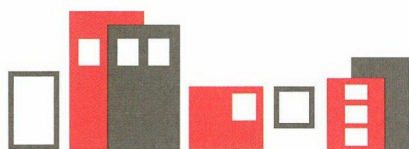
Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

- (ii) development carried out in the same circumstances, or
 - (iii) development carried out on land of the same size or description.
- (2) A complying development certificate to which this clause applies must be issued subject to a condition that the amount of security referred to in subclause (1) is to be provided, in accordance with this clause, to the council before any building work or subdivision work authorised by the certificate commences.
- (3) The security may be provided, at the applicant's choice, by way of:
 - (a) deposit with the council, or
 - (b) a guarantee satisfactory to the council.
- (4) The funds realised from a security may be paid out to meet the cost of making good any damage caused to any property of the council as a consequence of doing anything (or not doing anything) authorised or required by the complying development certificate, including the cost of any inspection to determine whether damage has been caused.
- (5) Any balance of the funds realised from a security remaining after meeting the costs referred to in subclause (4) is to be refunded to, or at the direction of, the person who provided the security.

136N Principal certifying authority to be satisfied that preconditions met before commencement of work

- (1) This clause applies to building work or subdivision work that is the subject of a complying development certificate.
- (2) A principal certifying authority for building work or subdivision work to be carried out on a site, and over which the principal certifying authority has control, is required to be satisfied that any preconditions in relation to the work and required to be met before the work commences have been met before the work commences.



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

Conditions of Complying Development Certificate

*(Prescribed Conditions under the State Environmental Planning Policy
(Exempt and Complying Development Codes) 2008)*

Schedule 8 Conditions applying to complying development certificates under the Commercial and Industrial Alterations Code and the Commercial and Industrial (New Buildings and Additions) Code

(Clauses 5.25 and 5A.31)

Note 1. Complying development under the Commercial and Industrial Alterations Code and the Commercial and Industrial (New Buildings and Additions) Code must comply with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Schedule.

Note 2. Division 2A of Part 7 of the *Environmental Planning and Assessment Regulation 2000* specifies conditions to which certain complying development certificates are subject.

Note 3. In addition to the requirements specified for development under this Policy, adjoining owners' property rights, applicable common law and other legislative requirements for approvals, licences, permits and authorities still apply.

Note 4. If the development is in the proximity of infrastructure (including water, stormwater or sewer mains, electricity power lines and telecommunications facilities), the relevant infrastructure authority should be contacted before commencing the development.

Note 5. Under section 86A of the *Environmental Planning and Assessment Act 1979*, a complying development certificate lapses 5 years after the date endorsed on the certificate, unless the development has physically commenced on the land during that period.

Part 1 Conditions applying before works commence

1 Protection of adjoining areas

A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of the works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

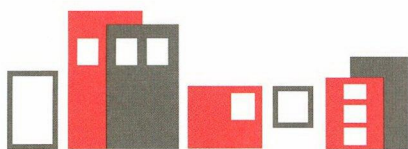
Note. Clauses 2.67 and 2.68 of this Policy specify which scaffolding, hoardings and temporary construction site fences are exempt development and state the applicable standards for that development.

2 Toilet facilities

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must:
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.

3 Waste management

- (1) A waste management plan for the work must be submitted to the principal certifying authority at least 2 days before work commences on the site
- (2) The waste management plan must:
 - (a) identify all waste (including excavation, demolition and construction waste materials) that will be generated by the work on the site, and
 - (b) identify the quantity of waste material in tonnes and cubic metres to be:
 - (i) reused on-site, and
 - (ii) recycled on-site and off-site, and
 - (iii) disposed of off-site, and



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

- (c) if waste materials are to be reused or recycled on-site—specify how the waste material will be reused or recycled on-site, and
- (d) if waste materials are to be disposed of or recycled off-site—specify the contractor who will be transporting the materials and the waste facility or recycling outlet to which the materials will be taken.
- (3) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (4) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

4 Adjoining wall dilapidation report

- (1) Before commencing any demolition or excavation works, the person having the benefit of the complying development certificate must obtain a dilapidation report on any part of a building that is within 2m of the works.
- (2) If the person preparing the report is denied access to the building for the purpose of an inspection, the report may be prepared from an external inspection.

5 Run-off and erosion controls

Run-off and erosion controls must be implemented to prevent soil erosion, water pollution or the discharge of loose sediment on the surrounding land by:

- (a) diverting uncontaminated run-off around cleared or disturbed areas, and
- (b) erecting a silt fence and providing any other necessary sediment control measures that will prevent debris escaping into drainage systems, waterways or adjoining properties, and
- (c) preventing the tracking of sediment by vehicles onto roads, and
- (d) stockpiling top soil, excavated materials, construction and landscaping supplies and debris within the lot.

Part 2 Conditions applying during the works

Note. The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise.

6 Standard hours for construction

Construction may only be carried out between 7.00 am and 6.00 pm on Monday to Friday, or between 8.00 am and 1.00 pm on Saturdays, and no construction is to be carried out at any time on a Sunday or a public holiday.

7 Works outside standard hours for construction

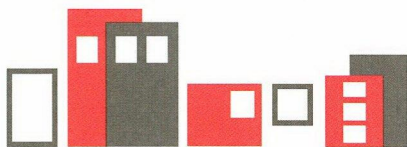
- (1) Work may be carried out outside the standard hours for construction if the work only generates noise that is:
 - (a) no louder than 5 dB(A) above the rating background level at any adjoining residence in accordance with the *Interim Construction Noise Guideline* (ISBN 978 1 74232 217 9) published by the Department of Environment and Climate Change NSW in July 2009, and
 - (b) no louder than the noise management levels specified in Table 3 of that guideline at other sensitive receivers.
- (2) Work may be carried out outside the standard hours for construction:
 - (a) for the delivery of materials—if prior approval has been obtained from the NSW Police Force or any other relevant public authority, or
 - (b) in an emergency, to avoid the loss of lives or property or to prevent environmental harm.

8 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

9 Demolition

Any demolition must be carried out in accordance with AS 2601—2001, *The demolition of structures*.



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

10 Maintenance of site

- (1) All materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials (including excavation, demolition and construction waste materials) must be managed on the site and then disposed of at a waste management facility.
- (3) Copies of receipts stating the following must be given to the principal certifying authority:
 - (a) the place to which waste materials were transported,
 - (b) the name of the contractor transporting the materials,
 - (c) the quantity of materials transported off-site and recycled or disposed of.
- (4) Any run-off and erosion control measures required must be maintained within their operating capacity until the completion of the works to prevent debris escaping from the site into drainage systems, waterways, adjoining properties and roads.
- (5) During construction:
 - (a) all vehicles entering or leaving the site must have their loads covered, and
 - (b) all vehicles, before leaving the site, must be cleaned of dirt, sand and other materials, to avoid tracking these materials onto public roads.
- (6) At the completion of the works, the work site must be left clear of waste and debris.

11 Earthworks, retaining walls and structural support

- (1) Any earthworks (including any structural support or other related structure for the purposes of the development):
 - (a) must not cause a danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot, and
 - (b) must not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property, and
 - (c) that is fill brought to the site—must contain only virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 to the *Protection of the Environment Operations Act 1997*, and
 - (d) that is excavated soil to be removed from the site—must be disposed of in accordance with any requirements under the *Protection of the Environment Operations (Waste) Regulation 2005*.
- (2) Any excavation must be carried out in accordance with *Excavation Work: Code of Practice* (ISBN 978-0-642-785442 [PDF] and ISBN 978-0-642-785459 [DOCX]), published in July 2012 by Safe Work Australia.

12 Drainage connections

- (1) If the work is the erection of, or an alteration or addition to, a building, the roof stormwater drainage system must be installed and connected to the drainage system before the roof is installed.
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out.

13 Archaeology discovered during excavation

If any object having interest due to its age or association with the past is uncovered during the course of the work:

- (a) all work must stop immediately in that area, and
- (b) the Office of Environment and Heritage must be advised of the discovery.

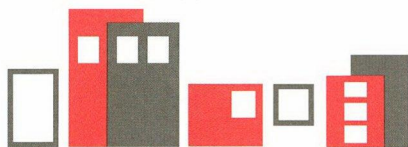
Note. Depending on the significance of the object uncovered, an archaeological assessment and excavation permit under the *Heritage Act 1997* may be required before further the work can continue.

14 Aboriginal objects discovered during excavation

If any Aboriginal object (including evidence of habitation or remains) is discovered during the course of the work:

- (a) all excavation or disturbance of the area must stop immediately in that area, and
- (b) the Office of Environment and Heritage must be advised of the discovery in accordance with section 89A of the *National Parks and Wildlife Act 1974*.

Note. If an Aboriginal object is discovered, an Aboriginal heritage impact permit may be required under the *National Parks and Wildlife Act 1974*.



15 When a survey certificate is required

- (1) If any part of the work is the erection of a new building, or an alteration or addition to an existing building, that is located less than 3m from the lot boundary, a survey certificate must be given to the principal certifying authority:
 - (a) before any form work below the ground floor slab is completed, or
 - (b) if there is no such form work—before the concrete is poured for the ground floor slab.
- (2) The survey certificate must be prepared by a registered land surveyor and show the location of the work relative to the boundaries of the site.

Part 3 Conditions applying before the issue of an occupation certificate

16 Vehicular access

If the work involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the work on the site is obtained.

17 Utility services

- (1) If the work requires alteration to, or the relocation of, utility services on, or adjacent to, the lot on which the work is carried out, the work is not complete until all such works are carried out.
- (2) If the work will be the subject of a notice of requirements for water supply or sewerage services (or both) by a water utility or an entity authorised by the utility, the work must be satisfactorily completed before the occupation certificate is issued.
- (3) If the work will be the subject of a compliance certificate under section 73 of the *Sydney Water Act 1994*, the work must be satisfactorily completed before the occupation certificate is issued.

18 Mechanical ventilation systems

If the work includes a mechanical ventilation system that is a **regulated system** within the meaning of the *Public Health Act 2010*, the system must be notified as required by the *Public Health Regulation 2012*, before an occupation certificate (whether interim or final) for the work is issued.

19 Food businesses

If the work relates to a **food business** within the meaning of the *Food Act 2003*, the food business must be notified as required by that Act, or licensed as required by the *Food Regulation 2010*, before an occupation certificate (whether interim or final) for the work is issued.

20 Premises where skin penetration procedures are carried out

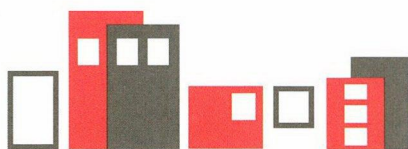
If the work relates to premises at which a **skin penetration procedure**, within the meaning of the *Public Health Act 2010*, will be carried out, the premises must be notified as required by Part 4 of the *Public Health Regulation 2012* before an occupation certificate (whether interim or final) for the work is issued.

Part 4 Operational requirements

21 Hours of operation

The development must not be operated outside the following hours:

- (a) if there are no existing conditions on the development consent applying to hours of operation—from 7.00 am to 7.00 pm on Monday to Saturday (other than public holidays) and 9.00 am to 6.00 pm on Sunday and public holidays,
- (b) if the development is a new building to be used for the purposes of industry or a warehouse or distribution centre—from 7.00 am to 7.00 pm on Monday to Saturday (other than public holidays) and 9.00 am to 6.00 pm on Sunday and public holidays,
- (c) if the development comprises the alteration of or addition to an existing building that is used for commercial premises where there are no existing conditions on the development consent applying to hours of operation—from 7.00 am to 10.00 pm on Monday to Sunday.



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

22 Noise

- (1) The development must comply with the requirements for industrial premises contained in the Noise Policy.
- (2) Noise emitted by the development:
 - (a) must not exceed an L A (15 min) of 5dB(A) above background noise when measured at any lot boundary of the property where the development is being carried out, and
 - (b) must not cause the relevant amenity criteria in Table 2.1 in the Noise Policy to be exceeded.
- (3) In this clause, **the Noise Policy** means the document entitled *NSW Industrial Noise Policy* (ISBN 0 7313 2715 2) published in January 2000 by the Environment Protection Authority.

23 Lighting

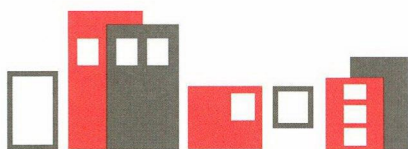
- (1) All new external lighting must:
 - (a) comply with AS 4282–1997 *Control of the obtrusive effects of outdoor lighting*, and
 - (b) be mounted, screened and directed in a way that it does not create a nuisance or light spill on to buildings on adjoining lots or public places.
- (2) Lighting at vehicle access points to the development must be provided in accordance with AS/NZS 1158 Set:2010 *Lighting for roads and public spaces Set*.

24 Unobstructed driveways and parking areas

- (1) All driveways and parking areas must be unobstructed at all times.
- (2) Driveways and car spaces:
 - (a) must not be used for the manufacture, storage or display of goods, materials or any other equipment, and
 - (b) must be used solely for vehicular access and for the parking of vehicles associated with the use of the premises.

25 Landscaped area (planting and maintenance)

- (1) Any tree or shrub that fails to establish within 2 years of the initial planting date must be replaced with the same species of tree or shrub.
- (2) All landscaped areas on the site must be maintained on an on-going basis.



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

ADVISINGS: BEFORE YOU BEGIN WORK

1. This Complying Development Consent does Not approve any works outside this Lot and DP no. Where your development results in the necessity to upgrade or connect to footpaths, roads and public drainage systems you will need further approval from Council before you undertake such works. You may also need approval for hoarding and construction (work) zones.
2. Two days before any site works, building or demolition begins, the applicant must: (if not already done)
 - a) forward a *Notice of Commencement of Work and Appointment of Principal Certifying Authority* (Form 7 of the *Environmental Planning and Assessment Regulation 1994*) to the Council; and
 - b) inform the adjoining owners in writing that work will commence.
3. Before any site works, building or demolition begins, the applicant must:
 - c) notify the council of the name, address, phone number and licence number of the builder; and
 - d) erect a sign at the front of the property with the builder's name, licence number, site address and the number given by the Council to the application for the complying development certificate; and
 - e) provide a temporary on-site toilet if access to existing toilets is not adequate; and
 - f) protect and support any neighbouring buildings and land; and
 - g) protect any public land or place from obstruction, inconvenience or damage due to the carrying out of the development; and
 - h) prevent any substance from falling onto any public land or place; and
 - i) pay any section 94 contributions if required by a contributions plan applying to the land; and
 - j) comply with any other conditions prescribed by the *Environmental Planning and Assessment Regulation 2000* and *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

NOTE: This item does not impose a requirement on an applicant if it is complied with by the builder.

SYDNEY WATER – REFERRAL REQUIREMENTS

The plans approved as part of the Complying Development Certificate shall be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters assets, sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. If the development complies with Sydney Waters requirements, the approved plan will be stamped appropriately.

WORKCOVER REQUIREMENTS

The applicant, owner and builder is advised to ensure that the relevant requirements of WorkCover New South Wales are complied with, in relation to Occupational Health and Safety, including the handling of hazardous materials (ie. materials containing asbestos)

SITE MANAGEMENT

4. Run-off and erosion controls must be implemented before construction to prevent soil erosion, water pollution or the discharge of loose sediment on surrounding land, as follows:
 - a) divert uncontaminated run-off around cleared or disturbed areas;
 - b) erect a silt fence to prevent debris escaping into drainage systems or waterways;
 - c) prevent tracking of sediment by vehicles onto roads;
 - d) stockpile topsoil, excavated material, construction and landscaping supplies and debris within the site.
5. Removal or disturbance of vegetation and topsoil must be confined to within 3 metres of the proposed building.

DEMOLITION

6. Any demolition works authorised by the certificate are to be carried out in accordance with Australian Standard AS 2601 – 1991 – The Demolition of Structures and comply with any Council policy on Waste Management.
7. Dust Mitigation must be implemented in accordance with “Dust Control- Do it right on site” published by the Southern Sydney Regional Organisation of Councils.



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

ABN 45 105 050 897

DRAINAGE

8. The completed building is to have a drainage system so that:
- a) the land surrounding any structure is graded to divert surface water to the street, and is clear of existing and proposed structures and adjoining premises;
 - b) Is complaint with Councils Stormwater Management codes and Policies;
and
 - c) if the water drains to the rear of the property, it is collected and drained via a gravity system to a Council stormwater line or disposed of in a manner consistent with the Council's Soil and Water Management Policy.

SURVEY CERTIFICATE

9. Prior to the commencement of any work the principal contractor must ensure that a surveyor registered under the Surveying Act 2002 sets out:
- The boundaries of the site by permanent marks (including permanent recovery points)
 - The location and level of foundation excavations, footings, walls and slabs by permanent marks, pegs or profiles relative to the boundaries of the land and relative to Australian Height Datum ("ADH") in compliance with the approved plans
 - Establishes a permanent datum point (bench mark) within the boundaries of the site relative to AHD, and
 - Provides the following reports to the Principal Certifying Authority at the following stages:
 - (a) Set out before commencing works
 - (b) Before the concrete is poured for the ground floor slab or before the sub-floor formwork is completed, showing the location of the structure to the boundaries.
 - (c) At completion of the lowest floor, confirming that levels are in accordance with the certificate (and those levels must relate to the datum on the certificate).
 - (d) Completion of any roof framing, and
 - (e) Completion of all work- detailing the location of the structure (including eaves/gutters) relative to adjacent boundaries and its height relative to the datum shown on the approved plans. A Final Check Survey must indicate the reduced level of the main ridge.
10. Driveways are to be constructed in accordance with any relevant requirements of AS2890.1-1993 Parking facilities Part 1: Off-street car parking, with appropriate transition zones.

NOISE CONTROL

Noise arising from demolition/ excavation/ construction works shall be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and *guidelines contained in the NSW EPA Environmental Noise Control Manual*.

ANCILLARY ASPECTS OF THE DEVELOPMENT

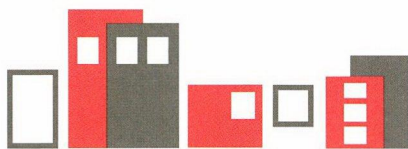
This Complying Development Consent does **Not** give approval to works and/or structures over, on or under public roads/laneways, parks or footpaths.

Levels of driveways, paths and fences or other construction works adjacent to the street alignment are to be designed to match the fence alignment (also known as design alignment or driveway property boundary alignment) levels issued by Council (details of which are available from Council).

The owner must procure the repair, replacement or rebuilding of all road pavement, kerb, gutter, footway, footpaths adjoining the site or damaged as a result of work under this consent or as a consequence of work under this consent. Such work must be undertaken to the satisfaction of Council.

DEVELOPMENT CONSENT IS NOT GRANTED IN RELATION TO THESE MATTERS

11. This approval does not give consent to air conditioning condenser units and associated equipment. A separate Development Consent or Complying Development Certificate and Part 4A Certificates, as appropriate, will need to be obtained prior to the such development work commencing



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants

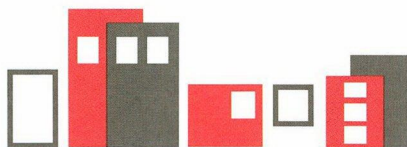
ABN 45 105 050 897

12. This approval does not give consent to the removal and/or pruning of any trees on site. All persons must comply with Councils Tree Preservation Order.
13. This approval does not authorise any trespass, encroachment or carrying out of any works upon any adjoining land or building whether private or public. Where any access, underpinning, shoring or any other works are proposed to be carried out upon any adjoining land, the owner must obtain:
 - (a) the consent of the owners of the adjoining land to access, carry out works or encroach upon their land, or otherwise affect an easement, right-of-way or other restriction on the certificate, or
 - (b) an access order under the Access to Neighbouring Land Act 2000, or
 - (c) an easement under section 88K of the Conveyancing Act 1919, or
 - (d) an easement under section 40 of the Land & Environment Court Act 1979 as appropriate.
14. This approval does not give consent to the placement of any articles, materials or waste containers in a public place or to hoist or use a crane over a footpath or any other land whether public or private outside the allotment boundary. A separate application is to be submitted to and approved by Council in accordance with Section 68 of the Local Government Act 1993.

OCCUPATION CERTIFICATE

A person must not commence occupation or use of the whole or any part of a new building (within the meaning of section 109H(4) of the Act) unless an Occupation Certificate has been issued by the Principal Certifying Authority (PCA) in relation to the building or part.

- All work undertaken comply and satisfy the relevant Australian Standards, Building Code of Australia and all DA/CDC Conditions have been satisfied,
- Any variations to the building design, as approved under the Construction Certificate, Complying Development Certificate, which may be contrary to the requirements of the DA/CDC consent and the Building Code of Australia, have been appropriately disclosed to the PCA in writing.



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

- construction, compliance & occupation certificates
- fire safety inspections for building upgrades
- pre-development compliance advice
- principal certifying authority (PCA)
- liaising with local authorities
- BCA compliance reporting
- project management
- building approvals
- strata approval

FIRE SAFETY SCHEDULE

Clause 168 of the Environmental Planning and Assessment Regulation 2000

Premises: 14 Jubilee Avenue, Warriewood NSW 2102

Complying Development Certificate No.: 201/15

The following essential fire safety measures shall be implemented in the whole of the building premises and each of the fire safety measures must satisfy the standard of performance listed in the schedule which, for the purposes of Clause 168 of the Environmental Planning and Assessment Regulation 2000, is deemed to be the current fire safety schedule for the building.

SCHEDULE

Essential Fire and Other Safety Measures	Standard of Performance	Existing	Proposed
Exit signs	BCA Clause E4.5 and AS/NZS 2293.1-1998	✓	
Fire Hose reels	BCA Clause E1.4 and AS 2441-1998	✓	
Fire Hydrant Systems	BCA Clause E1.3 and AS 2419.1-1994	✓	
Portable fire extinguishers	BCA Clause E1.6 and AS/2444 -2001	✓	
Lightweight construction to the internal columns of the mezzanine	BCA Clause C1.8 and Spec C1.1		✓

Information within this schedule was obtained from David Rees of Oricon Developments Pty Ltd, dated 26/06/15.

11 JUN 2014

BC AUST PT/L

* Construction, Compliance & Construction Regulation
* Fire safety inspections for building upgrades
* Pre-development planning advice
* Principal Certifying Authority (PCA)
* Fast-track building approvals
* BCA Technical Support
* Project Management
* Building Approvals
* Strata Advice

**APPLICATION FOR: A COMPLYING DEVELOPMENT CERTIFICATE (CDC)
PART 4A CERTIFICATE (CC), APPOINTMENT OF PRINCIPAL CERTIFYING
AUTHORITY AND NOTICE OF COMMENCEMENT**

Under Section 61A (2) (4) (6), 86 (1) (2) (3), 87 and 109C, 109D, 109E and 109F, of the Environmental Planning and Assessment Act 1979 and
Section 126, 146 or 159 Environmental Planning & Assessment Regulation 2000.

(Tick either) ☐ Construction Certificate (CC) (Modified CC ☐) or ☒ Complying Development Certificate (CDC)

And, ☒ Appointment of Principal Certifying Authority (PCA) or ☐ Crown Approval;

SUBJECT LAND OF THIS APPLICATION

Level/Suite: 21 Street No: 14 Street Name: JUBILEE AVE
Suburb: WARRIEWOOD Post Code: 2102
Lot & DP / SP No: Lot 7/SP 64042 Land Use Zone: B7 BUSINESS PARK

- All fields must be correctly filled in or Council will reject the application, building details must match Council's rate notices.
- Land Use Zone only applies to a CDC, this information is obtained from Council under a 149 (1 & 5) Planning Certificate.

BUILDING OWNERS CONSENT (All owner(s)/directors must sign this document or provide a letter of authority)

- Every owner of the land must sign this application and as the owner(s) of the above property, I/we all consent to this application. Or, provide a statement signed by all owner/s of the land to the effect that the owner consents to the making of the application.
- If the owner is a company, this form must be signed by a Power of Attorney or authorised by two (2) Directors or one (1) Director and one (1) secretary of the company and be accompanied by an ASIC extract.
- If the property is a unit under strata title, relates to common property or a lot in a community title, this form must be signed by the chairperson or the secretary of the Body Corporate and/or Body Corporate seal or the appointed managing agent.

Owner(s) Name: JOY CLARK / ANTHONY CLARK
Contact No.: 0415 266 228 Email: joy.clark@202e.mail.com.au
Name & Signature: JOY CLARK Date: 1 June '15
Name & Signature: JOY CLARK Date: 1 June '15

- I/we as the owner/s of this land consent for the below applicant to apply on our behalf to appoint the PCA and the applicant is the person having the benefit of the development consent.

DETAILS OF THE APPLICANT

(Note: Applicant must sign declaration on Page 3)

(Note: Unless the builder/contractor owns the land, the builder can't be the applicant)

Applicant Name: NEWPORT KINGHORN SURF RACING ACADEMY

All Correspondence to be C/- DAVID REES Yes ☒ No ☐

Mailing Address: 13/237 MACPHERSON ST
WARRIEWOOD State: NSW Post Code: 2102

Contact No: 0411 153 990 Email: d_rees@oricon.com.au

PRINCIPAL BUILDER / CONTRACTOR / OWNER BUILDER

Name: ORICON DEVELOPMENTS PTY LTD License/Permit No. Lic 148 165C

Address: P.O.BOX 1067, BALGOWLAH, NSW 2093

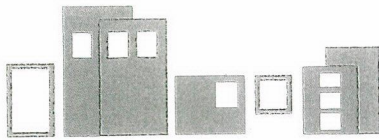
Contact No: 0411 153 990 Email: d_rees@oricon.com.au

HOME OWNERS WARRANTY INSURANCE (Must tick as applicable)

Where development works relate to residential building only:

- I have obtained the necessary builder's insurance or owner builder license under the Home Building Act. Yes ☐ No ☐ N/A ☒

Note: - HOW required where a Builders Contract exceeds \$20,000.
- Owner Builder Permit is required where building works exceed \$5,000.



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

DESCRIPTION OF DEVELOPMENT FOR THIS CONSENT

Type of Work: ☒ Building Works ☐ Fit-out Works ☐ Subdivision
☐ Fire Link Conversion ☐ Change of Use – Note: Category 1 Fire Safety Provisions Apply

Full Description of Development: Alterations and additions to an existing mezzanine and first use as a warehouse.

Existing Use: N/A Proposed Use: Warehouse (Storage)
Existing BCA Classification/s: N/A Proposed BCA Classification/s: 7b.
Existing Floor Area (m²): 268 Proposed Floor Area (m²): 302

THIS APPLICATION RELATES TO A DEVELOPMENT CONSENT (DA) Yes ☐ N/A ☒

DA No: _____ Consent Authority (Council): _____
DA Applicant / Person with benefit of Consent: _____
Date of DA Lodgment: _____ Date of DA Determination: _____
Sec 96 Modifications: _____ Date of Sec 96 Determination: _____
Sec 96 Modifications: _____ Date of Sec 96 Determination: _____

THIS APPLICATION SEEKS APPROVAL FOR COMPLYING DEVELOPMENT (CDC) Yes ☒ N/A ☐

Name of Environmental Planning Instrument or Development Control Plan in which approval is sought:

☒ SEPP (Exempt & Complying) 2008 ☐ SEPP Infrastructure 2007 ☐ Other: _____

(if any), the estimated area in square meters, of bonded asbestos material or friable asbestos material that will be disturbed, repaired or removed in carrying out the development: _____ m² N/A ☒

COST OF DEVELOPMENT / LONG SERVICE LEVY PAYMENT

The New South Wales Parliament has a levy on all building and construction work costing \$25,000 and above (inclusive of GST) in New South Wales. The levy is paid by the owners of a building or construction project into a fund administered by the Building and Construction Industry Long Service Payments Corporation, and from this fund, the Corporation makes long service payments to building and construction workers.

The current levy rate is 0.35 % of the true value of building and construction works costing \$25,000 or more (inclusive of GST). (The cost of land, non-building inputs such as design and legal services is excluded from the cost of building)

The Long Service Levy can be paid over the internet, go to: <https://online.longservice.nsw.gov.au/bci/levy/>

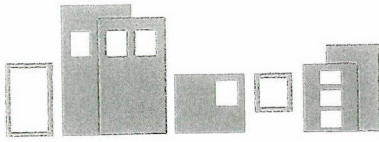
Note: If you're applying for a CDC, you will need a CDC reference No. from us before hand – to obtain this, please contact our office before making you're payment online.

The cost of building and construction in broad terms includes yet is not limited to:

- | | | |
|--|--|-----------------------------------|
| - Cost of labour and materials, | - Concreting and structural steelwork, | - Paving and kerbing etc are also |
| - Excavation, | - Bricklaying, | included, |
| - Site preparation, | - Carpentry, | - Gyprocking, |
| - External permanent structures such as retaining walls, | - Painting, | - Plumbing, |
| | - Tiling, | - Electrical |

Cost of Work for this Application, as defined above: \$23,350.00 including GST

Required LSL Payment to be made (0.35% of true cost): \$ N/A



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

APPLICANTS DECLARATION:

- I/we as the applicant confirm that all the Conditions in the Development Consent or Complying Development Certificate have and will be identified and actioned accordingly. Compliance with Development Consent conditions will occur at all times.
- All works related to this development will, can and does comply with all relevant Conditions of Development Consent, Building Code of Australia and all other relevant Australian Standards.
- I/we as the applicant confirm that all fields of this application have been filled in correctly and to the best of my knowledge the information within this form is correct.
- Compliance with the Federal Disability (Access to Premises — Buildings) Standards 2010. (Class 1b and 2-9 Buildings only)
 - I/we as the applicant are also the owners of the land:- Yes ☐ No ☐
 - I/we as the applicant are the sole lessee of this building:- Yes ☐ No ☐

(Must tick as applicable, if 'yes' Access Code applies, additional works and assessment may be required along with other approvals)

Applicant Name: DAVID REES

Signature of Applicant: David Rees Date: 10/06/2015

Note: Originals of this document must be returned to our office or received via high quality scan and email. (Faxes will not be accepted)

Note: All fields must be completed by the applicant; we accept no responsibility for wrong or false and misleading information provided.

Note: As we accept information in good faith, you are reminded that under the Environmental Planning and Assessment Regulation 2000, Clause 283 False or misleading statements - A person is guilty of an offence if the person makes any statement, knowing it to be false or misleading in an important respect, in or in connection with any document lodged with the Director-General or a consent authority or certifying authority for the purposes of the Act or this Regulation. False information submitted will VOID any Certificate Issued.

APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

APPLICANTS NOTICE TO COUNCIL OF DATE WORK IS DUE TO COMMENCE

Work will only commence relating to this application _____ days after the approval and lodgment of this Form with the Consent Authority or from the following anticipated date: JUNE 2015

- Sec 81A of the Act, the person having the benefit of the development consent (being the Applicant) is to give Council at least 2 days' notice and to the principal certifying authority if that is not the council, of the person's intention to commence work.
- Development works can't start until a CC or CDC approval is obtained and a PCA has been Appointment.
- Commencing works prior to approval of a CC/CDC or Appointment of a PCA could void any CC/CDC rendering works as unauthorised.
- Unless requested, we will notify Council on your behalf as to Commencement only after this application is approved.

(BCA Office Use Only)

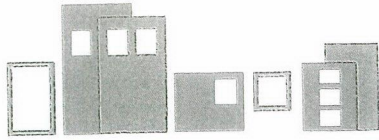
AGREEMENT OF APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

PCA's Name:	<u>Orlando Da Silva</u>
Accreditation Number:	BPB <u>0081</u>
Accreditation Grade:	A <u>1</u> Accredited Certifier – Building Surveyor Grade <u>1</u>
Accreditation Body:	Building Professionals Board
PCA's Address:	Suite 505, 64-76 Kippax Street Surry Hills 2010

Certifier's Statement: (Pursuant to Part 7 Division 2 of the EP&A Regulations)

- I consent to being appointed as the PCA for this development.
- All conditions of consent that are required to be satisfied prior to the work commencing have been satisfied.

Signature of PCA: Orlando Da Silva Date Appointed: 29/06/2015



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

(ONLY FOR NEW BUILDINGS AND ANY RESIDENTIAL WORKS)

SCHEDULE TO APPLICATION FOR A CC OR CDC (ABS)

Please complete this schedule. (The information will be sent to the Australian Bureau of Statistics)

All New Buildings:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

N/A

Residential Building Only:

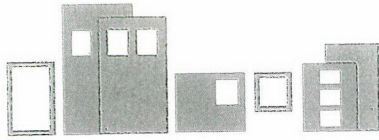
- Number of dwellings to be constructed
- Number of re-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings? Yes ☐ / No ☐
- Will the new building(s) be attached to existing buildings? Yes ☐ / No ☐
- Does the site contain a dual occupancy? Yes ☐ / No ☐

N/A

Materials – Residential Buildings:

(Please circle the appropriate code number next to each material that best describes the materials for the new work)

WALLS	CODE	ROOF	CODE
☐ brick veneer	12	☐ aluminum	70
☐ full brick	11	☐ concrete	20
☐ single brick	11	☐ concrete tile	10
☐ concrete block	11	☐ fibrous cement	30
☐ concrete/masonry	20	☐ fiberglass	80
☐ concrete	20	☐ masonry/terracotta shingle tiles	10
☐ steel	60	☐ slate	20
☐ fibrous cement	30	☐ steel	60
☐ hardiplank	30	☐ terracotta tile	10
☐ cladding - aluminium	70	☐ other	80
☐ curtain glass	50	☐ unknown	90
☐ other	80		
☐ unknown	90		
FLOOR		FRAME	
☐ concrete	20	☐ timber	40
☐ timber	10	☐ steel	60
☐ other	80	☐ other	80
☐ unknown	90	☐ unknown	90



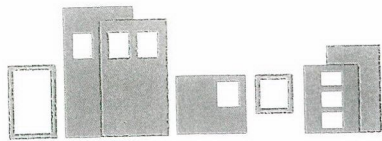
BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

APPENDIX OF SUPPORTING DOCUMENTS

It is the Applicants responsibility Under the *Environmental and Assessment Regulation 2000* to submit a list of documents accompanying and used to support an Application for development works. This can be done via a letter to us or via ticking the common items listed below which may be required to be submitted for assessment relevant to your development and adding other specific items relating to your development as needed.

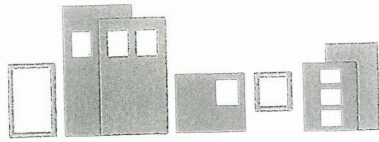
Note: As we accept information in good faith, you are reminded that under the *Environmental Planning and Assessment Regulation 2000*, Clause 283 False or misleading statements - A person is guilty of an offence if the person makes any statement, knowing it to be false or misleading in an important respect, in or in connection with any document lodged with the Director-General or a consent authority or certifying authority for the purposes of the Act or this Regulation. False information submitted will VOID any Certificate Issued.

Please submit all the relevant supporting information as One (1) Structured Package to ensure a faster assessment time.		Provided in Full	Received by BCA
1.	For a Construction Certificate (CC) : - Provide a copy of the Development Approval (DA) with the Date of Lodgment and Approval; - Provide one (1) copy of the Council Stamped Approved Development Consent Plans.	N/A ☐	☐
2.	For a Complying Development Certificate (CDC) : - Provide a Planning Certificate under section 149(2)+(5) identifying only the information set out in clause 3 of Schedule 4 of the EP&A Act Regulations – Issued by Council; (This document lists relevant planning characteristics of your land) - In addition to the Planning Certificate, you must demonstrate 'Existing Legal Use' for commercial buildings, a copy of the most recent Development Consent needs to be furnished as a CDC approval complements an existing Approval Issued via Council.	☒ ☐	☒ ☐
3.	A formal contract must be in place with the 'Applicant' and the 'Accredited Certifier' and all fees must be paid upon lodgment of the application as required under <i>The Environmental Planning and Assessment Amendment Act 2012 (Amendment Act)</i> - Return and sign the last page of our Fee Proposal Contract confirming Acceptance of our Fee Proposal & Terms of Service Agreement; - Please Confirm Payment of our Fees as agreed under our fee proposal. Date Paid: _____ Via: _____	☒ ☒	☒ ☒
4.	Completed Application Form/s for a: Construction Certificate (CC) or Complying Development Certificate (CDC) or Crown Certificate, and; Appointment of PCA, ABS Form (Only for New Buildings and any Residential Works) <i>(Application Forms must be Signed by the all Owner/s of the Building or the Original Applicant of the DA, who already has full owners approval, a recent title search recorded must also be submitted)</i>	☒ ☒ N/A ☐	☒ ☒ ☐
Approved Drawings and Supporting Drawings and Design Statements;			
5.	Provide a BCA Compliance Design Statement addressing BCA all relevant BCA Clauses and Australian Standards <i>(Drawings submitted for Approval must be designed in accordance with the Building Code of Australia and Australian Standards)</i>	☐	☐
6.	Final Construction Certificate Architectural Plans; (*3 Copies if in hard copy) <i>Note: Approved Plans will be issued in A3 size, if an alternate size is required please provide hard copies.</i> <i>Note: These are Construction Issue Drawings, in-depth detail must be documented on the please.</i> <i>I.e.: All BASIX requirements, wall and size dimensions, FRL's, RL's, and wall types all must be shown.</i>	☒	☒
7.	A statement from the architect/designer confirming that the submitted Construction Certificate drawings are "not inconsistent" against the approved development consent plans.	☐	☐
8.	If structural works are proposed, supporting Structural drawings and/or design statement; (*3 Copies if in hard copy) Supporting Structural design statement must identify type of Construction; - Your Engineer is to confirm Construction Type as detailed under Spec. C1.1 – of the Building Code of Australia. - FRL's are to be detailed and shown on the plans indication all Walls, Columns, and Floors.	☐	☐
9.	Where proposed, supporting Mechanical drawings and/or design statement; (*3 Copies if in hard copy)	N/A ☐	☐
10.	Where proposed, supporting Electrical drawings and/or design statement; (*3 Copies if in hard copy)	N/A ☐	☐
11.	Where proposed, supporting Landscaping drawings and/or design statement; (*3 Copies if in hard copy)	N/A ☐	☐
12.	Payment of the Long Service Levy (LSL) must be made if costs of works exceed \$25,000, submit either the receipt of or provide a cheque made payable to the Long Service Payments Corporation for 0.35% of the construction cost, along with the attached LSL Application Form.	N/A ☐	☐
13.	Where required, Confirm payment of Sec 94 Contributions and bonds may be required for this project as required under Council's DCP and Payment of Councils damage deposits.	N/A ☐	☐



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

Please submit all the relevant supporting information as <u>One (1) Structured Package</u> to ensure a faster assessment time.		Provided in Full	Received by BCA
14.	Builder's Details: Builders Name: <u>ORICON DEVELOPMENTS PTY LTD LIC N° 148165c</u>	☒	☒
➤	Builders HOW insurance policy or Owner Builders Permit by: _____ (Residential Works over \$20,000 requires HOW Insurance or an Owner Builder Permit Prior to a PCA being appointed)	N/A ☐	☐
15.	Where proposed, supporting Fire Services drawings and/or design statement; (*3 Copies if in hard copy) If a dwelling Class 1a, your plans must indicate the location of a Smoke Alarms - BCA Part 3.7.2 and AS 3786-1993 hard wired to the consumer mains.	☐	☐
16.	Provide the buildings Fire Safety Schedule or a Proposed Schedule of all Fire Safety Measures to be installed or altered.	☒	☒
➤	Tick and detail what fire services will be affected/alterd due to this development. (A qualified person must undertake this Item) - BCA Version _____		
i.e.: ☐ Access Panels, Doors and Hoppers to Fire Resisting Shaft • BCA Clause C3.13 ☐ Automatic Fail Safe Devices • BCA Clause D2.21 ☐ Automatic Fire Detection and Alarm System • Smoke Alarm System in accordance with Clause 3 - AS3786 Smoke Alarms powered from consumer mains to all residential SOU's, and Spaced to AS1670.1 to all common areas connected to a BOWS @ 85dB(A). • Smoke Detection System in accordance with Clause 4 - AS1670.1-2004 system throughout the building/part connected to a BOWS @ 100dB(A) - AS3786 Smoke alarms powered from consumer mains to all residential SOU's • Smoke detection system in accordance with Clause 3 & 4 • BCA Spec. E2.2a and AS 1670-2004 Fire Detection, Warning, control and Intercom System ☐ Automatic Fire Suppression System (sprinklers) • BCA Clause C2.3, H101.4, Spec. E1.5, Spec E2.2a, E2.2b, • AS 2118.1-1999, AS2118.1-2012, AS 4214 (Gaseous Suppression) ☐ Building Occupant Warning System (BOWS) • BCA Spec E2.2 Clause 6 ☐ Emergency Lifts • BCA Clause E3.4 and AS 1735.2-2001 ☐ Lift Fire Service Controls (Lifts >12m) • BCA Clause E3.7, E3.9, E3.10 ☐ Emergency Lighting • BCA Clauses E4.2/E4.4 & AS/NZS 2293.1-2005 ☐ Sound Systems and Intercom Systems for Emergency Purposes (Old EWIS) • BCA Clause E4.9 & AS 1670.4-2004 & AS 4428.4-2004 ☐ Exit Signs • BCA Clauses E4.5, E4.6, E4.8 and AS/NZS 2293.1-2005 ☐ Fire Control Centres and Fire Control Rooms • BCA Clause E1.8 & Spec. E1.8 ☐ Fire Dampers • AS/NZS 1668.1-1998 and AS 1682-1990 ☐ Fire Doors • BCA Spec. C3.4 and BCA Clause; - C2.12 (Separation of Equipment) - C2.13 (Electricity Supply Systems) - C3.4 (Methods of Protection) - C3.5 (Doors in Fire Walls) - C3.6 (Sliding Fire Doors) - C3.7 (Horizontal Exits) - C3.8 (Openings in Fire Isolated Exits) - C3.10 (Opening in Fire Isolated Lift Shafts) - C3.11 (Bounding Construction) - C3.13 (Fire Doors to Shafts) - D2.8 (Enclosure of Space under Stairs) - Spec E1.8 (Fire Control Rooms), - AS1905.1-2005 ☐ Fire Hydrant Systems • BCA Clause E1.3 & AS 2419.1-2005 ☐ Fire Seals (protecting openings in fire resisting components) • BCA Clause C3.15 ☐ Fire Shutters, • BCA C3.4 and Spec. C3.4 ☐ Fire Windows • BCA C3.4 and Spec. C3.4 ☐ Hose Reel System • BCA Clause E1.4 & AS 2441-2005 ☐ Lightweight Construction • BCA Clause C1.8 and BCA Spec. C1.8 • Manufacture Product Sheet No. • Fire Rated lightweight construction achieving an FRL of XX/XX/XX Located; ☐ Mechanical air handling systems • AS1668.1-1998 Fire and Smoke control in multi-compartment buildings - Section 5: Auto-On-Auto-Off of Air-handling Systems ➢ Miscellaneous Systems (>1,000l/s) ➢ Carparks (Metal Blades- BCA Spec 2.2a) - Section 6: Auto-Shutdown of Air-handling System - General - Section 7: Air Purge Systems - Section 8: Zone Pressurization Systems - Section 9: Fire Isolated Exit Pressurization - Section 10: Lift Shaft Pressurization • Spec E2.2a, Spec E2.2b, ☐ Opens Space and Perimeter Vehicular Access for Emergency Vehicles • BCA Clause C2.4 Open Space and Vehicular Access ☐ Openings in Fire-Isolated Lift Shafts • BCA Clause C3.10 and AS 1735.11-1986 ☐ Path of Travel for Stairways, Passageway and Ramps • EP&A Reg. 2000 Clauses 184-186 ☐ Portable Fire Extinguishers • BCA Clause E1.6 and AS 2444-2001 ☐ Portable Fire Blankets • AS 2444-200 ☐ Required (automatic) Exit Doors • BCA Clause D2.19/D2.21 ☐ Safety Curtains in Proscenium Openings • BCA Clause NSW H101.10 ☐ Smoke Exhaust Systems • BCA Spec 2.2b AS 1868.1-1998 ☐ Smoke and Heat Vents • BCA Spec E2.2c AS 2665 ☐ Smoke Alarms • BCA Spec. E2.2a and AS 3786-1993 hard wired to the consumer mains. ☐ Smoke Dampers • AS/NZS 1668.1-1998 and AS 1682-1990 ☐ Smoke Doors • BCA Spec. C3.4 ☐ Smoke Proof Walls • BCA Clause 2.5 and Spec C2.5 ☐ Solid Core Doors • BCA Clause C3.11 ☐ Stretcher Lifts • BCA Clause E3.2 and AS 1735.2-2001 ☐ System Monitoring • BCA Spec 2.2a Clause 7, AS1670.3-2004 Fire Alarm Monitoring • AS2118.1-1999 Automatic fire suppression system (sprinklers) ☐ Wall Wetting Drencher Systems (Internal or External) • BCA Clause C3.4, Spec 3.4 and AS 2118.2-1995 ☐ Warning and Operational Signs – • BCA C3.6 (Sliding Fire Doors), • D2.23 (Signs on Fire Doors), • E3.3 (Lift Sign), • NSW H101.8 (Stage Load Notice), • EPA Regs 2000, Clause 183 ☐ Standby Power Systems - BCA Spec. G3.8 ☐ Alternative Solution By: _____			



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

Please submit all the relevant supporting information as One (1) Structured Package to ensure a faster assessment time.		Provided in Full	Received by BCA
17.	Where proposed, if your fire services designs do not meet compliance with relevant Australian Standards for fire services, a Clause 188 Exemption from fire safety standards may be required via the NSW Fire Brigade. Category 3 fire safety provision means the following provisions of the Building Code of Australia, namely, EP1.3, EP1.4, EP1.6, EP2.2 and EP3.2 in Volume One of that Code.	☐	☐
18.	If your development incorporates any 'Change of Use', Category 1 fire safety measures must be considered and implemented in to the design as applicable: EP1.3: A fire hydrant system EP1.4: An automatic fire suppression system EP1.6: Suitable facilities must be provided to the degree necessary in a building to co-ordinate fire brigade intervention EP2.1: Sleeping Accommodation, occupants must be provided with automatic warning EP2.2: Conditions in any evacuation route must be maintained for the period of time occupants take to evacuate EP3.2: One or more passenger lifts fitted as emergency lifts to serve each floor served by the lifts in a building must be installed to facilitate the activities of the fire brigade and other emergency services personnel Details of the above will need to be identified on the Building Fire Safety Schedule/Statement as present, if not present; these measures will need to be installed in to the building as part of this application.	N/A ☐	☐
19.	If an Alternative Solution is proposed identifying a Category 2 fire safety measure, a Clause 144 Fire Brigade Referral is required. Your Fire Engineer is to arrange this or as otherwise agreed. (Class 9a building >2000m ² , or Fire compartment >2000m ² or total floor area of 6,000m ²) being CP9, EP1.3, EP1.4, EP1.6, EP2.2 and EP3.2	N/A ☐	☐
20.	Where required provide design verification from a qualified designer (Registered Architect) certifying that the residential flat development can achieve the design quality set, having regard to the design quality principles set out in Part 2 of State Environmental Planning Policy No 65—Design Quality of Residential Flat Development.	N/A ☐	☐
21.	If required under 146A, confirm compliance that all requirements of your voluntary planning agreement that are, under that agreement, required to be met.	☐	☐
Other supporting documents which may be requested			
22.	For residential works >\$50,000, provide your BASIX Certificate No. _____	N/A ☐	☐
23.	We recommend you obtain a Sydney Water Quick Check Stamp for all new structures. http://www.sydneywater.com.au/BuildingDeveloping/QuickCheck/	N/A ☐	☐
24.	Where required confirm that all works are designed in accordance with the requirements of Division 4 Self Contained Dwellings Standards and Compliance with State Environmental Planning policy (Seniors Living) 2004	N/A ☐	☐
25.	Where required, please arrange for correspondence from an engineer stating that the plans submitted with the application comply with AS2890.1 for Off Street Parking and AS 2890.6-2009 Off-Street parking for people with disabilities.	☐	☐
26.	Where required, design certification from an Access Report to confirm compliance with AS1428 series and Premises Standards.	N/A ☐	☐
27.	Where required design certification from an Acoustic Engineer confirming that the proposed materials and forms of construction will comply with the sound insulation requirements of BCA Part F5.	N/A ☐	☐
If you're applying for a Construction Certificate, all conditions of your development consent need to be addressed. Some of these conditions are required to be satisfied at different times. I.e.: — prior to the Issuing of a CONSTRUCTION CERTIFICATE; — prior to WORKS COMMENCING; — during construction, and; — prior to an OCCUPATION CERTIFICATE.			
I.e.:	Condition XX: IF ASBESTOS present provide details of written notification to council Five (5) working days prior to demolition.		
I.e.:	Condition XX: Provide Council Receipt for payment of all Fees/Levies/Bonds		
I.e.:	Condition XX: Provide a copy of the Road Opening Permit issued and approved by Council before works commence in the roadway.		
I.e.:	Condition XX: Surveyor to set-out at following stages, prior to pouring, and survey report provided: — Set-out before excavation, Floor slabs, Completion of foundation walls, Completion of floor slab formworks, Completion of roof framing — At Completion of works		
28.	Condition _____:	☐	☐
29.	Condition _____:	☐	☐

Please Note:

The above documents will be reviewed in the determination of the subject application and additional and/or revised details may be requested through the determination process of your application.



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

- construction, compliance & occupation certificates
- fire safety inspections for building upgrades
- pre-development compliance advice
- principal certifying authority (PCA)
- liaising with local authorities
- BCA compliance reporting
- project management
- building approvals
- strata approval

29 June 2015

Newport Kinghorn Surf Racing Academy
C/- Orion Developments Pty Ltd
13/237 Macpherson Street
WARRIEWOOD NSW 2102

Att: David Rees
Email: d_rees@oricon.com.au

RE: 14 Jubilee Avenue, Warriewood NSW 2102

You will be pleased to know that all the Pre-Construction Documentation for the above project has now been finalised. Accordingly, please find attached the following documentation:

This Complying Development Certificate relates to the alterations and additions to an existing mezzanine and first use as a warehouse at the above address.

Your Complying Development Certificate has been approved by:

- Accredited Certifier, Mr. Orlando Da Silva
- PCA for this Complying Development Consent is Mr. Orlando Da Silva

Please find attached the following documentation for your records

- Complying Development Certificate No. CDC 201/15
 - Complying Development Certificate Conditions of Consent
- Approved Construction Plans
- Notice of Critical Stage Inspections (Below)
- Fire Safety Schedule

Further, pursuant to section 109E of the Environmental Planning and Assessment Act 1979, Building Certificates Australia formally confirms our appointment as the Principal Certifying Authority (PCA) for development consent (CDC 201/15).

A copy of the Notice of Commencement of Building Works and Appointment of Principal Certifying Authority (PCA) has been forwarded to Council advising that works are due to commence after two days receipt of the notice.

Compliance with your CDC Plans and Conditions of Consent

You are also reminded that the proposed works must be carried out in strict accordance with the Approved Plans and all conditions of development adhered to.

Any proposed changes and/or alterations to the approved design must be assessed and approved by an amended Complying Development Certificate for those changes before works commences on those changes.

Failure to observe these requirements may result in a stop work order and possible demolition of the unauthorized works including possible issue of fines & prosecution by the Council as required under the Act.

Notice of Critical Stage Inspections of Works

Please note the following critical stage inspections are *mandatory* inspections that must be undertaken by us (the PCA) under the provisions of the Environmental Planning and Assessment Act, 1979 ("the Act").

HEAD OFFICE Suite 505, 64-76 Kippax Street, Surry Hills NSW 2010

CRONULLA OFFICE 62 Croydon Street, Cronulla NSW 2230

Tel: (02) 8014 7720 Fax: (02) 9211 9332

Email: reception@bcaustralia.net.au



BUILDING CERTIFICATES AUSTRALIA PTY LTD

Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

Below are a list of the critical stage inspections and other inspections required to be carried out during construction:

- Prior to commencement of Building Work; (Undertaken)
- Prior to covering of any Fire Rated Elements,
- Final Inspection prior to occupation

Under the Act, if a mandatory inspection is not carried out, it may impact on our ability to issue an Occupation Certificate. As such, the person having the benefit of the development consent or principal contractor must give us notice to arrange and carry out each mandatory critical stage inspection. Inspections are to be arranged by contacting us on our office number.

YOU ARE ON NOTICE: If any mandatory inspection is missed, under current legislation we will not be able to issue an Occupation Certificate for this development.

In relation to our inspections:

- ✓ Please allow an absolute minimum of 48 hours' notice to be provided to us to enable the above inspections to be carried out during the course of construction. We appreciate as much forward notice as possible.
- ✓ Should work not be adequately prepared and/or not all requirements of conditions of consent are met at the appropriate stage, you will be required to pay an additional inspection fee to cover the cost of Building Certificates Australia undertaking a reinspection. This will be based on our hourly rates.
- ✓ Do not commence past critical stages until one of our building inspectors have attended site and provided direction to continue to the next phase.

Obtain an Occupation Certificate prior to Use/Occupation

The provisions of section 109M of the EP&A Act state that a person must not commence occupation or use of the whole or any part of a 'new building' ('new building' includes an altered portion of, or an extension to, an existing building) unless the PCA has issued an Occupation Certificate for the relevant part.

If you have any enquires regarding the details contained within the above please do not hesitate to contact the undersigned.

Yours faithfully

Adam Mainey

Building Certificates Australia Pty Ltd

ORICON DEVELOPMENTS

BUILDERS LIC 148 165C

ABN 49 084 874 680

P.O Box 1067

BALGOWLAH NSW 2093

26TH June 2015

Principal Certifying Authority,

Building Certificates Australia Pty Ltd,

Suite 505, 64-76 Kippax St,

Surry Hills NSW 2010.

Dear Sir,

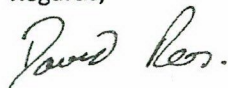
Re: Unit 21, 14 Jubilee Ave, Warriewood

As previously discussed, we were unable to obtain an Annual Fire Safety Statement (AFSS) for the building. In our attempts we requested this documentation from the building owner, the strata body and lodged an Informal Access to Information Request under the Government Information (Public Access) Act 2009 with Pittwater Council. As our attempts were unsuccessful we have undertaken an inspection of the site and can confirm that the following fire services were identified within the tenancy:

ESSENTIAL FIRE AND OTHER SAFETY MEASURES	STANDARD OF PERFORMANCE
Exit signs	BCA Clause E4.5 and AS/NZS 2293.1 – 1998
Fire Hose Reels	BCA Clause E1.4 and AS 2441 – 1998
Fire Hydrant Systems	BCA Clause E1.3 and AS 2419.1 – 1994
Portable fire extinguishers	BCA Clause E1.6 and AS 2444 – 2001

If there are any questions regarding the above, please do not hesitate to contact the undersigned.

Regards,



David Rees

Oricon Developments Pty Ltd.





PURSUANT TO THE PROVISIONS OF PART 4A OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 AND
CLAUSE 145 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION 2000.

Pursuant to the provisions of Part A1.3 and Spec A1.3 of the Building Code of Australia Volume 1 (Class 2-9 Buildings)
All works must comply with the BCA and Relevant Australian Standards.

SITE ADDRESS: 14 Jubilee Avenue, Warriewood.

DA/CDC No: 201/15.

I, DAVID REES of ORICON DEVELOPMENTS PTY LTD
(Name of Appropriately Qualified Person) (Firm Name and ABN No.)

ABN N° 49 084 874 680

I'm an: Architect (Builder) Office Fitout Designer / Certifier / Specialist Contractor / Engineer (Please circle)

Qualifications and Experience: QUALIFIED CARPENTER & BUILDERS LIC N° 5844C WITH OVER 25 YEARS EXPERIENCE

Phone Numbers: Business- 0411 153 990 Fax- N/A Mob- 0411 153 990

I hereby certify that:-

I am an appropriately qualified and competent person in this area and in conjunction with other professionals and trades engaged for this project thought the construction process, I can certify that the design and performance of the design systems, plans/specifications provided to the Certifier/Council have been checked and at the completion of this project can and will comply with the following:

1. All the following clauses of the Building Code of Australia as applicable but not limited to;

BCA Clauses (Please tick relevant Clauses)

- | | |
|--|---|
| ☐ Spec. Cl.1.1 - Fire Resisting Construction | ☐ Clause D3.6 - Identification of Accessible Facilities, Services and Features |
| ☒ Spec. Cl.1.10 - Fire Hazard Properties | ☐ Clause D3.8 - Tactile Indicators |
| ☐ Spec. Cl.1.11 - Performance of external Walls in a Fire | ☐ Clause F1.7 - Waterproofing of Wet Areas |
| ☐ Clause C2.12 - Separation of Equipment | ☐ Clause F2.4 - Provision for Accessible Sanitary Facilities |
| ☐ Clause C2.13 - Electricity Supply System | ☐ Accessible Toilet designed in accordance with AS1428.1 |
| ☐ Clause C3.4 - Acceptable Methods of Protection (of openings) | ☐ Clause F2.5 - Construction of Sanitary Compartments |
| ☐ Clause C3.8 - Openings in Fire Isolated Exits | ☒ Clause F3 - Rooms Heights |
| ☐ Clause C3.15 - Openings for Service Installations | ☒ Part F4 - Lighting and Ventilation |
| ☒ Clause D2.7 - Installations in Exits and Paths of Travel | ☐ Clause G1.2 - Refrigerated Chambers |
| ☐ Clause D2.13 - Goings and Risers | ☐ Clause J1 - Building Fabric |
| ☐ Clause D2.14 - Landings | ☐ Clause J2 - External Glazing |
| ☒ Clause D2.15 - Thresholds | ☐ Clause J3 - Building Sealing |
| ☐ Clause D2.16 - Balustrades | ☐ Clause J4 - Air Movement |
| ☐ Clause D2.17 - Handrails | ☐ Clause J5 - Air-Conditioning and Ventilation Systems |
| ☒ Clause D2.21 - Operation of Latch | ☐ Clause J6 - Artificial Lighting and Power |
| ☐ Clause D2.23 - Signs on Doors | ☐ Clause J7 - Hot Water Supply |
| ☐ Clause D3.2 - General Building Access Requirements | ☐ Clause J8 - Access for Maintenance |
| ☐ Clause D3.3 - Parts of a Building to be Accessible | |

(If you're unsure, refer to the BCA or Standards, you can always call your PCA or BCA consultant for more guidance)

2. The building/s is to be or is constructed in accordance with Type 'A' 'B' 'C' Construction as detailed under Spec. Cl.1.1 - Fire Resisting Construction under the Building Code of Australia;
3. All architectural/services/structural plans and specifications provided to the Accredited Certifier / Council are released for construction are consistent with the lodged design,
4. All relevant Australian Standards listed in the Building Code of Australia (Specification A1.3),
5. Other practices or standards relied upon for this certification:

6. All works to be undertaken will comply with all DA/CDC Conditions and all relevant Conditions have been satisfied and implemented into the Construction Plans and/or design as required prior to the issuing of a Construction Certificate or Complying Development Certificate,
7. There are no variations at all to the building design, scale, height and appearance as approved under the Development Consent issued by Council.

8. The following specific Australian Standards but also not limited to:

Most Common Australian Standards and Other References (Please tick relevant Standards)

- | | |
|---|---|
| <ul style="list-style-type: none"> ☒ Mechanical Ventilation to comply with AS1668 ☐ All Plumbing works to comply with AS 3500 ☒ All Electrical works to comply with AS3000 ☐ All Waterproofing to wet areas to comply AS3740 ☒ All Glazing to comply with AS1288 and if a balustrade, will be structural in accordance with AS1170 and AS1288 ☐ All Fit-out works to a Food Premises are to be in accordance with AS4674 Design, Construction and with Standard 3.2.3 of the Australian and New Zealand Food Standards Code under the Food Act 2003. ☐ All Fit-out works where skin penetration procedures are carried out which a skin penetration procedure within the meaning of the Public Health Act 1991 will comply with the Public Health (Skin Penetration) Regulation 2000. ☐ The building is designed and will comply with AS3959 'Construction of Buildings in Bushfire Prone Areas'. ☐ All doors, ramps, fixtures and toilets designs comply with AS1428.1 and .4 Access and Mobility requirements. | <ul style="list-style-type: none"> ☐ All requirements and recommendations contained in the BASIX assessment have and will be implemented into the construction of the building to achieve the calculated energy efficiency rating. ☐ All balustrades being glass or other to comply with the structural loading requirements of AS1170.1 ☐ The layout and configuration of the carparking areas, complies with AS2890, and relevant Council policies, including the instalment of pedestrian and vehicular safety barriers in carparking areas where there is a >1m fall to AS1170.1 ☐ Fencing to the Swimming Pool will comply with the Swimming Pools Act 1992, and AS1926.1. <ul style="list-style-type: none"> - Swimming pool / spa units will be installed to comply with the requirements of AS1926.3-2003, Swimming pool safety, Part 3: Water recirculation and filtration systems. ☐ Termite protection measures have been implemented into the building construction in accordance with AS3660.1. |
|---|---|

9. Please identify which Fire Safety Measures are to be Installed, altered or affected due to your project for our review; (please tick)

- Final Fire Safety Certificates will be required for each measure altered, if works are to an existing building, see also the buildings Statement/Schedule for installed measures within the building.

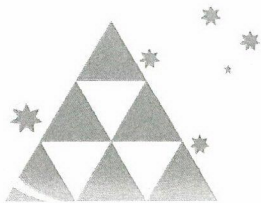
Fire Safety Measures - (Please tick relevant services)

- | | |
|---|--|
| <ul style="list-style-type: none"> ☐ Access panels, doors and hoppers to fire resisting shaft ☐ Automatic fail safe devices ☐ Automatic fire detection and alarm system ☐ Automatic fire suppression system (sprinklers) ☐ Emergency Lifts ☐ Emergency Lighting ☐ Emergency Warning and Intercommunication System ☒ Exit Signs ☐ Fire Control Centres and Rooms ☐ Fire Doors <ul style="list-style-type: none"> ☐ C2.12 (Separation of Equipment), ☐ C2.13 (Electricity Supply Systems), ☐ C3.4 (Methods of Protection), ☐ C3.5 (Doors in Fire Walls), ☐ C3.6 (Sliding Fire Doors), ☐ C3.7 (Horizontal Exits), ☐ C3.8 (Openings in Fire Isolated Exits), ☐ C3.10 (Opening in Fire Isolated Lift Shafts), ☐ C3.11 (Bounding Construction), ☐ D2.8 (Enclosure of Space under Stairs), ☐ Spec E1.8 (Fire Control Rooms), ☐ Fire hydrant systems ☐ Fire seals (protecting openings in fire resisting components of the building/Fire Collars) ☐ Fire Shutters ☐ Fire Windows ☐ Hose reel system ☐ Fire rated lightweight construction ☐ Alternative Solution Existing/Proposed: _____ | <ul style="list-style-type: none"> ☐ Mechanical air handling systems <ul style="list-style-type: none"> ☐ Smoke Exhaust System. ☐ Zone Smoke Control System. ☐ Air Pressurisation System. ☐ Auto-shutdown of Air-handling System. ☐ Mechanical ventilation to carpark. ☐ Perimeter Vehicular Access for Emergency Vehicles ☐ Openings in fire-Isolated lift shafts ☐ Path of travel for stairways, passageway and ramps ☐ Portable fire extinguishers ☐ Pressurising Systems ☐ Required (automatic) Exit Doors ☐ Safety Curtains in Proscenium Openings ☐ Smoke Control Systems ☐ Smoke detectors and heat detectors ☐ Smoke dampers ☐ Smoke and Heat Vents ☐ Smoke doors ☐ Solid Core Doors ☐ Stretcher Lifts ☐ Wall wetting drencher systems ☐ Warning and Operational Signs – <ul style="list-style-type: none"> ☐ BCA C3.6 (Sliding Fire Doors), ☐ D2.23 (Signs on Fire Doors), ☐ E3.3 (Lift Sign), NSW H101.8 (Stage Load Notice), ☐ EPA Reg's 2000, Clause 183 ☐ Standby Power Systems |
|---|--|

I confirm to the best of my knowledge, relevant items identified above are true and correct.

Signature: _____

Date: _____



Soliman Hanna & Associates

Consulting Structural & Civil Engineers

Accredited Certifiers

ABN 45 689 168 105

65A Millett Street,

Hurstville NSW 2220

Tel: (02) 9570 1119

Fax: (02) 9570 7736

Mobile: 0410 444 011

Email: shanna@shconsulting.com.au

www.shconsulting.com.au

11/06/15



Certificate of structural adequacy

Client: Newport Kinghorn Surf Academy

Project: Alteration and additions at Unit 21/14 Jubilee Avenue, Warriewood

Our Reference: 15-074

We Soliman Hanna & Associates being professional Engineers in accordance with the building code of Australia, certify that we have checked the structural adequacy of the existing structure at the above mentioned address.

We are satisfied that the existing structure is structurally adequate to support the additional loads of the proposed addition.

If you require any further information, please do not hesitate to the undersigned.

This certification shall not be construed as relieving any other party of their responsibility, liabilities or contractual obligations.

Yours Faithfully

Soliman Hanna & Associates

Soliman Hanna BscEng(Hons), MIEAust, CPEng, NPER-3, RPEQ 6647, RBP 37527

Soliman Hanna & Associates.

Consulting Civil and Structural Engineers

Accredited Certifiers

CONSTRUCTION NOTES

GENERAL

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR A DECISION BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION FROM THESE DRAWINGS AND THEIR ASSOCIATED CONSULTANTS DRAWINGS IS NOT TO COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.
- G2 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT AUSTRALIAN STANDARDS AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARYED BY THE PROJECT SPECIFICATION.
- G3 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR ON SITE. THE ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- G4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- G6 THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND LOCAL GOVERNMENT ORDINANCES FOR THE FOLLOWING LOADINGS. REFER TO ARCHITECTURAL DRAWINGS FOR PROPOSED USAGE.

	LIVE LOAD (kPa)	SUPERIMPOSED DEAD LOADS (kPa)
FLOOR USAGE	15	1
RESIDENTIAL	15	1

CONCRETE

- C1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
- C2 READY-MIX CONCRETE SUPPLY SHALL COMPLY WITH AS 1379.
- C3 CONCRETE QUALITY:

ELEMENT	CONCRETE	STRENGTH GRADE (MPa)	CEMENT TYPE	MAX AGG SIZE (mm)	SLUMP (mm)	MIN CEMENT CONTENT (kg/m ³)	SHRINKAGE LIMIT AT 56 DAYS (%)
PAD FOOTINGS, STRIP FOOTINGS, PIERS	NORMAL	25	GP	20	80	N/A	N/A
SLABS ON GROUND, FOOTING BEAMS	NORMAL	25	GP	20	80	N/A	N/A
SUSPENDED SLABS, AND BEAMS	NORMAL	32	GP	20	80	N/A	N/A

PROJECT CONTROL TESTING SHALL BE CARRIED OUT ON ALL SPECIAL-CLASS CONCRETE IN ACCORDANCE WITH AS 1379, CLAUSE 87.

- C4 NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED BY THE ENGINEER.
- C5 CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR VARIOUS CONDITIONS OF SURFACE EXPOSURE AND CONCRETE STRENGTH GRADE SHALL BE AS FOLLOWS UNLESS SHOWN OTHERWISE.

CONCRETE SURFACE AND EXPOSURE CONDITION	CONCRETE STRENGTH GRADE (MPa)	CLEAR COVER (mm)		
		CAST AGAINST STANDARD FORMWORK	CAST AGAINST NON-STANDARD FORMWORK OR MEMBRANE	CAST STANDARD GROUND
INTERNAL SURFACES	20-40	20	-	-
EXTERNAL SURFACES PROTECTED BY MEMBRANE	20-40	20	30	-
EXTERNAL SURFACES IN CONTACT WITH SOIL OR FRESH WATER	25 32 40	30 25 20	40 35 30	50 45 40
EXTERNAL SURFACES ABOVE GROUND	32 40	40 30	-	-

NOTE: COVER REQUIREMENTS MAY NEED TO BE INCREASED TO SUIT FIRE RATING.

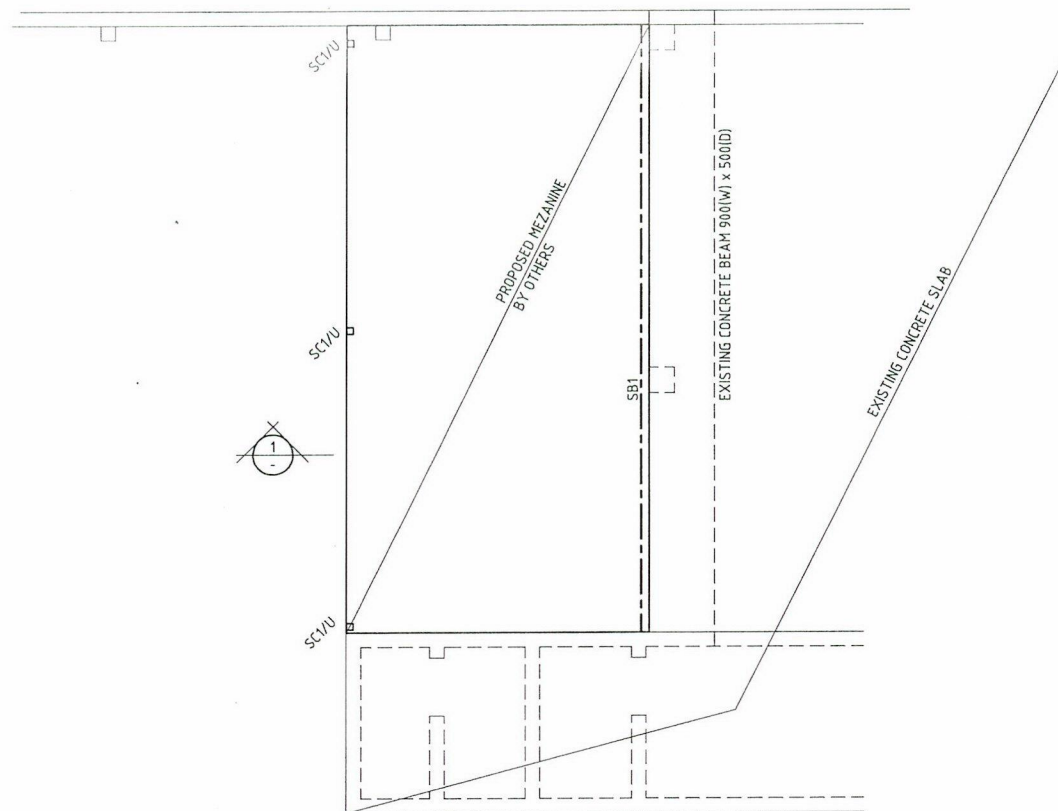
- C10 NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- C12 THE FINISHED CONCRETE SHALL BE DENSE, HOMOGENEOUS, MASS, COMPLETELY FILLING THE FORMWORK. THOROUGHLY CHECKING THE REINFORCEMENT AND FREE OF STONE PROXIES. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.
- C13 CURING OF ALL CONCRETE IS TO BE ACHIEVED BY KEEPING SURFACE CONTINUOUSLY MOIST FOR A PERIOD OF 7 DAYS. APPROVED SPRAYED ON CURING COMPOUNDS THAT COMPLY WITH AS 3799 MAY BE USED WHERE FLOOR FINISHES WILL NOT BE AFFECTED (REFER MANUFACTURER'S SPECIFICATION). POLYETHYLENE SHEETING OR MET. HESSIAN MAY BE USED TO RETAIN CONCRETE. IT MUST BE SECURELY TIED DOWN SO THAT IT IS NOT DISPLACED BY WIND OR TRAFFIC.
- C14 CONSTRUCTION SUPPORT PROPPING IS TO BE LEFT IN PLACE WHERE NEEDED TO AVOID OVERSTRESSING THE STRUCTURE DUE TO CONSTRUCTION LOADING. NO BRIDGWORK OR PARTITION WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL ALL PROPPING IS REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD.
- C15 THE ENGINEER SHALL BE GIVEN 24 HOURS NOTICE FOR REINFORCEMENT INSPECTION AND CONCRETE SHALL NOT BE DELIVERED UNTIL FINAL APPROVAL IS OBTAINED.

FOUNDATIONS

- F1 FOOTINGS HAVE BEEN DESIGNED FOR ALLOWABLE BEARING CAPACITY AND SHAFT ADHESION AS FOLLOWS:

ELEMENT	FOUNDATION MATERIAL	BEARING CAPACITY (kPa)	SHAFT ADHESION (kPa)

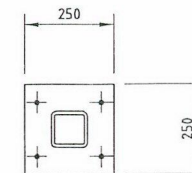
- F2 THE FOUNDATION MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER FOR THIS BEARING CAPACITY AND SHAFT ADHESION BEFORE ANY MEMBRANE, REINFORCEMENT, OR CONCRETE IS PLACED.
- F3 BORED PIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 2159 SAA PILING CODE.
- F4 BACKFILL AGAINST RETAINING WALLS (OTHER THAN CANTILEVER WALLS) SHALL NOT BE PLACED UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM IS COMPLETED.
- F5 FOOTINGS SHALL BE LOCATED CENTRALLY UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE.
- F6 FOOTINGS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING OR DRYING OUT BY EXPOSURE.



PROPOSED MEZANINE LAYOUT

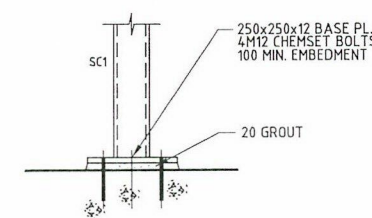
1:50
SC1 - 100 x 5 SHS
SB1 - 150PFC

THE EXISTING STRUCTURE TO BE INSPECTED AND CERTIFIED FOR STRUCTURAL ADEQUACY BEFORE COMMENCEMENT OF WORK.



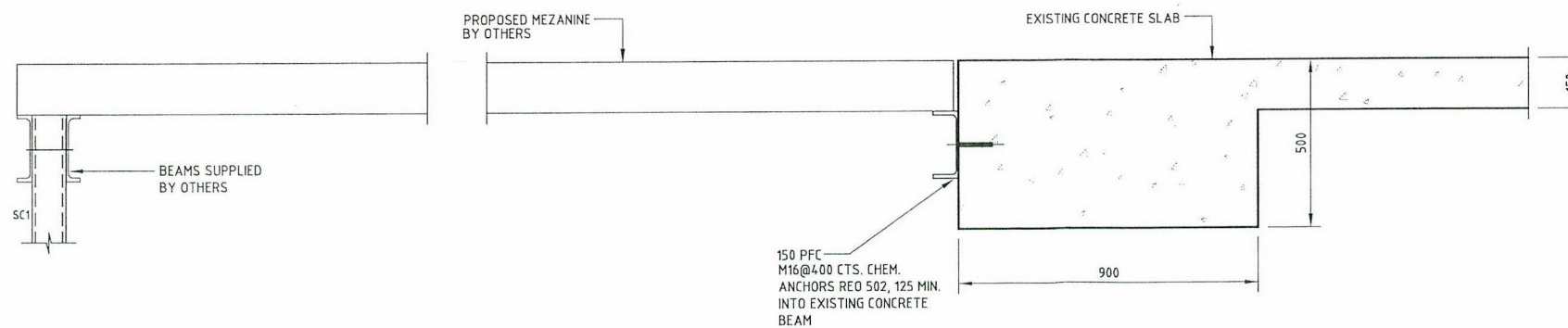
BASE PLATE DETAIL

1:10



COLUMN SC1 DETAIL

1:10



SECTION 1

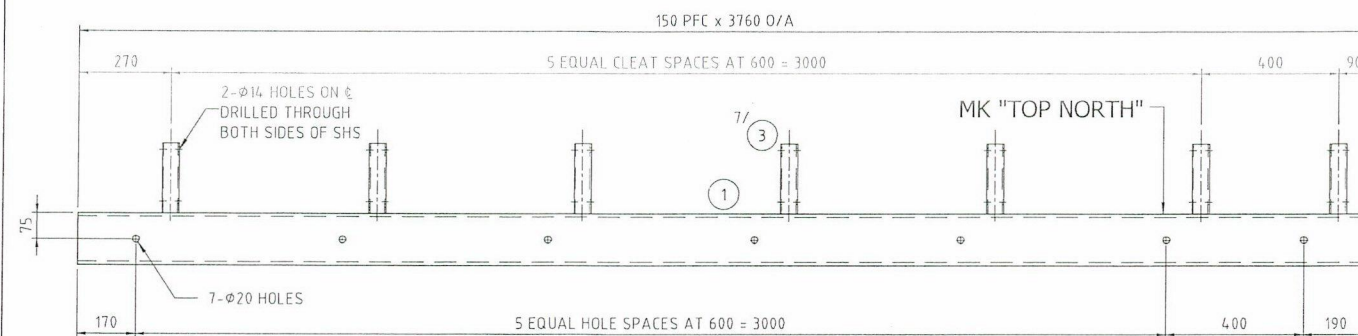
1:10

Rev. Date Description			Client:			Project:			Scale:			Date:			Title:			Job Number:		
			NEW KINGHORN SURF ACADEMY			PROPOSED MEZANINE 21/14 JUBILEE AVE. WARRIWOOD			AS SHOWN			25.05.15			MEZZANINE LAYOUT AND DETAILS			15074		
									Drawn: JMF			Designed: S.H.						Drawing Number: S1		
									Approved By: Soliman Hanna			Date:						Revision:		
									BSCEng(Hon), MIEAust, CPEng, NPER-3(633916)											

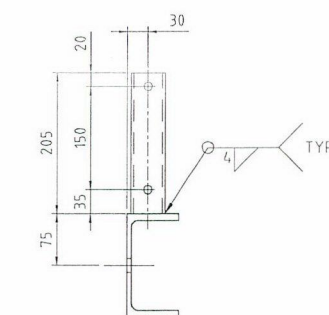


Soliman Hanna & Associates
Consulting Structural & Civil Engineers
Accredited Certifiers
65A Millet Street, Hurstville NSW 2220
Ph: (02) 9570 1118 Fax: (02) 9570 7736
Email: solhanna@swiftsl.com.au

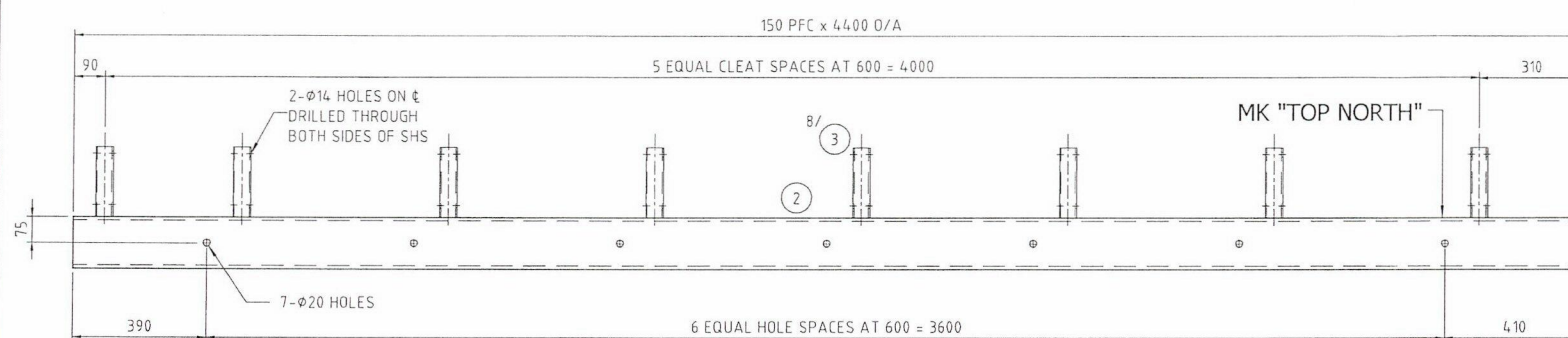
ITEM	QTY	DESCRIPTION	MAT'L	DRAWING No/PART No
1	1	150 x 75 PFC x 3760	GR 250	-
2	1	150 x 75 PFC x 4400	GR 250	-
3	15	50 x 50 x 4.0 SHS x 205	GR 350	-
4	3	100 x 100 x 5.0 SHS x 3238	GR 350	-
5	3	100 x 50 x 4.0 RHS x 195	GR 350	-
6	3	120 x 12 PLATE x 280	GR 250	-
7	3	100 x 5 PLATE x 100 (PROFILE TO SUIT 100 RHS)	GR 250	-



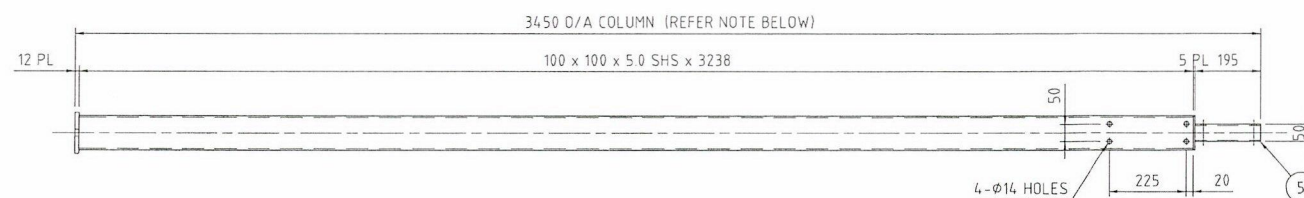
JOIST SUPPORT BEAM - ONE REQUIRED
MK. P16905-L002-1 - ELEVATION
SCALE 1:10



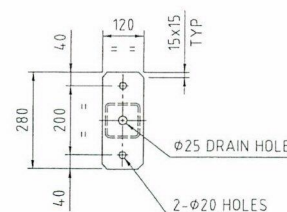
TYPICAL END ELEVATION
SCALE 1:5



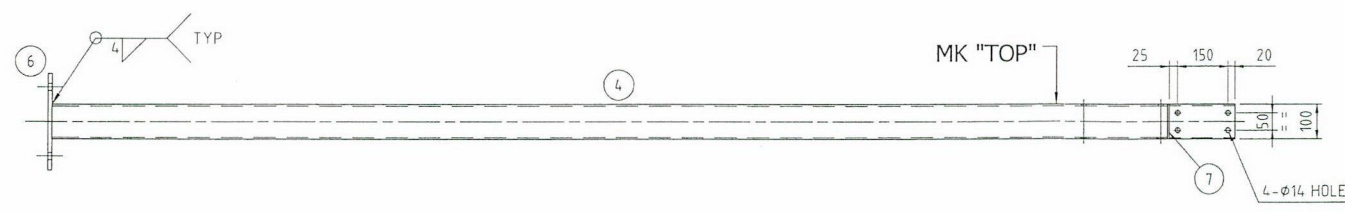
JOIST SUPPORT BEAM - ONE REQUIRED
MK. P16905-L002-2 - ELEVATION
SCALE 1:10



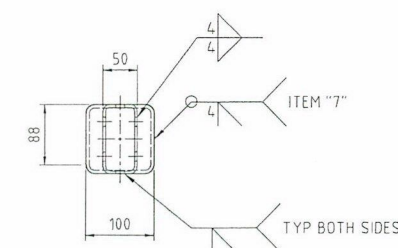
PLAN
SCALE 1:10



END ELEVATION
SCALE 1:10



COLUMN - 3 REQUIRED MK. P16905-L002-3
ELEVATION
SCALE 1:10
NOTE: CONTRACTOR TO CONFIRM COLUMN HEIGHT PRIOR TO FABRICATION



END ELEVATION
SCALE 1:5

GENERAL NOTE	
(UNLESS NOTED OTHERWISE)	
1 ALL DIMENSIONS IN MILLIMETRES.	
2 TOLERANCES-	
FABRICATION	MACHINING
LINEAR	LINEAR
0-10mm ±0.25	±0.2
10-1000mm ±0.5	
1000mm ±1.0	
ANGULAR	ANGULAR
±0.5°	±0.2
3 SURFACE FINISH	
MACHINED	
ALL ROUGH CUT SURFACES TO BE FINISHED TO 120 GRIT	
ALL HOLES TO BE DEBURRED AND ALL SHARP EDGES REMOVED	
4 MATERIAL	
STRUCTURAL STEEL	TO AS1163, AS3678
MILD STEEL	TO AS1594, AS1595
STAINLESS STEEL	TO AS1649, AS2837
5 WELDING	
STRUCTURAL STEEL	TO AS1554
MILD STEEL	TO AS1554
STAINLESS STEEL	TO AS1554
ALUMINIUM	TO AS1685
ALL WELDS TO BE NO GREATER THAN THE MINIMUM THICKNESS OF PLATES OR SHEETS TO BE WELDED.	
6 SCREW THREADS	
TO AS1275 (METRIC ISO)	

FINISH	GALVANISED
--------	------------

DEMATIC

Dematic Pty Ltd
ABN 43 118 236 425
www.dematic.com.au
Australasia +61 2 9486 5555 • ASEAN +65 6745 0970 • China +86 21 6887 6980

A	-	-	ISSUED FOR APPROVAL	10-06-15	MRo
REV	CHK'D	APP'D	DESCRIPTION	DATE	DRAWN
NOTE: THIS PRINT IN DESIGN AND DETAIL IS THE PROPERTY OF DEMATIC AND IS LOANED SUBJECT TO RETURN UPON REQUEST AND UNDER THE EXPRESS CONDITION THAT IT MUST NOT BE COPIED OR ITS CONTENTS DIVULGED WITHOUT WRITTEN PERMISSION.					
DRAWN	MRo	10-06-15	SIZE	A1	SCALE 1:10
CHECK			DWG NO	P16905-L002	
APPR					

M:\mh\QUOTE\16000\16905 Newport Kinghorn Gym\Drawings\16905-L002A.dwg

ORICON DEVELOPMENTS

BUILDERS LIC 148 165C

ABN 49 084 874 680

P.O Box 1067

BALGOWLAH NSW 2093

18TH June 2015

Principal Certifying Authority,

Building Certificates Australia Pty Ltd,

Suite 505, 64-76 Kippax St,

Surry Hills NSW 2010.



Dear Sir,

Re: Unit 21, 14 Jubilee Ave, Warriewood

We confirm that the design will satisfy the following requirements of the BCA:

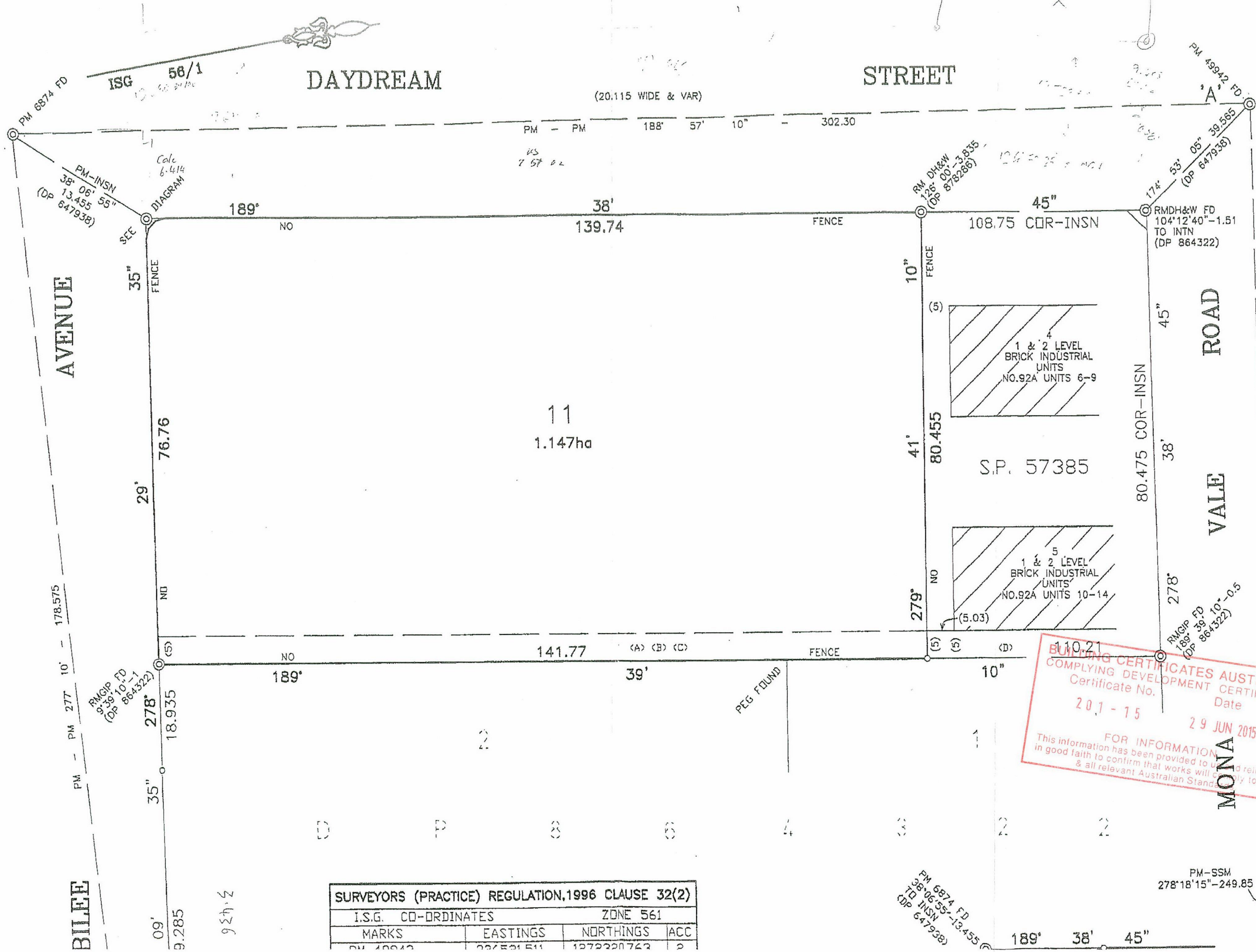
- **Mechanical:** AS 1668.2012
- **Electrical:** AS 3000, AS 1680.0 and BCA Part J6.
- **Fire Services:** Portable Fire Extinguishers – AS 2444 – 2001.

Regards,

David Rees

Oricon Developments Pty Ltd.

Intention to dedicate
ge reserves, easements,
sitive covenants.



SURVEYORS (PRACTICE) REGULATION, 1996 CLAUSE 32(2)			
I.S.G. CO-ORDINATES		ZONE 561	
MARKS	EASTINGS	NORTHINGS	ACC
BM 12212	226521.511	1272220.762	2

110-21
BUILDING CERTIFICATES AUSTRALIA
COMPLYING DEVELOPMENT CERTIFICATE
Certificate No. 201-15
Date 29 JUN 2015
FOR INFORMATION
This information has been provided to you and relied on
in good faith to confirm that works will comply with BCA
& all relevant Australian Standards
MONA

679 3611
09 day of
for National
641 637
appointed
...

W
yle GRIFFITH

2 Approval

Regis
 C.A.
 Title
 Purp
 Ref.
 Last
 PLAN
 Length
 L.G.A.
 Loca
 Parl
 Cour
 This is
 1, DA
 of 27
 a survey
 amended
 this plan
 with the
 complete
 #
 Signature
 Survey
 Date
 # In.
 Plans
 DP86
 DP87
 PANEL
 inten
 creas
 or pi

PITTWATER COUNCIL
Section 149 Pt 2 Planning Certificate
Environmental Planning & Assessment Act, 1979

Applicant: DAVID PHILLIP REES
13/237 MACPHERSON STREET
WARRIEWOOD NSW 2102

Cert. No: 2/2015/0036
Cert. Date: 27 March 2015
Fee: \$53.00
Property No: 90572

Your Reference:

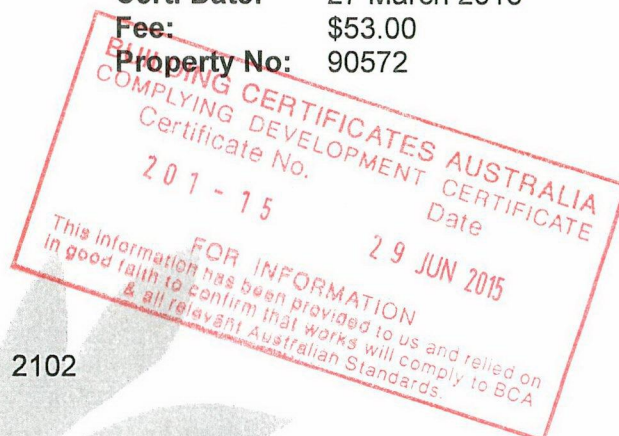
Address of Property: 14 JUBILEE AVENUE
WARRIEWOOD NSW 2102

Description of Property: S/P 64042

Strata Unit Details (if applicable):

County: Cumberland

Parish: Narrabeen



NOTE:

The zoning information in this certificate is based on the lot and plan number referred to in this Certificate. If the lot and plan number is not the current description of the land then this Certificate will be incorrect. Persons relying on this Certificate should satisfy themselves by reference to the Title Deed that the land to which this Certificate relates is identical to the land the subject of the enquiry.

A reference in this certificate to any instrument, including Pittwater Local Environmental Plan 2014, is a reference to that instrument, as amended.

Pittwater Council ABN 61 340 837 871

All correspondence to be addressed to General Manager:
Village Park,
1 Park Street,
MONA VALE NSW
P O Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02) 9970 1111
Facsimile (02) 9970 1200
Internet: www.pittwater.nsw.gov.au
Email: pittwater_council@pittwater.nsw.gov.au

Contents

RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS	3
LOCAL ENVIRONMENTAL PLAN	3
PROPOSED LOCAL ENVIRONMENTAL PLANS	3
STATE ENVIRONMENTAL PLANNING POLICIES AND PROPOSED STATE ENVIRONMENTAL PLANNING POLICIES	3
DEVELOPMENT CONTROL PLANS	3
ZONING AND LAND USE UNDER RELEVANT LEPS	3
LAND ZONING MAP	4
ADDITIONAL PERMITTED USES FOR WHICH DEVELOPMENT IS PERMISSIBLE WITH DEVELOPMENT CONSENT - SCHEDULE 1	4
FURTHER PLANNING CONTROLS	4
ZONING AND LAND USE UNDER STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006	4
COMPLYING DEVELOPMENT	5
GENERAL HOUSING CODE	5
RURAL HOUSING CODE	5
HOUSING ALTERATIONS CODE	5
GENERAL DEVELOPMENT CODE	5
COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE	6
COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE	6
SUBDIVISION CODE	6
DEMOLITION CODE	6
FIRE SAFETY CODE	6
COASTAL PROTECTION	6
CERTAIN INFORMATION RELATING TO BEACHES AND COASTS	7
ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 2014 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS	7
MINE SUBSIDENCE	7
ROAD WIDENING AND ROAD REALIGNMENT	7
COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS	7
FLOOD RELATED DEVELOPMENT CONTROLS INFORMATION	8
LAND RESERVED FOR ACQUISITION	8
CONTRIBUTIONS PLANS	8
BIODIVERSITY CERTIFIED LAND	9
BIOBANKING AGREEMENTS	9
BUSH FIRE PRONE LAND	9
PROPERTY VEGETATION PLANS	9
ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006	9
DIRECTIONS UNDER PART 3A	9
SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR SENIORS HOUSING	9
SITE COMPATIBILITY CERTIFICATES FOR INFRASTRUCTURE	10
SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR AFFORDABLE RENTAL HOUSING	10
PAPER SUBDIVISION INFORMATION	10
SITE VERIFICATION CERTIFICATES	10
MATTERS ARISING UNDER THE CONTAMINATED LAND MANAGEMENT ACT 1997	10

The prescribed matters required by Section 149 (2) of the Environmental Planning & Assessment Act are as follows and relate to the subject land at the date of this certificate.

RELEVANT PLANNING INSTRUMENTS AND DEVELOPMENT CONTROL PLANS

EP&A Regulations 2000
Schedule 4 Clause 1

LOCAL ENVIRONMENTAL PLAN

EP&A Regulations 2000
Schedule 4 Clause 1 (1)

Pittwater Local Environmental Plan 2014

PROPOSED LOCAL ENVIRONMENTAL PLANS

EP&A Regulations 2000
Schedule 4 Clause 1 (2)

Note: Where no information has been provided under the heading "PROPOSED LOCAL ENVIRONMENTAL PLANS", Council is unaware of any Proposed Local Environmental Planning Instrument that is or has been the subject of community consultation or on public exhibition under the Act, applying to the land.

STATE ENVIRONMENTAL PLANNING POLICIES AND PROPOSED STATE ENVIRONMENTAL PLANNING POLICIES

EP&A Regulations 2000
Schedule 4 Clause 1 (1) & (2)

SEPP NO. 19 - Bushland in Urban Areas (gazetted 24.10.86)
SEPP NO. 21 - Caravan Parks (gazetted 24.4.92)
SEPP NO. 30 - Intensive Agriculture (gazetted 8.12.89)
SEPP NO. 32 - Urban Consolidation (Redevelopment of Urban Land) (gazetted 15.11.91)
SEPP NO. 33 - Hazardous and Offensive Development (gazetted 13.03.92)
SEPP NO. 44 - Koala Habitat Protection (gazetted 6.01.95)
SEPP NO. 50 - Canal Estate Development (gazetted 10.11.97)
SEPP NO. 55 - Remediation of Land (gazetted 28.08.98)
SEPP NO. 62 - Sustainable Aquaculture
SEPP NO. 64 - Advertising and Signage (gazetted 16.3.2001)
SEPP NO. 65 - Design Quality of Residential Flat Development (gazetted 26/07/2002)
Amendment 2 (gazetted 4/07/2008)
SEPP - Building Sustainability Index: BASIX (gazetted 1.7.2004)
SEPP - (Major Development) 2005 (gazetted 25.05.2005)
SEPP - (Mining, Petroleum Production & Extractive Industries) 2007 (gazetted 16.02.2007)
SEPP - (Miscellaneous Consent Provisions) 2007
SEPP - (Infrastructure) 2007 (gazetted 21.12.2007)
SEPP - (Affordable Rental Housing) 2009
SEPP - (Exempt & Complying Development Codes) 2008 (gazetted 12.12.2008) As amended

Deemed SEPP - Hawkesbury-Nepean River (No. 2 - 1977)

DEVELOPMENT CONTROL PLANS

EP&A Regulations 2000
Schedule 4 Clause 1 (3)

Pittwater 21 Development Control Plan

The purpose of this plan is to provide best practice standards for development.

ZONING AND LAND USE UNDER RELEVANT LEPS

EP&A Regulations 2000
Schedule 4 Clause 2

LAND ZONING MAP

EP&A Regulations 2000
Schedule 4 Clause 2 (a), (b), (c) & (d)

The following information identifies the purposes for which development may be carried out with or without development consent and the purposes for which the carrying out of development is prohibited, for all zones affecting the land as identified on the maps to which Pittwater Local Environmental Plan 2014 applies.

Zone B7 Business Park

2 Permitted without consent

Nil

3 Permitted with consent

Boat building and repair facilities; Child care centres; Community facilities; Depots; Environmental protection works; Funeral homes; Horticulture; Industrial retail outlets; Industrial training facilities; Kiosks; Light industries; Mortuaries; Neighbourhood shops; Office premises; Passenger transport facilities; Recreation areas; Recreation facilities (indoor); Research stations; Respite day care centres; Restaurants and cafes; Roads; Service stations; Signage; Storage premises; Takeaway food and drink premises; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Vehicle sales or hire premises; Warehouse or distribution centres; Wholesale supplies

4 Prohibited

Any other development not specified in item 2 or 3

ADDITIONAL PERMITTED USES FOR WHICH DEVELOPMENT IS PERMISSIBLE WITH DEVELOPMENT CONSENT - SCHEDULE 1

Additional permitted uses, if any, for which development is permissible with development consent pursuant to Clause 2.5 and Schedule 1 of Pittwater Local Environmental Plan 2014;-

Note: Where no additional permitted uses have been listed under the heading "ADDITIONAL PERMITTED USES FOR WHICH DEVELOPMENT IS PERMISSIBLE WITH DEVELOPMENT CONSENT", then clause 2.5 of Pittwater Local Environmental Plan 2014 is inapplicable to the land the subject of this certificate.

FURTHER PLANNING CONTROLS

EP&A Regulations 2000
Schedule 4 Clause 2 (e) (f) (g) (h)

Note: Where no information has been provided under the heading "FURTHER PLANNING CONTROLS", then such information is inapplicable to the land the subject of this certificate.

ZONING AND LAND USE UNDER STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006

EP&A Regulations 2000
Schedule 4 Clause 2A

Note: Where no information has been provided under the heading "ZONING AND LAND USE UNDER STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006", then such information is inapplicable to the land the subject of this certificate.

COMPLYING DEVELOPMENT

EP&A Regulations 2000
Schedule 4 Clause 3

The following notations relate to the extent to which the land is land on which complying development may or may not be carried out under each of the codes for complying development because of the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4), 1.18 (1) (c3) and 1.19 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

GENERAL HOUSING CODE

Complying development under the General Housing Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Note: Further zone based limitations may apply. See *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* clause:

3.1 Land to which code applies

This code applies to development that is specified in clauses 3.2-3.5 on any lot in Zone R1, R2, R3, R4 or RU5 that:

- (a) has an area of at least 200m², and
- (b) has a width, measured at the building line fronting a primary road, of at least 6m.

RURAL HOUSING CODE

Complying development under the Rural Housing Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Note: Further zone based limitations may apply. See *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* clause:

3A.1 Land to which code applies

This code applies to development that is specified in clauses 3A.2-3A.5 on lots in Zone RU1, RU2, RU3, RU4, RU6 and R5.

HOUSING ALTERATIONS CODE

Complying development under the Housing Alterations Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

GENERAL DEVELOPMENT CODE

Complying development under the General Development Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

COMMERCIAL AND INDUSTRIAL ALTERATIONS CODE

Complying development under the Commercial & Industrial (Alterations) Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

COMMERCIAL AND INDUSTRIAL (NEW BUILDINGS AND ADDITIONS) CODE

Complying development under the Commercial & Industrial (New Buildings and Additions) Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Note: Further zone based limitations may apply. See *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* clause:

5A.1 Land to which code applies

This code applies to development that is specified in clause 5A.2 on any lot in Zone B1, B2, B3, B4, B5, B6, B7, B8, IN1, IN2, IN3, IN4 or SP3.

SUBDIVISION CODE

Complying development under the Subdivision Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

DEMOLITION CODE

Complying development under the Demolition Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

FIRE SAFETY CODE

Complying development under the Fire Safety Code may be carried out on all of the land the subject of this certificate, in accordance with the provisions of clauses 1.17A (1) (c) to (e), (2), (3) and (4) and 1.19 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Note: *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 ("SEPP") must be read and applied in conjunction with Pittwater Local Environmental Plan 2014.*

COASTAL PROTECTION

EP&A Regulations 2000
Schedule 4 Clause 4

The Council has not been notified by the Department of Services, Technology and Administration that the land is affected by the operation of section 38 or 39 of the Coastal Protection Act 1979.

CERTAIN INFORMATION RELATING TO BEACHES AND COASTS

EP&A Regulations 2000
Schedule 4 Clause 4A

- 1) Council is not aware of any order made under Part 4D of the *Coastal Protection Act 1979* in relation to temporary coastal protection works to the land the subject of this certificate, or on public land adjacent to that land.
- 2) Council has not been notified under section 55X of the *Coastal Protection Act 1979* that temporary coastal protection works have been placed on the land subject of this certificate, or on public land adjacent to that land.

ANNUAL CHARGES UNDER LOCAL GOVERNMENT ACT 2014 FOR COASTAL PROTECTION SERVICES THAT RELATE TO EXISTING COASTAL PROTECTION WORKS

EP&A Regulations 2000
Schedule 4 Clause 4B

Council is not aware of any charges under section 496B of the *Local Government Act 2014* for coastal protection services levied upon land the subject of this certificate.

MINE SUBSIDENCE

EP&A Regulations 2000
Schedule 4 Clause 5

The land has not been proclaimed to be a mine subsidence district within the meaning of Section 15 of the Mine Subsidence Compensation Act, 1961.

ROAD WIDENING AND ROAD REALIGNMENT

EP&A Regulations 2000
Schedule 4 Clause 6

- (a) The land is not affected by any road widening or road realignment under Division 2 of Part 3 of the Roads Act 1993.
- (b) The land is not affected by any road widening or road realignment under Pittwater Local Environmental Plan 2014.
- (c) The land is not affected by any road widening or road realignment under any resolution of Council.

Note: The Roads and Maritime Services may have proposals that are not referred to in this item. For advice about affectation by RMS proposals, contact the Roads and Maritime Services.

COUNCIL AND OTHER PUBLIC AUTHORITY POLICIES ON HAZARD RISK RESTRICTIONS

EP&A Regulations 2000
Schedule 4 Clause 7

Council has adopted a number of policies with regard to various hazards or risks which may restrict development. The identified hazard or risk and the respective Council policies which affect the property, if any, are listed below.

The property is not affected by any other policy adopted by any other planning authority and notified to the Council for the express purpose of its adoption by that authority being referred to in planning certificates that restricts development

of the property because of the likelihood of land slip, bushfire, tidal inundation, subsidence or any other risk (other than flooding):

Note: The absence of a policy to restrict development of the land because of the likelihood of any other risk does not imply that the land is free from risk. Detailed investigation carried out in conjunction with the preparation or assessment of an application may result in the Council imposing restrictions on development that are not identified above.

FLOOD RELATED DEVELOPMENT CONTROLS INFORMATION

EP&A Regulations 2000
Schedule 4 Clause 7A

On the information available to Council, the land or part of the land in question is subject to the Flood Planning Level and the Probable Maximum Flood and is therefore classified as Category 3 - Overland Flow Path - Major.

The land or part of the land in question is subject to flood related development controls for the purposes (where permissible) of dwelling houses, dual occupancies, multi dwelling housing or residential flat buildings.

The land or part of the land in question is also subject to flood related development controls for any other purpose.

Development controls are set out in Council's Pittwater 21 Development Control Plan.

Note:

This is the latest available information incorporating detailed hydraulic modeling and ground truthing. On the information available to Council, the land or part of the land in question may be subject to high velocities and/or depth during a flood event. The Flood Levels and the flood study used to determine the flood levels are available from Council and should be compared with the surveyed floor level and ground level to assess flood risk.

LAND RESERVED FOR ACQUISITION

EP&A Regulations 2000
Schedule 4 Clause 8

This land is not affected by any provisions within Pittwater Local Environmental Plan 2014 that would provide for the acquisition of the land by a public authority, as referred to in section 27 of the Act.

CONTRIBUTIONS PLANS

EP&A Regulations 2000
Schedule 4 Clause 9

S.94 Plan No. 2 - Open Space Bushland and Recreation

This Plan was approved by Council to levy monetary contributions to ensure that an adequate level of open space, bushland and recreation opportunities are provided as new development occurs.

S.94 Plan No. 3 - Public Library Services

This Plan was approved by Council to levy monetary contributions to meet the recreational and informational needs of the potential incoming population as a result of residential subdivision of land; dual occupancy development; and medium density residential development. This will be achieved by increasing available library resources and equipment and improving the capacity of library infrastructure

S.94 Plan No. WV - Warriewood Valley

This Plan was approved by Council to levy contributions towards the provision, extension or augmentation of public amenities and public services that will, or are likely to be, required as a consequence of development in the Warriewood Valley Urban Release Area.

S.94 Plan No. 18 - Community Service Facilities

This Plan was approved by Council to levy monetary contributions for the provision of an adequate level of community service facilities to meet the demand as new residential development occurs.

S.94 Plan No. 19 - Village Streetscapes

This Plan was approved by Council to levy contributions towards the provision, extension or augmentation of village streetscapes in Pittwater's main commercial areas which will be required as a consequence of development in the Pittwater Local Government Area.

BIODIVERSITY CERTIFIED LAND

EP&A Regulations 2000
Schedule 4 Clause 9A

Note: Where no information has been provided under the heading "BIODIVERSITY CERTIFIED LAND", then such information is inapplicable to the land the subject of this certificate.

BIOBANKING AGREEMENTS

EP&A Regulations 2000
Schedule 4 Clause 10

Note: Where no information has been provided under the heading "BIOBANKING AGREEMENTS", then Council is unaware of any such agreement applying to the land the subject of this certificate.

BUSH FIRE PRONE LAND

EP&A Regulations 2000
Schedule 4 Clause 11

This land the subject of this certificate is not identified on a Bush Fire Prone Land map certified by the Commissioner of the NSW Rural Fire Service as being bush fire prone land as per the Rural Fires and Environmental Assessment Legislation Amendment Act 2002 No 67.

PROPERTY VEGETATION PLANS

EP&A Regulations 2000
Schedule 4 Clause 12

Note: Where no information has been provided under the heading "PROPERTY VEGETATION PLANS", then such information is inapplicable to the land the subject of this certificate.

ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006

EP&A Regulations 2000
Schedule 4 Clause 13

Note: Where no information has been provided under the heading "ORDERS UNDER TREES (DISPUTES BETWEEN NEIGHBOURS) ACT 2006", then such information is inapplicable to the land the subject of this certificate.

DIRECTIONS UNDER PART 3A

EP&A Regulations 2000
Schedule 4 Clause 14

Note: Where no information has been provided under the heading "DIRECTIONS UNDER PART 3A", then such information is inapplicable to the land the subject of this certificate.

SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR SENIORS HOUSING

EP&A Regulations 2000
Schedule 4 Clause 15

Note: *Where no information has been provided under the heading "SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR SENIORS HOUSING", then Council is unaware of any such site compatibility certificate applying to the land the subject of this certificate.*

SITE COMPATIBILITY CERTIFICATES FOR INFRASTRUCTURE

EP&A Regulations 2000
Schedule 4 Clause 16

Note: *Where no information has been provided under the heading "SITE COMPATIBILITY CERTIFICATES FOR INFRASTRUCTURE", then Council is unaware of any such site compatibility certificate applying to the land the subject of this certificate.*

SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR AFFORDABLE RENTAL HOUSING

EP&A Regulations 2000
Schedule 4 Clause 17

Note: *Where no information has been provided under the heading "SITE COMPATIBILITY CERTIFICATES AND CONDITIONS FOR AFFORDABLE RENTAL HOUSING", then Council is unaware of any such site compatibility certificate applying to the land the subject of this certificate.*

PAPER SUBDIVISION INFORMATION

EP&A Regulations 2000
Schedule 4 Clause 18

Note: *Where no information has been provided under the heading "PAPER SUBDIVISION INFORMATION" then Council is unaware of any such development plan or subdivision order applying to the land the subject of this certificate.*

SITE VERIFICATION CERTIFICATES

EP&A Regulations 2000
Schedule 4 Clause 19

Note: *Where no information has been provided under the heading "SITE VERIFICATION CERTIFICATES", then Council is unaware of any such site verification certificate applying to the land the subject of this certificate.*

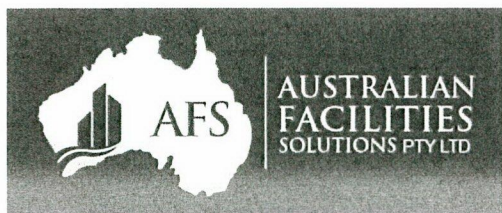
MATTERS ARISING UNDER THE CONTAMINATED LAND MANAGEMENT ACT 1997

Contaminated Land Management Act 1997
Section 59 (2)

Note: *Where no information has been provided under the heading "MATTERS ARISING UNDER THE CONTAMINATED LAND MANAGEMENT ACT 1997", then such information is inapplicable to the land the subject of this certificate.*

Persons relying on this certificate should read the environmental planning instruments referred to in this certificate.

MARK FERGUSON
General Manager



27 June 2015

Building Certificates Australia
C/- Mr Orlando Da Silva
Suite 505, 64-76 Kippax Street
SURRY HILLS NSW 2010



**RE: UNIT 21/ 14 JUBILEE AVENUE, WARRIEWOOD
TOWN PLANNING ADVICE REGARDING CLAUSE 5.2 (1) (A) OF STATE ENVIRONMENTAL
PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008**

Reference is made to the subject property and the documentation submitted to this office for determination on the approved use of the site. This request comes following a planning report issued by this office on the 05 May 2015, stating that "The applicant is to confirm the approved use of the site", as engaged by our client an informal access to information request was lodged with Pittwater Council under the Government Information (Public Access) Act 2009. Following this request a meeting was established with Pittwater Council as to peruse all documents relating to 14 Jubilee Avenue, Warriewood. A list of the documents provided is also provided and it is recommended that the Accredited Certifier store these documents on file.

Following the perusal of the files it was noted that at this stage there is no documents on file that support the use of the tenancy. In this regard, as a "first use" has not been established the "first use" provisions as outlined in Part 5, Division 1, Subdivision 3 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 can be applied to the site.

As outlined in Clause 5.5 the first use of a part of a building is a Class 5, 6, 7b or 8 is considered specified development. The applicant has noted that they wish to use the tenancy as a warehouse for the storage of goods. As outlined in the National Construction Code Series 2015 (the BCA) a Class 7b is defined as:

A building which is-

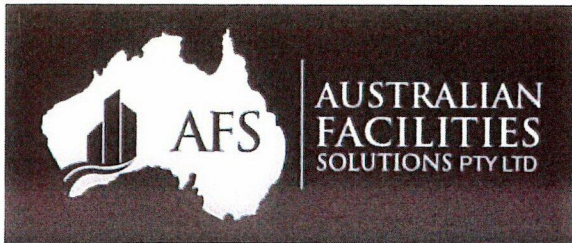
.. (b) Class 7b- for storage, or display of goods or produce for sale by wholesale.

From the above definition, it is considered that the site can be used as a warehouse for the storage of goods on the proviso that the proposed development meets all the Development Standards as outlined in Clause 5.6 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

If you have any enquires regarding the details contained within the above please do not hesitate to contact the undersigned.

Yours faithfully,

Adam Mainey
Australian Facilities Solutions Pty Ltd



Unit 21/14 Jubilee Avenue,
Warriewood NSW 2102

Alterations and additions to an existing mezzanine and first use
as a warehouse.

Approval Pathway Analysis

Prepared for Oricon Developments Pty Ltd

28 June 2015 (Revision B)

Job Number: 15/0441

1.0 Introduction

- 1.1 Australian Facilities Solutions (AFS) has been requested as to advise as to the optimal approval pathway for the alterations and additions to an existing mezzanine and first use as a warehouse at Unit 21/14 Jubilee Avenue, Warriewood.
- 1.2 The advice in this report is in accordance with the following documentation supplied to AFS on the 24 April 2015:
- Section 149 (2) Certificate, prepared by Pittwater Council, dated 27 March 2015.
 - Architectural Plans, prepared by Oricon Developments Pty Ltd, including:

Drawing No:	Description:	Date:
-	Location Plan	23 April 2015
-	Floor Plan	23 April 2015
-	Elevations	23 April 2015
-	Sections A- A	23 April 2015

2.0 Description of Proposed Development

- 2.1 The proposal is for the alterations and additions to an existing mezzanine and first use as a warehouse at Unit 21/14 Jubilee Avenue, Warriewood.

3.0 Site Identification and Description

- 3.1 The site is 14 Jubilee Avenue, Warriewood (Figure 1). The real property description for the site is Lot 7 SP 64042. The site contains a number of existing warehouse structures (Figure 2).



Figure 1: Subject site (in yellow) (Source: Six Maps, 2015).



Figure 2: Subject site as viewed from Jubilee Avenue (Source: Google Maps, 2015).

4.0 Statutory Controls and Considerations

4.1 The relevant controls are as follows:

Control	Comment
Principal Environmental Planning Instrument:	Pittwater Local Environmental Plan 2014
Zoning:	B7- Business Park (Figure 3)
Heritage Affected:	No (Figure 4)
Other Land Based Restriction	Yes, the Section 149 (2) Certificate identifies the site as being a Flood Control Lot.

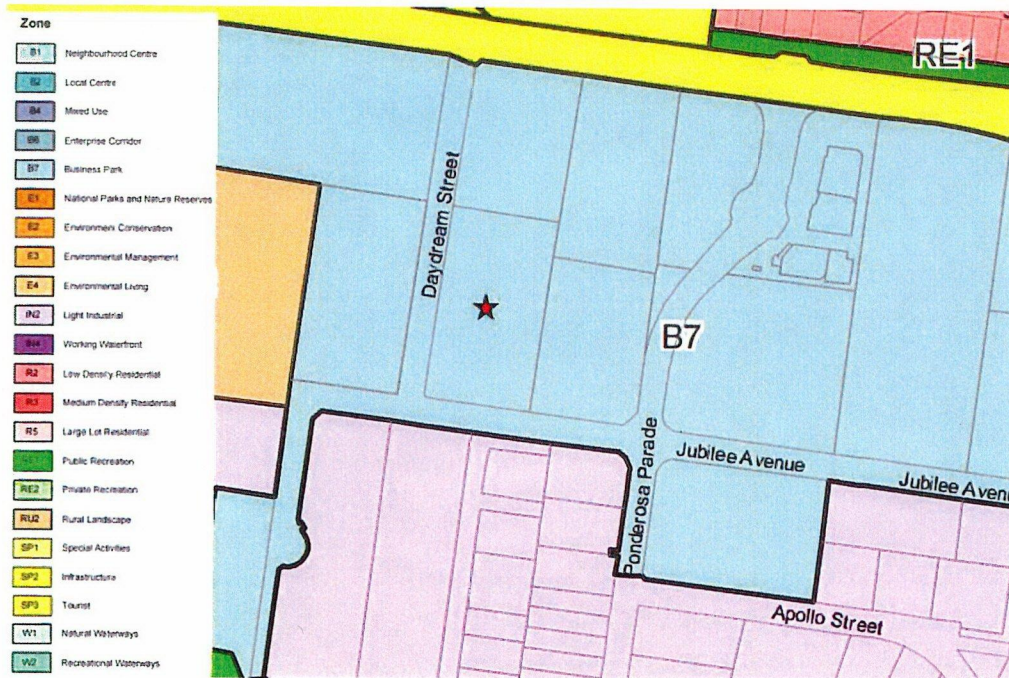


Figure 3: Land Zoning Map. Subject site indicated by red star (Source: NSW Legislation, 2015).



Figure 4: Heritage Map. Subject site indicated by red star (Source: NSW Legislation, 2015).

5.0 General Eligibility for Complying Development

- 5.1 Clause 1.17 of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* (Codes SEPP) provides that specified development that complies with the requirements for that specified development is complying development, subject to any specified land requirements and limitations. That is discussed further below.
- 5.2 Clause 1.17A of *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* (Codes SEPP) sets out pre-requisites for development to be Complying Development. Consideration of those pre-requisites is as follows:

To be complying development for the purposes of any environmental planning instrument, the development must not:

Clause	Provision	Compliance Comment
1.17A (a)	<i>Be development for which development consent cannot be granted except with the concurrence of a person other than:</i> (i) <i>the consent authority, or</i> (ii) <i>the Director-General of the Department of Environment, Climate Change and Water as referred to in section 79B (3) of the Act, or</i>	Complies. The development requires the approval of a consent authority (Council or Private Certifier).
1.17A (b)	<i>Be on land that is critical habitat, or</i>	Complies. The land is not identified as being located on land that is critical habitat.
1.17A (c)	<i>Be on land that is, or is part of, a wilderness area (within the meaning of the <u>Wilderness Act 1987</u>), or</i>	Complies. The land is not identified as being located on land that is a wilderness area.
1.17A (d)	<i>Be carried out on land that:</i> (i) <i>comprises an item that is listed on the State Heritage Register under the <u>Heritage Act 1977</u> or on which such an item is located, or</i> (ii) <i>is subject to an interim heritage order under that Act or on which is located an item that is so subject, or</i> (iii) <i>is identified as an item of environmental heritage or a heritage item by an environmental planning instrument or on which is located an item that is so identified, or;</i>	Complies. The land is not identified as comprising a heritage item (state or local).
1.17A (e)	<i>Except as otherwise provided by this Policy, be on land that is within an environmentally sensitive area.</i>	Complies.

		The land is not identified as being located on land that is within an environmentally sensitive area.
1.17A (2)	<i>Despite subclause (1) (d), if development meets the requirements and standards specified by this Policy and that development:</i> <i>(a) has been granted an exemption under section 57 (2) of the <u>Heritage Act 1977</u>, or</i> <i>(b) is subject to an exemption under section 57 (1A) or (3) of that Act,</i> <i>The development is complying development under this Policy.</i>	Not applicable.
1.17A (3)	<i>If an item listed on the State Heritage Register is not located on, or does not comprise, the whole of the relevant land, subclause (1) (d) applies only to the part of the land that is described and mapped on that register.</i>	Not applicable.
1.17A (4)	<i>If an item not listed on the State Heritage Register but identified as an item of environmental heritage in an environmental planning instrument does not comprise, or is not located on, the whole of the relevant land, subclause (1) (d) applies only to the part of the land that is described and mapped on that instrument.</i>	Not applicable.

5.3 Part 1.18 of the Codes SEPP sets out further pre-requisites for complying development as follows:

To be complying development for the purposes of this Policy, the development must:

Clause	Provision	Compliance Comment
1.18 (1) (a)	<i>Not be exempt development under this Policy, and</i>	Complies. The proposed development cannot be considered Exempt Development under Part 2 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.
1.18 (1) (b)	<i>Be permissible, with consent, in the land use zone in which it is carried out, and</i>	Complies.

		Warehouses are permitted with consent within the B7 Business Park zone.
1.18 (1) (c)	<i>Meet the relevant provisions of the Building Code of Australia, and</i>	Certifier to confirm.
1.18 (1) (c1)	<i>Must not require an environment protection licence within the meaning of the <u>Protection of the Environment Operations Act 1997</u>, and</i>	Complies. The proposed development will not require an environment protection licence.
1.18 (1) (c2)	<i>Must not be designated development, and</i> Note. Designated development is defined in section 77A of the Act as development that is declared to be designated development by an environmental planning instrument or the regulations.	Complies. The proposed development is not considered designated development.
1.18 (1) (c3)	<i>Not be carried out on land that comprises, or on which there is, a draft heritage item, and</i>	Complies. The land does not comprise a draft heritage item.
1.18 (1) (d)	<i>Before the complying development certificate is issued, have an approval, if required by the <u>Local Government Act 1993</u>, for:</i> <i>(i) an on-site effluent disposal system if the development is undertaken on unsewered land, and</i> <i>(ii) an on-site stormwater drainage system, and</i>	Not applicable.
1.18 (1) (e)	<i>Before the complying development certificate is issued, have written consent from the relevant roads authority (if required under section 138 of the <u>Roads Act 1993</u>) for the building of any kerb, crossover or driveway, and</i>	Not applicable.
1.18 (1) (f)	<i>If it is the alteration or erection of improvements on land in a mine subsidence district within the meaning of the <u>Mine Subsidence Compensation Act 1961</u>, have the prior approval of the Mine Subsidence Board, and</i>	Not applicable.

1.18 (1) (g)	<i>Not be the construction or installation of a skylight or roof window on land to which <u>Orana Regional Environmental Plan No 1—Siding Spring</u> applies, and</i>	Complies. The subject site is not affected by the <i>Orana Regional Environmental Plan No 1- Siding Spring</i> .
1.18 (1) (h)	<i>If it involves the removal or pruning of a tree or other vegetation that requires a permit or development consent to which clause 3.6A, 3A.7 or 5A.3 does not apply—before the complying development certificate is issued, have a permit or development consent for that removal or pruning.</i> Note. A permit for the removal or pruning of a tree or other vegetation may be granted under a local environmental plan. A development consent for the removal of native vegetation may be granted under the <u>Native Vegetation Act 2003</u> . Paragraph (h) may not apply to certain trees or vegetation near complying development under this Policy (see clauses 3.6A, 3A.7 and 5A.3).	Not applicable. The proposal does not include the removal or pruning of any trees or other vegetation.
1.18 (2)	<i>The erection of a new dwelling house or an addition to a dwelling house on land in the 20-25 ANEF contours is complying development for this Policy, if the development is constructed in accordance with AS 2021- 2000, Acoustics- Aircraft noise intrusion- Building siting and construction</i>	Not applicable. The allotment is not located within the 20-25 ANEF contours.
1.18 (3)	<i>A complying development certificate for complying development under this Policy is subject to the conditions specified in this Policy in respect of that development.</i>	Certifier to impose conditions outlined in Schedule 8.

- 5.4 Part 1.19 (5) of the Codes SEPP sets out specific land exemptions for the Commercial and Industrial (New Buildings and Additions) Code

To be complying development specified for the Commercial and Industrial (New Buildings and Additions) Code, the development must not be carried out on:

Clause	Provision	Compliance Comment
1.19 (5) (a)	<i>land within a heritage conservation area or a draft heritage conservation area, or</i>	Complies. The allotment is not located within a heritage conservation area or draft

		heritage conservation area.
1.19 (5) (a)	<i>land that is reserved for a public purpose in an environmental planning instrument, or</i>	Complies. The land is not reserved for a public purpose.
1.19 (5) (a)	<i>land identified on an Acid Sulfate Soils Map as being Class 1 or Class 2, or</i>	Complies. The land is not identified as being on Acid Sulfate Soils.
1.19 (5) (a)	<i>land that is significantly contaminated land within the meaning of the <u>Contaminated Land Management Act 1997</u>, or</i>	Complies. The land is not significantly contaminated land.
1.19 (5) (a)	<i>land that is subject to a biobanking agreement under Part 7A of the <u>Threatened Species Conservation Act 1995</u> or a property vegetation plan approved under the <u>Native Vegetation Act 2003</u>, or</i>	Complies. The land is not subject to a biobanking agreement.
1.19 (5) (a)	<i>land identified by an environmental planning instrument as being:</i> <i>(i) within a buffer area, or</i> <i>(ii) within a river front area, or</i> <i>(iii) within an ecologically sensitive area, or</i> <i>(iv) environmentally sensitive land, or</i> <i>(v) within a protected area, or</i>	Complies. The land is not identified as being any of the aforementioned items.
1.19 (5) (a)	<i>land that is identified by an environmental planning instrument, a development control plan or a policy adopted by the council as being or affected by:</i> <i>(i) a coastline hazard, or</i> <i>(ii) a coastal hazard, or</i> <i>(iii) a coastal erosion hazard, or</i>	Complies. The land is not identified as being any of the aforementioned items.
1.19 (5) (a)	<i>land in a foreshore area, or</i>	Complies. The land is not located within a foreshore area.

1.19 (5) (a)	<i>unsewered land:</i> (i) <i>to which <u>State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011</u> applies, or</i> (ii) <i>in any other drinking water catchment identified in any other environmental planning instrument.</i>	Complies.
--------------	--	-----------

5.5 Having regard to the foregoing, the proposal is eligible for consideration under the General Commercial and Industrial (New Buildings and Additions Code).

6.0 General Commercial and Industrial Code

6.1 Consideration under Subdivision 3- First Use of Premises is as follows:

Specified Complying Development

Clause	Provision	Compliance Comment
5.5 (1)	<i>The first use of a part of a building that is a Class 5, 6, 7b or 8 building is development specified for this code if the use is not for any of the following:</i> (a) <i>a funeral home,</i> (b) <i>sex services premises,</i> (c) <i>restricted premises,</i> (d) <i>retail premises where firearms within the meaning of the <u>Firearms Act 1996</u> are sold,</i> (e) <i>a roadside stall,</i> (f) <i>a market,</i> (g) <i>food and drink premises with the capacity for more than 50 seats, other than premises where the seating is provided within a common food court or food hall,</i> (h) <i>a pub,</i> (i) <i>a small bar,</i> (j) <i>an entertainment facility,</i> (k) <i>a registered club.</i>	Complies. The applicant has advised that the tenancy is to be used as warehouse for the storage of goods. This gives the tenancy a Classification of Class 7b under Section A3.2 of the BCA. The First Use as a warehouse (for storage) is classified as Class 7b for the purposes of the BCA, and is therefore specified development under Subdivision 3 of the SEPP.

5.5 (2)	<i>If development specified in subclause (1) is to be provided with water supply or sewerage services (or both) by a water utility, to be complying development the applicant must obtain a notice or other form of written advice that specifies the works or other requirements to be completed as part of the development from the relevant water utility or an entity authorised to provide such a notice or advice by the utility.</i>	Not applicable.
---------	---	-----------------

Development Standards- General

The standards specified for that development are that:

Clause	Provision	Compliance Comment
5.6 (1) (a)	<i>must not result in an increase to the gross floor area of the building, and</i>	Complies.
5.6 (1) (b)	<i>must not cause the contravention of any existing condition of the most recent development consent (other than a complying development certificate) that applies to the premises relating to hours of operation, noise, car parking, loading, vehicular movement, traffic generation, waste management or landscaping, and</i>	Complies. No existing conditions relating to hours of operation. Default hours to be used as per Clause 5.6 (1) (c).
5.6 (1) (c)	<i>if there is no existing condition relating to hours of operation in that development consent, must be operated only during the following periods:</i> <i>(i) if the new use is as bulky goods premises or other commercial premises—7.00 am to 10.00 pm Monday to Saturday and 7.00 am to 8.00 pm on a Sunday or a public holiday,</i> <i>(ii) for a new use (other than a use referred to in subparagraph (i)) carried out on premises that adjoin or are opposite a residential lot—7.00 am to 7.00 pm Monday to Saturday and 9.00 am to 6.00 pm on a Sunday and not at any time on a public holiday,</i> <i>(iii) in any other case not referred to in subparagraph (i) or (ii)—7.00 am to 7.00 pm Monday to Saturday and 9.00 am to 6.00 pm on a Sunday or public holiday.</i>	The warehouse is limited to hours of operation of: Monday-Saturday- 7:00am to 7:00pm. Sunday- 9:00am- 6:00pm

The following requirements of the Building Code of Australia are also standards specified for that development:

Clause	Provision	Compliance Comment
5.6 (2) (a)	<i>if the new use involves an area of more than 500m² of commercial premises, or an area of more than 1,000m² of premises used for industry or a warehouse or distribution centre—that area must:</i> <i>(i) comply with the requirements set out in DP2–DP5 of Volume 1 of the Building Code of Australia, and</i> <i>(ii) comply with the number of sanitary and other facilities set out in FP2.1, FP2.5 and FP2.6 of Volume 1 of the Building Code of Australia, and</i> <i>(iii) comply with the light and ventilation requirements set out in FP4.1–FP4.5 of Volume 1 of the Building Code of Australia,</i>	Not applicable.
5.2 (2) (b)	<i>if the building is a mixed use development that also contains a Class 2, 3 or 4 portion—the area involved in the change of use must be separated from the Class 2, 3 or 4 portion by building elements that comply with the fire resistance performance requirements set out in CP2 and CP8 of Volume 1 of the Building Code of Australia.</i>	Certifier to confirm.

7.0 Commercial and Industrial (New Buildings and Additions) Code

7.1 Consideration under Division 1 of the *Commercial and Industrial (New Buildings and Additions) Code* is as follows:

Land to which Code Applies

Clause	Provision	Compliance Comment
5A.1	<i>This code applies to development that is specified under Clause 5A.2 on any lot in Zone B1, B2, B3, B4, B5, B6, B7, B8, IN1, IN2, IN3, IN4, or SP3.</i>	Complies. The subject site is zoned B7 Business Park under the Pittwater Local Environmental Plan 2014.

Alterations or Additions to an Existing Building or Construction of New Building

Clause	Provision	Compliance Comment
5A.2 (1)	<i>The following development is development specified for this code:</i> (a) <i>the construction of a building for the purposes of industry (other than heavy industry) or a warehouse or distribution centre,</i> (b) <i>an addition to an existing building that is used for the purpose of industry (other than heavy industry) or a warehouse or distribution centre,</i> (c) <i>the external alteration of an existing building used for the purpose of industry (other than heavy industry) or a warehouse or distribution centre,</i> (d) <i>an addition to the rear of existing commercial premises, other than on a corner lot,</i> (e) <i>the external alteration of existing commercial premises.</i>	Complies. The following development is specified development under Clause 5A.2 (1) (b) of the SEPP: • Construction of a new mezzanine (an addition to a building that is used for the purpose of a warehouse).
5A.2 (2)	<i>If development specified in subclause (1) (a)–(e) is to be provided with water supply or sewerage services (or both) by a water utility, to be complying development the applicant must obtain a notice or other form of written advice from the relevant water utility, or an entity authorised to do so by the utility, that specifies the works or other requirements to be completed as part of the development.</i>	Not applicable.
5A.2 (3)	Development that requires the clearing of more than 1,000m² of native vegetation is not development for the purpose of this code.	Not applicable.

When Separate Permits are not required under this Part

Clause	Provision	Compliance Comment
5A.3	<i>A complying development certificate for complying development under this Division is taken to satisfy any requirement under this Policy for a permit or development consent to remove or prune a tree or other vegetation on a lot if:</i> (a) <i>the tree is not listed on a significant tree register or register of significant trees kept by the council, and</i> (b) <i>the tree or vegetation is within 3m of the development, and</i>	Not applicable.

	(c) the tree or vegetation has a height that is less than 8m.	
--	---	--

7.2 Consideration under Division 2- Development Standards for this Code Relating to Industrial Buildings is as follows:

Application of Development Standards

Clause	Provision	Compliance Comment
5A.4	<i>This Division sets out the development standards that apply to development specified for this code that comprises:</i> <i>(a) the construction of a building for the purpose of industry or of a warehouse or distribution centre, or</i> <i>(b) an addition to an existing building that is used for the purpose of industry, or</i> <i>(c) the external alteration of an existing building used for the purpose of industry.</i>	It is noted that Clause 5A.4 (b) only applies to an existing building use for the purpose of industry and not for the purpose of a warehouse or distribution centre. As defined the building is not a building used for the purpose of industry as it is not considered a Light, General or Heavy Industry. Adam Mainey from Australian Facilities Solutions (AFS) called the Department of Planning on the 30 February 2015 regarding clarification of this clause on whether an addition could be carried out to an existing building that is used for the purpose of a distribution centre. The Department of Planning stated that the intent of this cause was to cover all industry including a warehouse or distribution centre, this is further clarified by Clause 5A.2 (1) (b) which states: <i>(b) an addition to an existing building that is used for the purpose of</i>

		<i>industry (other than heavy industry) or a warehouse or distribution centre,</i> It is considered that the development is specified development for this code under Clause 5A.4 (b) as the omission of "warehouse or distribution centre" is clarified by its inclusion within Clause 5A.2 (1) (b). Concurrence should also be provided from the Accredited Certifier issuing the CDC on the interpretation of Clause 5A.4 (b) of the SEPP.
--	--	---

General Standards

Clause	Provision	Compliance Comment
5A.5	<i>The standard specified for development to which this Division applies is that it must not contravene any condition of an existing development consent that applies to the land in relation to car parking, hours of operation, landscaping, noise, loading, traffic generation, vehicular movement and waste management.</i>	Complies.

Registered Easements

Clause	Provision	Compliance Comment
5A.6	<i>Development that will result in the erection of a building over a registered easement is not complying development under this code</i>	Not applicable.

Maximum Gross Floor Area

Clause	Provision	Compliance Comment
5A.7 (1)	<i>If the development is a new building, the total gross floor area of the completed buildings on the site must not be more than 20,000m².</i>	Not applicable. The proposal is for the alterations and additions to an existing mezzanine.
5A.7 (2)	<i>If the development is an alteration or addition to an existing building, the total gross floor area of the building as altered or added to must not exceed:</i> <i>(a) for an existing building with a gross floor area of 5,000m² or less—5,000m², or</i> <i>(b) in any other case—the gross floor area of the existing building with an additional 5,000m².</i>	The building as <u>altered or added to</u> does not exceed a gross floor area of 5,000m ² .
5A.7 (3)	<i>If the development includes development for the purposes of an ancillary office or industrial retail outlet, the floor area of the ancillary office or industrial retail outlet must not be more than 20% of the total gross floor area of the completed building or 1,000m², whichever is the lesser.</i>	Complies.

Maximum Floor Space Ratio

The maximum floor space ratio of the existing commercial premises as altered or added to must not be more than:

Clause	Provision	Compliance Comment
5A.8 (a)	<i>the maximum floor space ratio applicable to the land on which the premises are erected under another environmental planning instrument applying to the land, or</i>	Complies. As indicated in Figure 5, the FSR for the subject site is 1:1. Based on the submitted documentation, it is calculated that the proposed development will not result in an FSR in excess of 1:1.
5A.8 (b)	<i>if there is no such applicable maximum floor space ratio—1:1.</i>	Not applicable.



Figure 5: Floor to Space Ratio (FSR). Extract from the Pittwater Local Environmental Plan 2014 (NSW Legislation, 2015).

Maximum Height

Clause	Provision	Compliance Comment
5A.9 (1)	<i>The maximum height of a new building must not be more than:</i> (a) <i>the maximum height applicable to the land on which the building is erected under another environmental planning instrument applying to the land, or</i> (b) <i>if there is no such applicable maximum height—15m.</i>	Not applicable. The proposed development is for alterations and additions to an existing warehouse tenancy.
5A.9 (2)	<i>The maximum height of an existing building that is being altered or added to must not be more than:</i> (a) <i>the maximum height applicable to the land on which the building is erected under another environmental planning instrument applying to the land, or</i> (b) <i>if there is no such applicable maximum height—the height of the existing building or 15m, whichever is the lesser.</i>	Not applicable. The proposal does not alter or add to the existing height of the building.

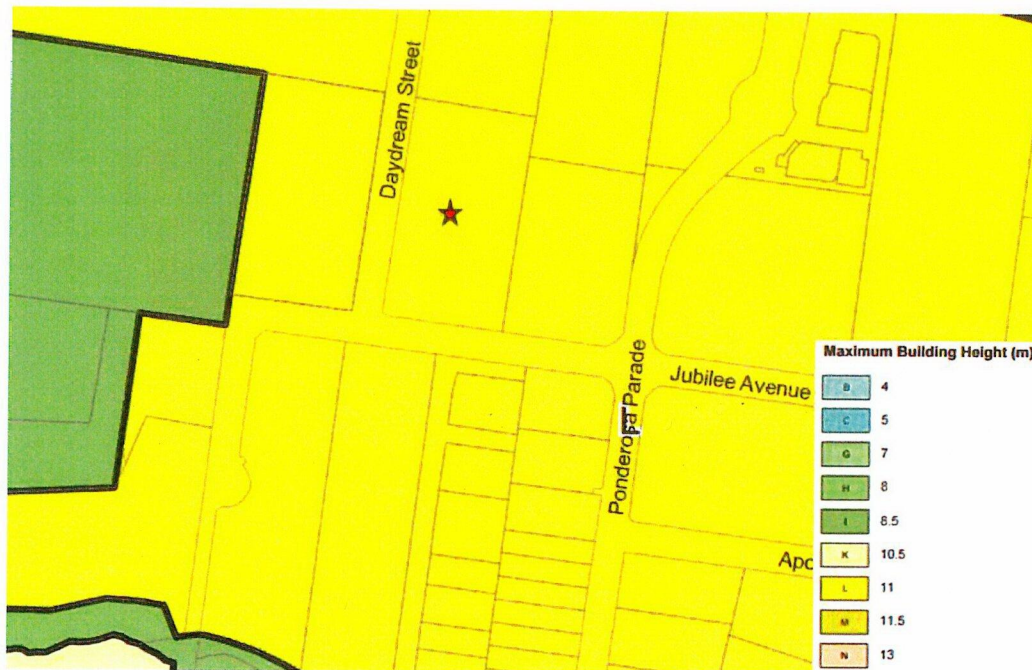


Figure 6: Maximum Building Height. Extract from the Pittwater Local Environmental Plan 2014 (NSW Legislation, 2015).

Setbacks of Development from Roads

Clause	Provision	Compliance Comment
5A.10 (1)	If the development has a boundary with a classified road, the building must have a setback from the boundary with the classified road of: (a) at least 10m, or (b) if a greater setback is applicable in those circumstances under another environmental planning instrument applying to the land on which the building is erected—at least the setback specified in that instrument.	Complies.
5A.10 (2)	If the development has a boundary with a primary road that is not a classified road, the building must have a setback from that boundary of: (a) the average distance of the setbacks of the nearest 2 buildings that: (i) have a boundary with the same road, and	Complies.

	(ii) are located within 40m of the lot on which the building is erected, and (iii) are used for the purpose of industry or a warehouse or distribution centre, or (b) at least 10m, whichever is the lesser.	
5A.10 (3)	If the development is on a lot that has a boundary with a parallel road that is not a classified road, the building must have a setback from the boundary with the parallel road determined in accordance with subclause (2).	Not applicable.
5A.10 (4)	If the development is located on a corner lot, the building must have a setback from the boundary of the secondary road of at least 3m if the secondary road is not a classified road.	Not applicable.
5A.10 (4A)	If the development is on a lot that is subject to a proposed road widening under a local environmental plan, the building must have a setback from the boundary with the road, after acquisition for the road widening, of at least: (a) if the road widening is for a local road—10m, or (b) if the road widening is for a classified road widening, a future classified road widening or a local road future classified road—4.5m.	Not applicable.
5A.10 (5)	Despite the other provisions of this clause, an addition or alteration to an existing building may have a setback from the boundary of any road that is not a classified road at the same distance as the setback of the existing building from that boundary.	Not applicable.
5A.10 (6)	Despite the other provisions of this clause, the requirements of this clause do not apply to the existing parts of a building.	Not applicable.

Setbacks of Development from Side and Rear Boundaries

Clause	Provision	Compliance Comment
5A.11 (1)	If the development is a new building, or the alteration of or an addition to an existing building, on land that adjoins a lot in a residential zone, the	Not applicable. See Clause 5A.11 (5).

	<i>building must have a setback from the boundary of the adjoining lot of:</i> (a) <i>for a building with a gross floor area of not more than 1,000m²—at least 3m, plus an additional metre for every whole metre by which the building exceeds 4.5m in height above ground level (existing), or</i> (b) <i>for a building with a gross floor area of more than 1,000m² but not more than 5,000m²—at least 5m, plus an additional metre for every whole metre by which the building exceeds 4.5m in height above ground level (existing), or</i> (c) <i>for a building with a gross floor area of more than 5,000m² but not more than 10,000m²—at least 20m, plus an additional metre for every whole metre by which the building exceeds 4.5m in height above ground level (existing), or</i> (d) <i>for a building with a floor area of more than 10,000m² but not more than 20,000m²—at least 50m, with a maximum building height of 15m above ground level (existing).</i>	
5A.11 (2)	<i>If the development is a new building, or the alteration of or an addition to an existing building, on a lot that adjoins a public reserve, the building must have a setback from the boundary with the public reserve of at least 3m and the area of that setback must be a landscaped area.</i>	Not applicable. The setbacks remain unaltered as part of the proposed development.
5A.11 (3)	<i>If the development is a new building, or the alteration of or an addition to an existing building, on a lot that adjoins an environmentally sensitive area, the building must have a setback from the boundary with that environmentally sensitive area of at least 10m and an area of at least 3m in width of that setback must be a landscaped area.</i>	Not applicable. The setbacks remain unaltered as part of the proposed development.
5A.11 (4)	<i>Despite the other provisions of this clause, the requirements of this clause do not apply to the existing parts of a building that are not being altered or added to.</i>	The setback provisions do not apply to the existing parts of the building.
5A.11 (5)	<i>If the development is carried out on a lot that has a boundary with a railway corridor, the new building or addition and any ancillary development must be located at least 3m from that boundary.</i>	Not applicable.

Front Façade Material Finishes for New Industrial Buildings

Clause	Provision	Compliance Comment
5A.12 (1)	<i>A new industrial building must have a front door or entry with an awning or portico, or be distinguished by the use of different building materials, as part of the front facade wall of the building that faces the primary road or principal entry onto the site.</i>	Not applicable.
5A.12 (2)	<i>The front facade wall of a new industrial building must contain at least 30% of materials that are not the main exterior finish.</i>	Not applicable.
5A.12 (3)	<i>Sun shading devices, screens or canopies must be provided for each glazed wall or window in a new industrial building if the glazed wall or window faces in a direction that is between north and west.</i>	Not applicable.
5A.12 (4)	<i>All glazing in a new industrial building must be of low reflective glass.</i>	Not applicable.

Building Elements within the Articulation Zone for New Industrial Buildings

Clause	Provision	Compliance Comment
5A.13 (1)	<i>The following building elements are permitted within an articulation zone for a new industrial building:</i> <i>(a) an entry feature or portico,</i> <i>(b) an awning or canopy over a door or window</i>	Not applicable.
5A.13 (2)	<i>A building element within the articulation zone of a new industrial building:</i> <i>(a) must not reduce the required landscape area, car parking spaces or driveway, and</i> <i>(b) may extend 2m into the minimum required front setback, but must not be more than 25% of the width of the front facade of the building, and</i> <i>(c) must not be more than the maximum height of the building.</i>	Not applicable.

Bunding

Clause	Provision	Compliance Comment
5A.14 (1)	<i>All areas for the storage and handling of chemicals, fuels and oils on-site must be designed with appropriate bunded areas that:</i> <i>(a) have impervious flooring, and</i> <i>(b) have sufficient capacity to contain 110% of the largest container stored within the bund, and</i> <i>(c) are designed in accordance with pages 40–44 of the document entitled Storing and Handling Liquids: Environmental Protections, Participants Manual published by the Department of Environment and Climate Change NSW in May 2007.</i>	Not applicable.

Caretakers Flats

Clause	Provision	Compliance Comment
5A.15 (1)	<i>If the development includes development for the purposes of an ancillary caretaker's flat, the flat must:</i> <i>(a) for development that is:</i> <i>(i) the construction of a new building—form part of the new building, or</i> <i>(ii) the alteration of or addition to an existing building—be an addition to the existing building, and</i> <i>(b) comply with the relevant requirements contained in Volume 1 of the Building Code of Australia that are applicable to a Class 4 building, and</i> <i>(c) have a floor area not exceeding 100m².</i>	Not applicable.
5A.15 (2)	<i>The development must not include more than one caretaker's flat per lot.</i>	Not applicable.

Landscaped Areas

Clause	Provision	Compliance Comment
5A.16 (1)	<i>A landscaped area complying with the following specifications must be provided along each</i>	Complies.

	boundary of a lot on which the development is carried out with any adjoining road (except in areas necessary for vehicle and pedestrian access): (a) at least 3m in width or, if the setback from the road boundary is less than 3m, the width of the setback, and (b) with a soil depth of at least 1m, and (c) if the width of a lot is more than 10m at the primary street frontage—with a species of trees planted at 3m intervals along that frontage that are capable of achieving a height of at least 8m at maturity and at least 2m within 2 years of the occupation of the development	
5A.16 (2)	If the development adjoins a residential zone, the setback area referred to in clause 5A.11 (1) must have in it a landscaped area, adjacent to the boundary with that zone, that is: (a) for a building with a gross floor area of more than 1,000m² but not more than 5,000m²—at least 3m wide in that setback, and (b) for a building with a gross floor area of more than 5,000m² but not more than 10,000m²—at least 5m wide in that setback, and (c) for a building with a gross floor area of more than 10,000m² but not more than 20,000m²—at least 10m wide in that setback.	Not applicable.
5A.16 (3)	The landscaped area required under subclause (2) must have trees and shrubs planted evenly across its length and width with, for every 3m² of the area: (a) 1 tree of a species capable of achieving a height of at least 8m at maturity and at least 2m within 2 years of the occupation of the development, and (b) 1 shrub of a species capable of achieving a height of at least 2m within 5 years of the occupation of the development and no more than 5m at maturity.	Not applicable.

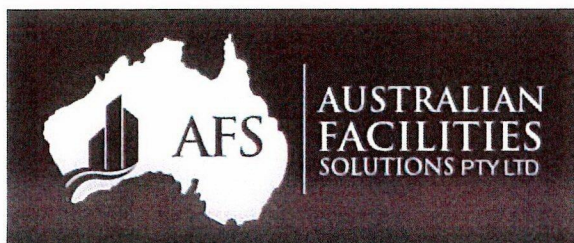
- 7.3 Division 4 relates to development standards for both industrial and commercial development is as follows:

Car Parking and Access

Clause	Provision	Compliance Comment
5A.24 (1)	<i>Car parking must be provided on site:</i> (a) <i>either:</i> (i) <i>in accordance with any relevant requirements contained in an environmental planning instrument or a development control plan applying to the land, or</i> (ii) <i>if a contribution in relation to car parking in compliance with a contributions plan under Division 6 of Part 4 of the Act that is imposed as a condition of approval under clause 136K of the <u>Environmental Planning and Assessment Regulation 2000</u>—if that contribution is made, or</i> (b) <i>if there are no relevant requirements as referred to in paragraph (a), in accordance with the document entitled Guide to Traffic Generating Developments, Version 2.2, published by the Roads and Traffic Authority in October 2002.</i>	Complies The Pittwater 21 Development Control Plan applies to the subject site. The Pittwater 21 DCP does not outline parking rates for warehouses, and therefore the Guide To Traffic Generating Development published by the RTA (2002) must be applied to the development. The document outlines the parking rates as follows: <i>Daily vehicle trips = 4 per 100m² gross floor area.</i> <i>Morning peak hour vehicle trips= 0.5 per 100m² gross floor area.</i>
5A.24 (2)	<i>The dimensions of all car parking spaces must be designed in accordance with AS/NZS 2890.1:2004, Parking facilities, Part 1: Off-street car parking or AS 2890.2—2002, Parking facilities, Part 2: Off-street commercial vehicle facilities and RMS Australian Standard Supplements, Australian Standard—AS2890, Parking Facilities, Parts 1–6.</i>	Not applicable

Loading Facilities and Driveways

Clause	Provision	Compliance Comment
5A.25 (1)	<i>Each building in the development must be provided with its own loading bay and the loading facilities must be contained wholly within the lot on which the development is carried out.</i>	Not applicable



5A.25 (2)	<i>Loading bays must be located behind the front building line of the building and must not be located on any side of the building that faces an adjoining lot on which there is a dwelling.</i>	Not applicable
5A.25 (3)	<i>Driveways within the lot on which the development is carried out must be designed so as to enable vehicles to leave the lot in a forward direction.</i>	Not applicable
5A.25 (4)	<i>Ingress to and egress from the site, driveway widths, turning circles and the dimensions of all loading bays must be designed in accordance with:</i> (a) <i>AS/NZS 2890.1:2004, Parking facilities, Part 1: Off-street car parking or AS 2890.2—2002, Parking facilities, Part 2: Off-street commercial vehicle facilities and RMS Australian Standard Supplements, Australian Standard—AS2890, Parking Facilities, Parts 1–6, and</i> (b) <i>the document entitled Guide to Traffic Generating Developments, Version 2.2, published by the Roads and Traffic Authority in October 2002</i>	Not applicable

Garbage and Waste Storage

Clause	Provision	Compliance Comment
5A.26 (1)	<i>A garbage and waste storage area for recyclable and non-recyclable waste materials and receptacles for those materials must:</i> (a) <i>be provided as part of the development, and</i> (b) <i>be located entirely within the lot on which the development is being carried out and not on a road or road reserve, and</i> (c) <i>comply with the following appendices in the document entitled Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities (ISBN 978-1-74293-944-5), published by the NSW Environment Protection Authority in December 2012:</i>	Certifier to confirm that a garbage and waste storage area for recyclable and non-recyclable waste materials is available on-site.

	(i) Appendices A and B, for the size and location of garbage and storage areas and the size of waste receptacles, (ii) Appendices C and D, for the design of openings of waste storage areas and loading bay turning circles for waste removal vehicles, (iii) Appendix E, for standard signs for waste storage areas, (iv) Appendix F for the design and operational capacity of waste storage areas.	
5A.26 (2)	The waste storage area must: (a) be screened, and (b) be located behind the primary road frontage building line, and (c) not be located in any car parking, loading or landscaped area, and (d) not be located on any side of the building that faces an adjoining lot on which there is a dwelling.	Not applicable.

Earthworks

Clause	Provision	Compliance Comment
5A.27 (1)	Excavation works for the purposes of the development must: (a) be structurally supported in accordance with subclause (2), and (b) if the land is not identified as Class 3 or Class 4 on the Acid Sulfate Soils Map—not be more than 3m below ground level (existing), and (c) if the land is identified as Class 3 or Class 4 on the Acid Sulfate Soils Map—not be more than 1m below ground level (existing), and (d) be carried out at least 40m from any waterbody (natural), and	Not applicable.

	(e) not result in a building being located over a registered easement, and (f) if the works are on a lot adjacent to a rail corridor—have a setback at least 3m from the corridor.	
5A.27 (2)	Structural support for earthworks more than 1m above or below ground level (existing) must take the form of a retaining wall or other form of structural support that: (a) has been certified by a professional engineer, and (b) has adequate drainage lines connected to an existing stormwater drainage system for the site, and (c) does not redirect the flow of any water or cause sediment to be transported onto an adjoining property, and (d) is not higher than 3m, and (e) is separated from any other structural support on the site by at least 2m, measured horizontally.	Not applicable.
5A.27 (3)	Fill, for the purposes of the development must: (a) not raise the ground level (existing) more than 2m, and (b) be wholly contained by a structural support in accordance with subclause (2), and (c) be located at least 40m from any waterbody (natural).	Not applicable.

Drainage

Clause	Provision	Compliance Comment
5A.28 (1)	All stormwater drainage collected as a result of the development must be conveyed by a gravity fed or charged system to: (a) a public drainage system, or (b) an inter-allotment drainage system, or (c) an on-site disposal system.	Not applicable.

5A.28 (2)	<i>All stormwater drainage systems within a lot, and the connection to a public or an inter-allotment drainage system, must:</i> <i>(a) if an approval is required under section 68 of the <u>Local Government Act 1993</u>—be approved under that Act, or</i> <i>(b) if an approval is not required under section 68 of the <u>Local Government Act 1993</u>—comply with any requirements for the disposal of stormwater drainage contained in a development control plan that is applicable to the land.</i>	Not applicable.
-----------	---	-----------------

Development Standards for Flood Control Lots

- 7.4 Cause 5A.30 outlines the requirements for Flood Control Lots. In this regard, a report has been prepared by Soliman Hanna and Associates, dated 29 May 2015.

8.0 Summary and Conclusion

- 8.1 As outlined in this report the specified internal works constitute 'complying development' under the General Commercial and Industrial Code and the Commercial and Industrial (New Buildings and Additions) Code, subject to:

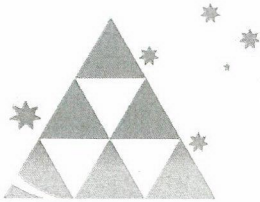
- Clause 1.18 (1) (c)- Certifier confirming compliance with the Building Code of Australia (BCA);
- Clause 1.18 (3)- Certifier to impose the conditions set out in Schedule 8 of the SEPP.
- Clause 5A.4- Certifier to provide concurrence with interpretation as outlined in Clause 5A.4 of the SEPP.
- Clause 5A.26- Certifier to confirm that a garbage and waste storage area for recyclable and non-recyclable waste materials is available on-site.
- All other relevant provisions of the Environmental Planning and Assessment Act and Regulation being satisfied.



Adam Mainey

Town Planner

28 June 2015



Soliman Hanna & Associates

Consulting Structural & Civil Engineers
Accredited Certifiers

ABN 45 689 168 105

65A Millett Street,
Hurstville NSW 2220

Tel: (02) 9570 1119

Fax: (02) 9570 7736

Mobile: 0410 444 011

Email: shanna@shconsulting.com.au

www.shconsulting.com.au

Ref. No. 15-074

Mr. Adam Mainey
Building Certificates Australia P/L
505/64-74 Kippax Street,
Surry Hills
NSW 2010



29/05/15

Proposed Mezzanine Unit 21/ 14 Jubilee Street, Warriewood.

Dear Adam,

We Soliman Hanna & Associates being professional Engineers in accordance with the building code of Australia, hereby confirm that the proposed mezzanine at the above mentioned address complies with the relevant requirements of Clause 5A30 of the State Environmental Planning Policy (SEPP 2008) copy attached.

Please note that sub-clauses: 2(a)-(e) of SEPP 2008 are not applicable for this development as the proposed mezzanine doesn't fit in any of the described categories.

The proposed mezzanine is a concrete prefabricated structure constructed on the existing concrete walls which is considered to be flood compatible material (that is, the structure, along with finishes, shall be designed to withstand prolonged immersion in water). The whole structure is considered to be able to withstand additional forces due to floodwater, debris and buoyancy.

The proposed mezzanine is 3.3m above the ground level, therefore it satisfies the requirements of sub-clauses (4) and (5).

This certificate is based on the following:

1. Proposed level of the mezzanine to be 3.3m above ground floor level.
2. Pittwater Council S149 planning certificate.
3. The relevant clauses of 5A.30 of SEPP 2008

This certification shall not be construed as relieving any other party of their responsibility, liabilities or contractual obligations.

Yours Faithfully

Soliman Hanna & Associates

Soliman Hanna BscEng(Hons), MIEAust, CPEng, NPER-3, RPEQ 6647, RBP 37527

Soliman Hanna & Associates.

Consulting Civil and Structural Engineers

Accredited Certifiers

APPENDIX 'A'

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 -
5A.30 Development standards for flood control lots

1. This clause applies:
 - a. to all development specified in clause 5A.2(1) for this code that is to be carried out on a flood control lot, and
 - b. in addition to all other development standards specified for this code.
2. The development must not be on any part of a flood control lot unless that part of the lot has been certified, for the purposes of the issue of the relevant complying development certificate, by the council or a professional engineer who specialises in hydraulic engineering as not being any of the following:
 - a. a flood storage area,
 - b. a floodway area,
 - c. a flow path,
 - d. a high hazard area,
 - e. a high risk area.
3. The development must, to the extent it is within a flood planning area:
 - a. have all habitable rooms no lower than the floor levels set by the council for that lot, and
 - b. have the part of the development at or below the flood planning level constructed of flood compatible material, and
 - c. be able to withstand the forces of floodwater, debris and buoyancy up to the flood planning level (or if on-site refuge is proposed, the probable maximum flood level), and
 - d. not increase flood affectation elsewhere in the floodplain, and
 - e. have reliable access for pedestrians and vehicles from the development, at a minimum level equal to the lowest habitable floor level of the development, to a safe refuge, and
 - f. have open car parking spaces or carports that are no lower than the 20-year flood level, and
 - g. have driveways between car parking spaces and the connecting public roadway that will not be inundated by a depth of water greater than 0.3m during a 1:100 ARI (average recurrent interval) flood event.
4. A standard specified in subclause (3) (c) or (d) is satisfied if a joint report by a professional engineer who specialises in hydraulic engineering and a professional engineer who specialises in civil engineering confirms that the development:
 - a. can withstand the forces of floodwater, debris and buoyancy up to the flood planning level (or if on-site refuge is proposed, the probable maximum flood level), or
 - b. will not increase flood affectation elsewhere in the floodplain.
5. If a word or expression used in this clause is defined in the Floodplain Development Manual, the word or expression has the same meaning as it has in that Manual unless it is otherwise defined in this clause.
6. In this clause:

Flood compatible material means building materials and surface finishes capable of withstanding prolonged immersion in water.

Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

Flow path means a flow path identified in the council's flood study or floodplain risk management study carried out in accordance with the Floodplain Development Manual.

High hazard area means a high hazard area identified in the council's flood study or floodplain risk management study carried out in accordance with the Floodplain Development Manual.

High risk area means a high risk area identified in the council's flood study or floodplain risk management study carried out in accordance with the Floodplain Development Manual.

COUNCIL'S CERTIFICATE

The Council of the "City Municipality" Shire of [redacted] having satisfied itself that the requirements of the Streets Traffic Act, 1973 (other than the requirements for the registration of plans) have been complied with, approves of the proposed

- * street plan
- * street plan of subdivisions

"Council does not object to the encroachment of the building beyond the alignment of

*This approval is given on condition that 101/2

is/are subject to the restriction on use referred to in section 39 of the
Copyright Act 1977

Date . . . 10th November 2003

Subdivision No. *1000* *Miller*

Public Officer

* Complete, or delete if inapplicable.

SURVEYOR'S CERTIFICATE

David John Parsons

of 27 Queens Ave., Avalon 2107
a surveyor registered under the Surveyors Act 1829, hereby certify that-

- (1) any wall, the inner surface or any part of which corresponds substantially with any line shown on the accompanying floor plan as a boundary of a proposed lot, exhibit
- (2) any floor or ceiling, the upper or under surface or any part of which forms a boundary of a proposed lot, shown in the accompanying floor plan, exhibit
- (3) any wall, floor, ceiling or structural cubic space, by reference to which any boundary of a proposed lot shown in the accompanying floor plan is defined, exhibit
- (4) any building containing proposed lots erected on the land shown on the accompanying floor plan, the floor area of any proposed lot shown on the accompanying floor plan are wholly within the perimeter of the parcel subject to subparagraphs (a) and (b).

- (c) except to the extent that the building is used as a public place.

"(d) covers and guttering of the building encroaches on land other than a public place, in respect of which covers and guttering an appropriate consent has been granted by registered -

- * (5) the survey information recorded in the accompanying location plot is accurate.

Signature: D. Parz

Date .. 30/8/2000

1 State whether dealing or plant, and quote registered number.

This is sheet 1 of my Plan in 3 sheets.

PLAN OF SUBDIVISION OF LOT11 IN D.P. 1018506

LGA : PITTWATER

Locality : WARRIEWOOD

Parish : NARRABEEN

County : CUMBERLAND

~~Reduction Ratio 1:~~

Lengths are in metres

Name of, and * address for
service of notices on, the
owners corporation
* Address required on
original strata plan only.

THE OWNERS STRATA PLAN NO.
14 JUBILEE AVENUE, WARRIEWOOD NSW 2102.

Signatures, seals and statements of intention to create easements or restrictions as to user.



Mortgagee under Mortgage No. 679311
Signed at Sydney this 14th day of
NOVEMBER 2000 for National
Australia Bank Limited ACN 004 044 937
by Fiona Mary FERGUSON its duly appointed
Attorney and Solicitor
No. 679311

Witness Bank Officer *Kylie Griffith*
Kylie GRIFFITH
255 George Street, Sydney NSW

INDUSTRIAL MODEL BY-LAWS ADOPTED FOR THIS SCHEME

BUILDING CERTIFICATES AUSTRALIA
COMPLYING DEVELOPMENT CERTIFICATE
Certificate No.

Certificate No.

201-15
29 JUN 2015
Date

FOR INFORMATION

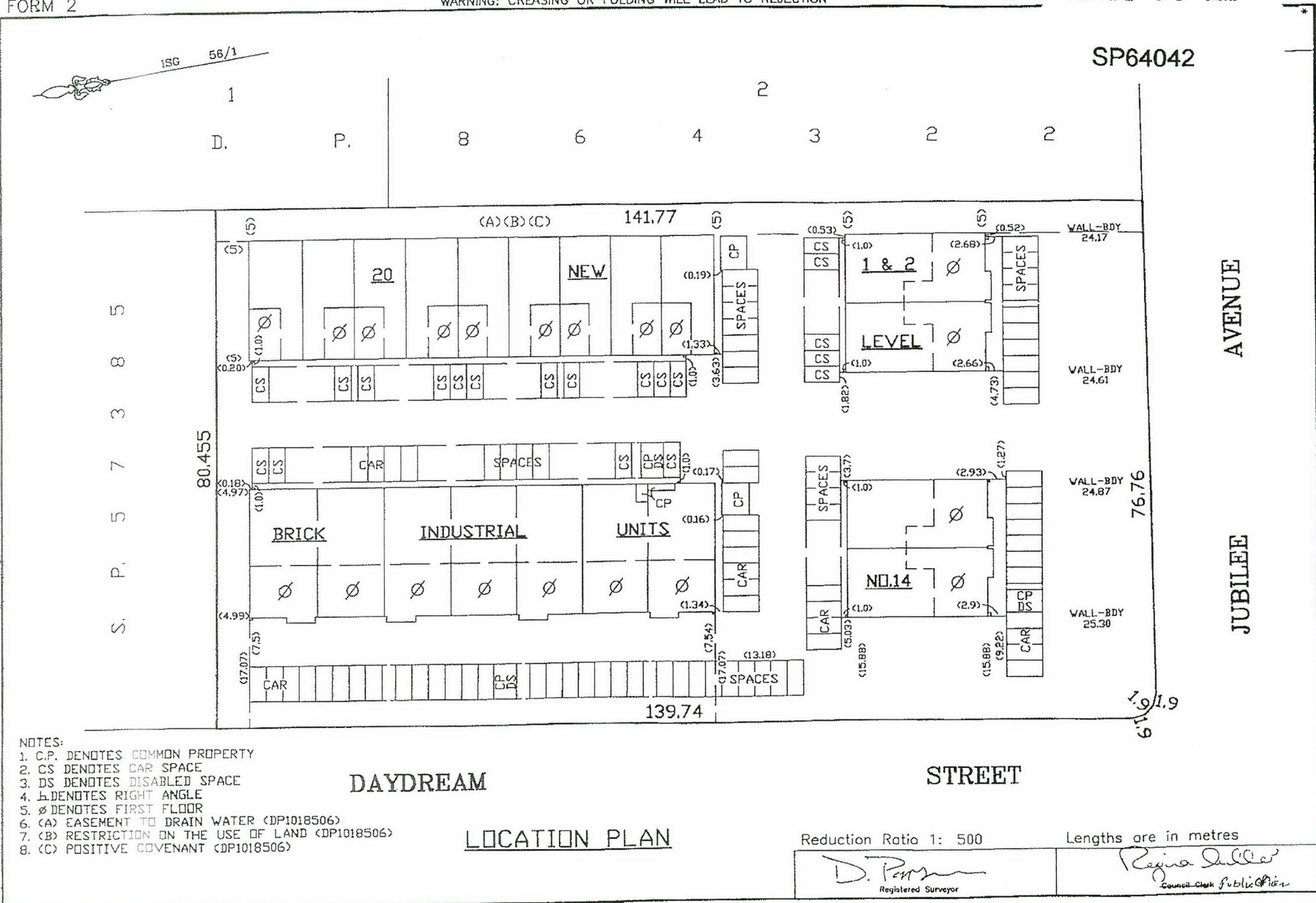
FOR INFORMATION
This information has been provided to us and relied on in good faith to confirm that works will comply to BCA & all relevant Australian Standard.

FOR LOCATION PLAN
SEE SHEET 2

Plan Drawing only to appear in this space

Plan Drawing only to appear in this space

SURVEYOR'S REFERENCE 253 CHECKLIST



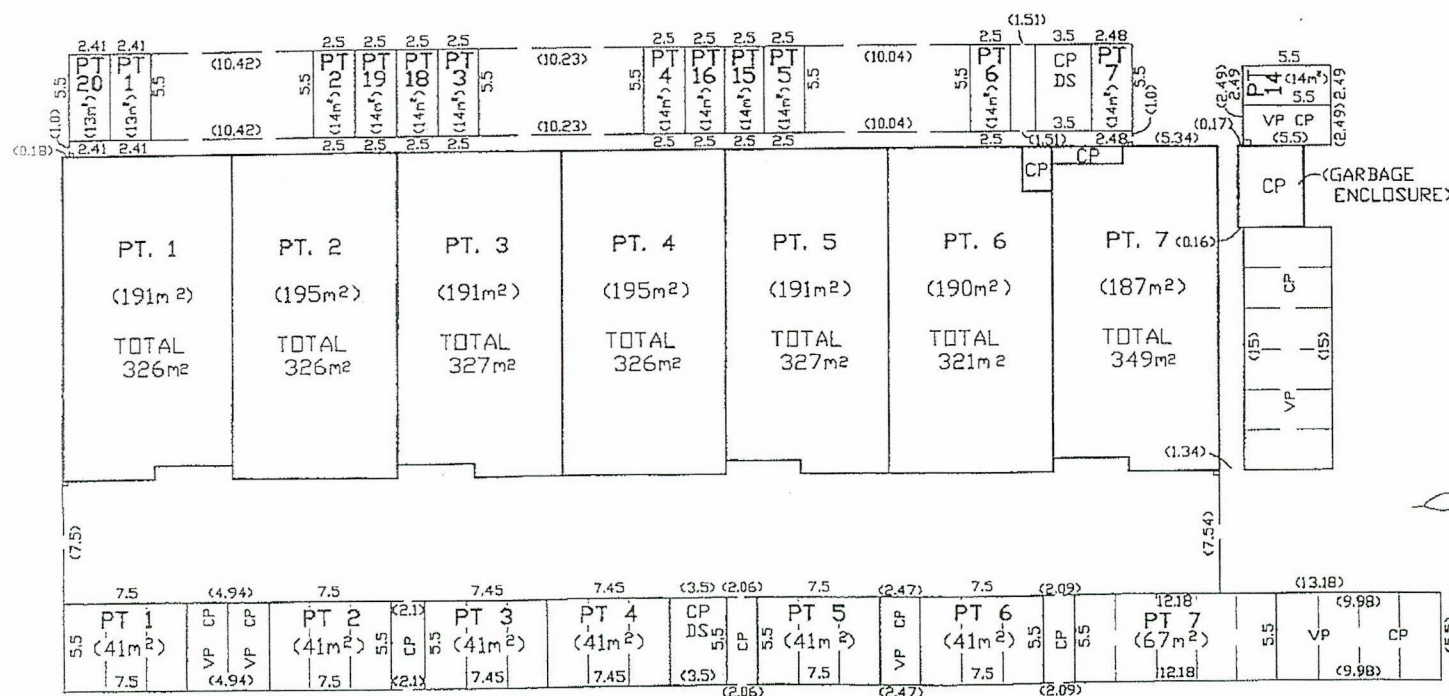
SP64042

OFFICE USE ONLY

FIRST FLOOR

NOTES:

1. C.P. DENOTES COMMON PROPERTY
2. DS DENOTES DISABLED SPACE
3. VP DENOTES VISITOR PARKING
4. H DENOTES RIGHT ANGLE
5. AREAS ARE APPROXIMATE ONLY AND NOT SUITABLE FOR LETTABLE AREA PURPOSES.
6. CARSPACES ARE LIMITED IN HEIGHT TO 3 ABOVE THE UPPER SURFACE OF THEIR FLOOR.



ISG 56/

GROUND FLOOR

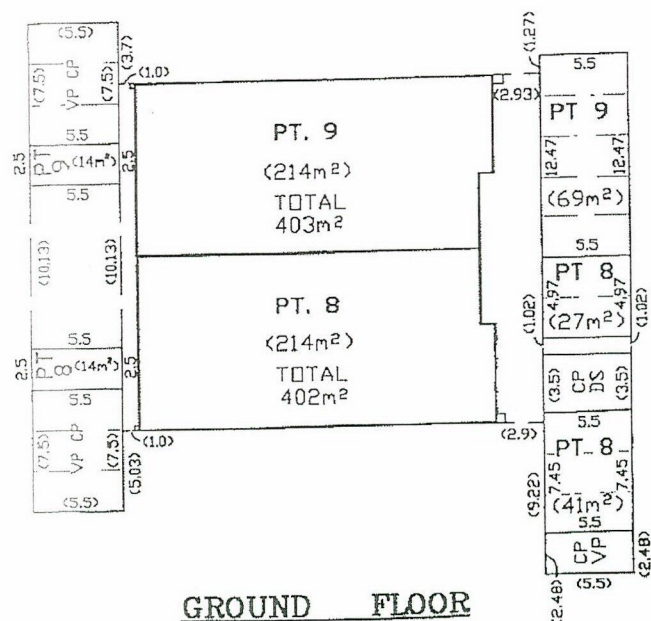
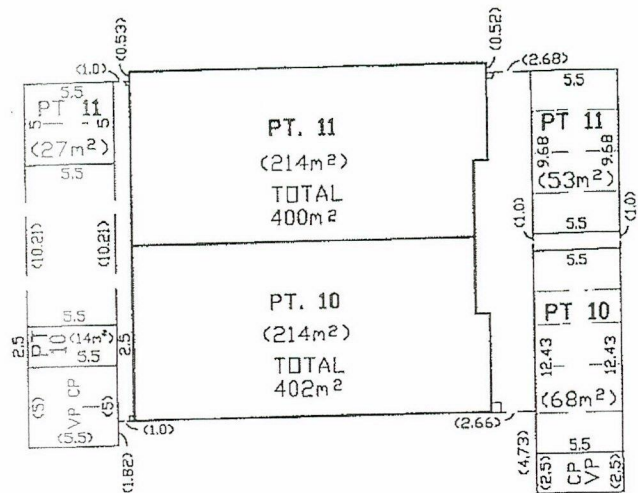
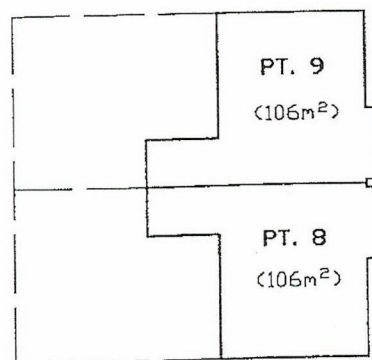
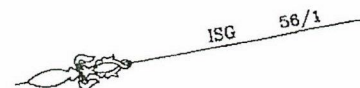
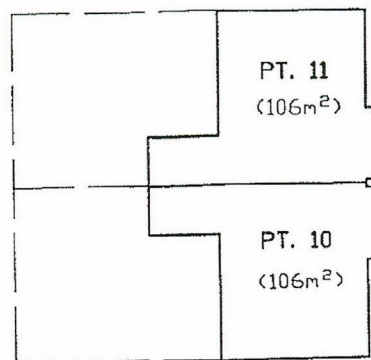
Reduction Ratio 1: 300

Lengths are in metres

D. P. [Signature]
Registered Surveyor

Rigia Miller
Council Clerk Public Officer

SP64042

**GROUND FLOOR****FIRST FLOOR**

NOTES:

1. C.P. DENOTES COMMON PROPERTY
2. DS DENOTES DISABLED SPACE
3. VP DENOTES VISITOR PARKING
4. R DENOTES RIGHT ANGLE
5. AREAS ARE APPROXIMATE ONLY AND NOT SUITABLE FOR LETTABLE AREA PURPOSES.
6. CARSPACES ARE LIMITED IN HEIGHT TO 3 ABOVE THE UPPER SURFACE OF THEIR FLOOR.

SCHEDULE OF UNIT ENTITLEMENTS	
LOT	UNIT ENTITLEMENT
1	286
2	287
3	287
4	287
5	287
6	283
7	300
8	332
9	332
10	332
11	332
12	193
13	182
14	182
15	182
16	182
17	182
18	182
19	182
20	188
AGGREGATE	5000

Reduction Ratio 1: 300

Lengths are in metres

D. P. ...
Registered Surveyor

Rajia ...
Council Clerk Publication

1. C.P. DENOTES COMMON PROPERTY
2. DS DENOTES DISABLED SPACE
3. VP DENOTES VISITOR PARKING
4. $\perp$ DENOTES RIGHT ANGLE
5. AREAS ARE APPROXIMATE ONLY
AND NOT SUITABLE FOR LETTABLE
AREA PURPOSES.
6. CARSPACES ARE LIMITED IN HEIGHT
TO 3 ABOVE THE UPPER SURFACE
OF THEIR FLOOR.

OFFICE USE ONLY

Site plan showing building footprints, parking areas, and surrounding infrastructure. The plan includes a large rectangular area divided into sections labeled PT. 20 through PT. 12. Each section contains a 'TOTAL' area value. To the right of the main area is a 'CP (GARBAGE ENCLOSURE)' with a 'PT 12' label. Dimensions are provided for various sections and the overall site. A north arrow is located in the bottom right corner.

Section	Area (m ²)	Total Area (m ²)
PT. 20	(140m ²)	TOTAL 201m ²
PT. 19	(140m ²)	TOTAL 202m ²
PT. 18	(140m ²)	TOTAL 202m ²
PT. 17	(140m ²)	TOTAL 201m ²
PT. 16	(140m ²)	TOTAL 202m ²
PT. 15	(140m ²)	TOTAL 202m ²
PT. 14	(140m ²)	TOTAL 202m ²
PT. 13	(140m ²)	TOTAL 201m ²
PT. 12	(140m ²)	TOTAL 229m ²

CP (GARBAGE ENCLOSURE)

PT 12

Dimensions: (0.20), 2.5, (1.07), 5.5, (10.19), (8.85), (27m²), (14m²), (8.97), (1.06), 2.5, (8.87), (27m²), (14m²), (8.87), 5, (4.29), (3.63), 7.48, (41m²), 5.5, 7.48.

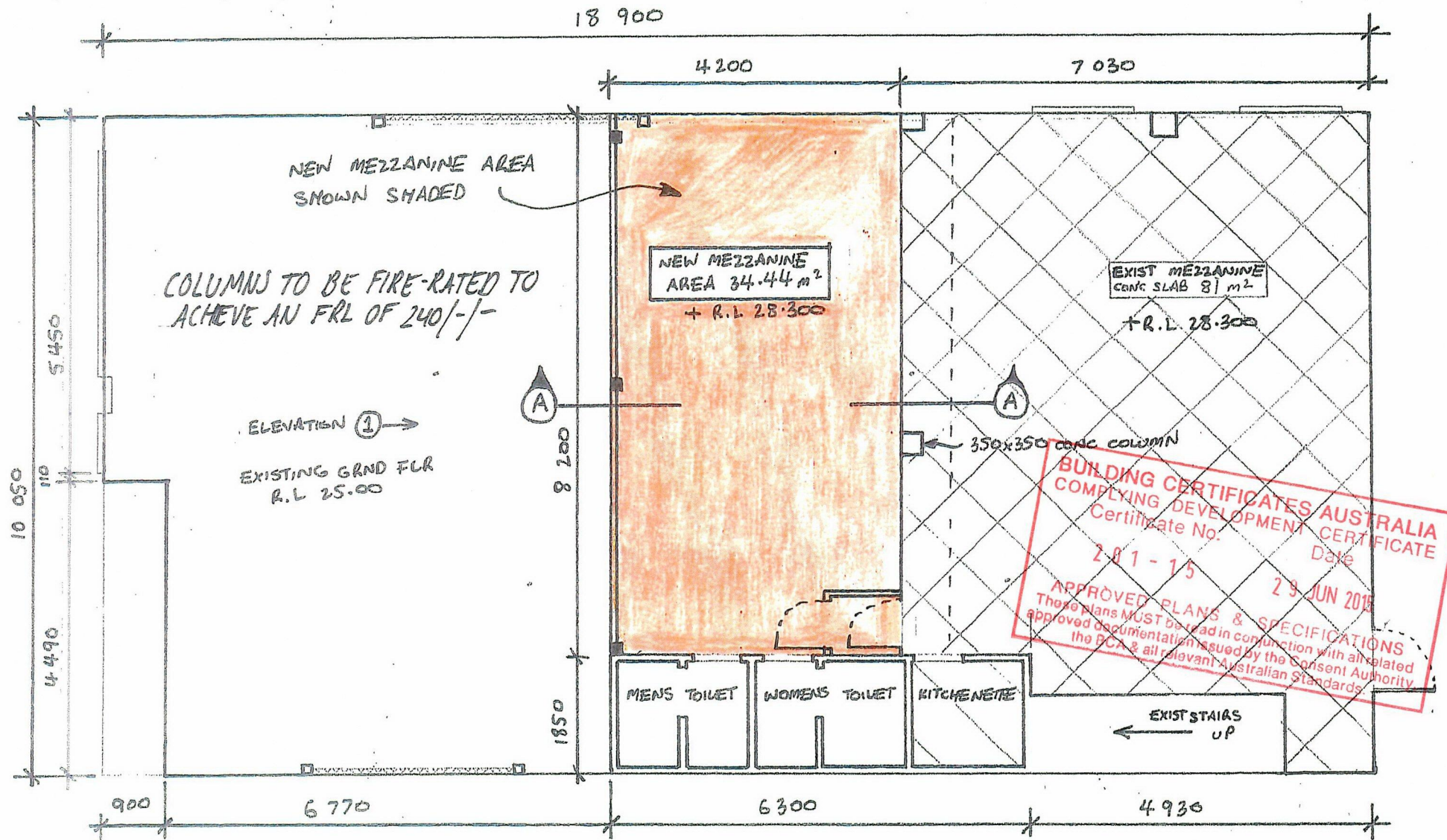
GROUND FLOOR

Lengths are in metres

Registered Surveyor

Regina Siller
Board Clerk Publication

SURVEYORS REFERENCE 253

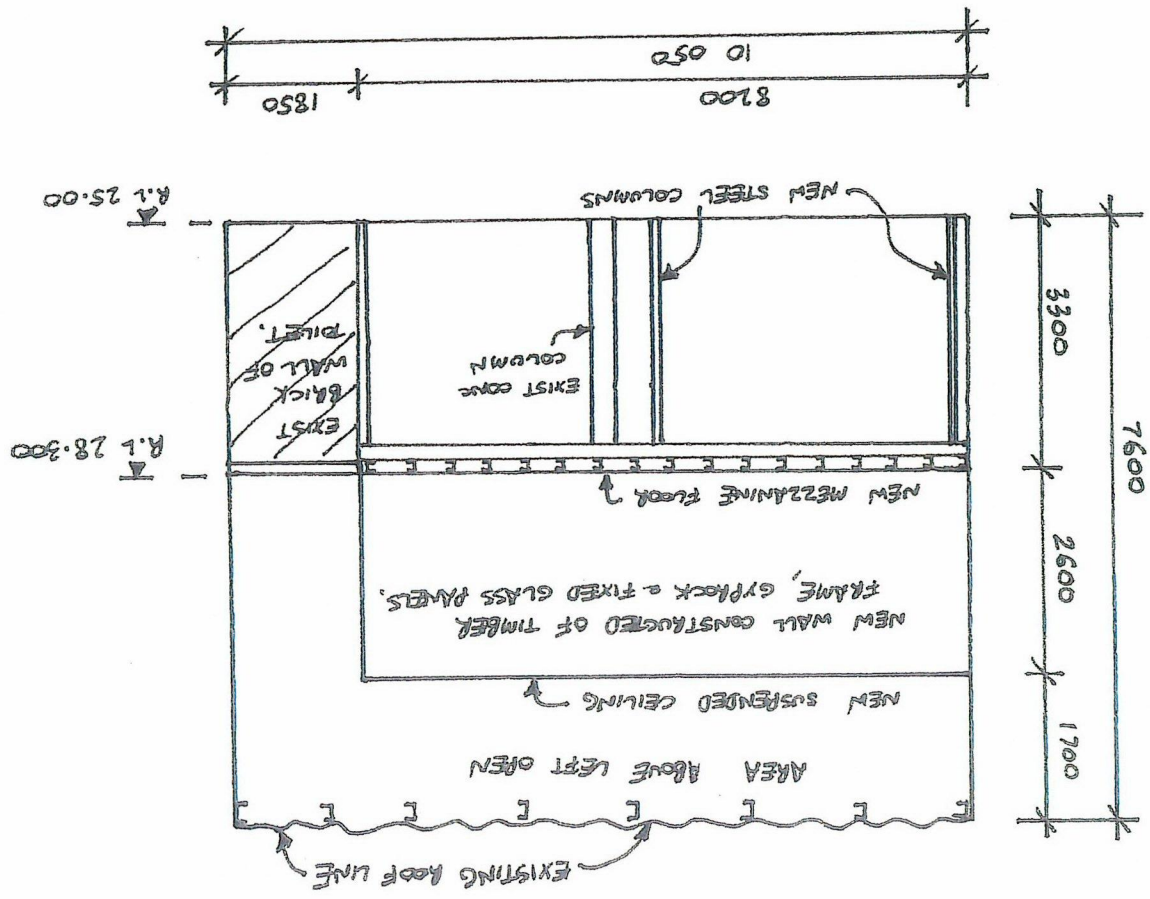


UNIT 21/14 JUBILEE AVE WARRIEWOOD 23/04/2015
FLOOR PLAN SHOWING PROPOSED MEZZANINE
EXTENSION
SCALE 1:83

UNIT 21/14 JUBILEE AVE, WARRIEWOOD 23/04/22
 ELEVATION ① SHOWING PROPOSED MEZZAINE EXTENSION
 SCALE 1:100.
 DWG NO 02.

BUILDING CERTIFICATES AUSTRALIA
 COMPLYING DEVELOPMENT CERTIFICATE
 Certificate No. 201-15
 Date 29 JUN 2015
 APPROVED PLANS & SPECIFICATIONS
 These plans MUST be read in conjunction with all related approved documentation issued by the Consent Authority, the BCA & all relevant Australian Standards.

ELEVATION ①



PROPOSED NEW STUD WALL TO PERIMETER LINED WITH GYPROCK BOTH SIDES WITH LARGE GLASS FIXED SECTIONS.

NEW MEZZANINE AREA ←

EXISTING MEZZANINE AREA →

4 200

900 EXIST CONC BEAM.

Fill 25mm THICK PLYWOOD FIXED TO STEEL JOISTS

200 x 2.4mm THICK "COLBYRACK" BEAM BY 'DEMATIC' @ 450 OR 600 CENTRES

275 x 3mm THICK "COLBYRACK" BEAMS BY 'DEMATIC' FIXED BACK TO BACK THROUGH NEW 90x90 SHS COLUMNS

"PFC" OR EQUAL ANGLE FIXED TO EXIST CONCRETE BEAM WITH FIN PLATES WELDED TO TOP AT 450 OR 600 CENTRES FOR STEEL JOISTS TO BOIT TO



90x90 SHS WITH BASE PLATE FIXED TO EXIST SLAB BASE

UNIT 21, 14 JUBILEE AVE, WARRIEWOOD

PROSED NEW MEZANINE EXTENSION

SECTION (A)-(A)

APRIL 2015.

DWG N° 03.

ORICON DEVELOPMENTS.

EXIST CONC FLOOR