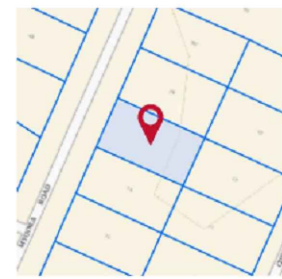


DEVELOPMENT PROPOSAL

NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY

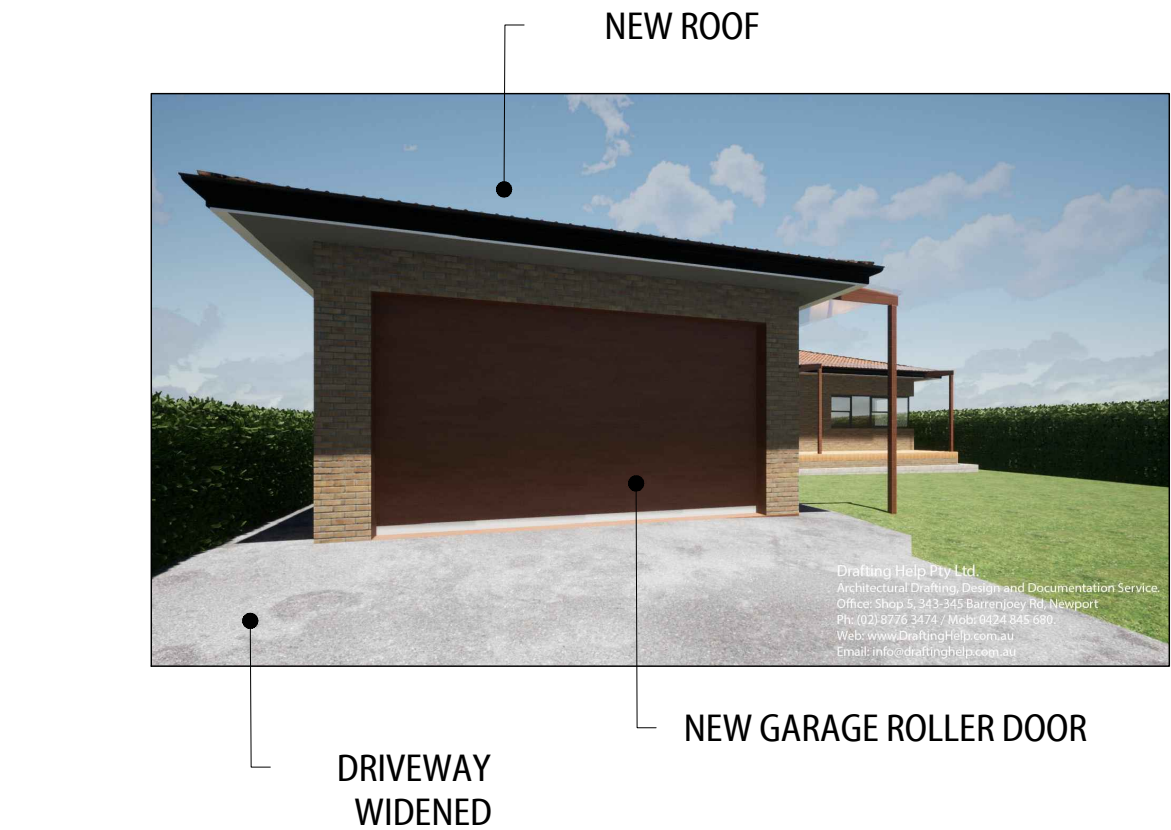


Property Details

Address: 76 MYOORA ROAD TERREY HILLS 2084
Lot/Section: 12/-DP237301
Plan No:
Council: NORTHERN BEACHES COUNCIL

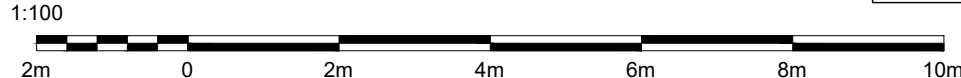
Local Environmental Plans
Land Zoning: R2 - Low Density Residential (pub. 9-12-2011)
Height Of Building: 8.5 m
Floor Space Ratio: NA
Minimum L of Size: 600 m²
Heritage: NA
Land Reservation Acquisition: NA
Foreshore Building Line: NA
Landslide Risk Land: Area A - Slope <5

Warringah Local Environmental Plan 2011 (pub. 14-2-2014)
R2 - Low Density Residential (pub. 9-12-2011)
NA
600 m²
NA
NA
NA
Area A - Slope <5

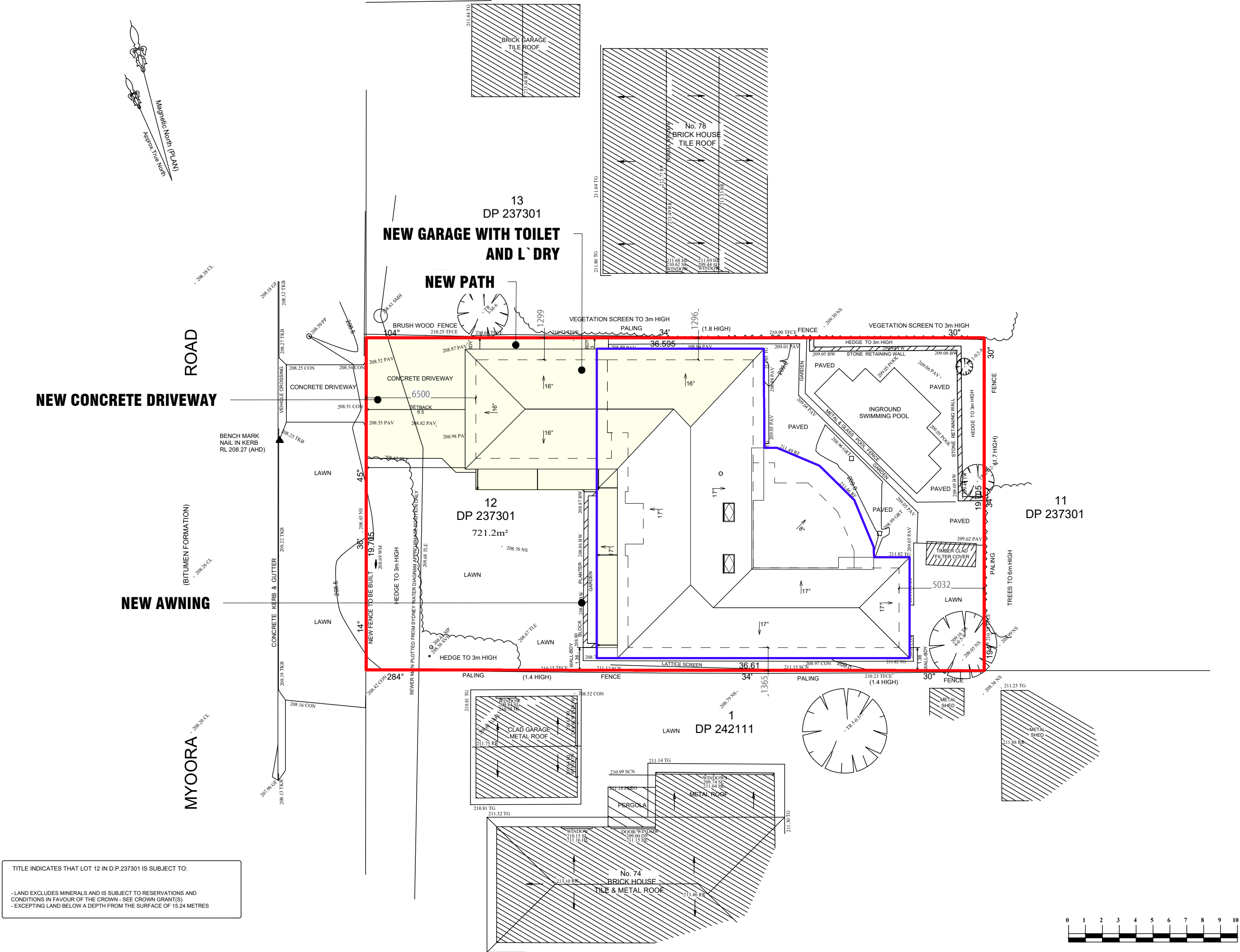


NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHERCODES:
ALL BUILDING WORK TO BE IN ACCORDANCE WITHNCC, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING,BUT NOT LIMITED TO :
- AS 1684 - RESIDENTIAL TIMBER FRAMEDCONSTRUCTION
- AS 2047:2014 - WINDOWS AND EXTERNAL GLAZEDDOORS IN BUILDINGS
- AS 2870:2011 - RESIDENTIAL SLABS ANDFOOTINGS
- AS/NZS 3000:2007 - WIRING RULES
- AS/NZS 3500.5:2000 - NATIONAL PLUMBING ANDDRAINAGE
- AS 3660.1:2014 - TERMITE MANAGEMENT
- AS 3700-2011 - MASONRY STRUCTURES
- AS 3740-2010 - WATERPROOFING OF DOMESTICWET AREAS
- AS/NZS 2918-2018 DOMESTIC SOLID FUELBURNING APPLIANCES
- AS 4100-1998 - STEEL STRUCTURES
- NORTHERN BEACHES COUNCIL DRIVEWAYSPECIFICATIONS
- SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS

GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
•CONNECT DPS TO EXISTING STORMWATER SYSTEM.
•ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
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SITE PLAN - PROPOSED
SCALE 1:200

- Brickwork shall comply with AS 3700.
All brickwork shall be solidly bonded and laid on a full bed of 10mm. mortar with all joints filled. Wall ties spaced at 460mm. cts horizontally and 610mm. cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.
- Subfloor ventilation:
 - 150mm. min. baffle to ground clearance for strip flooring.
 - 200mm. min. baffle to ground clearance for sheet flooring.
 - Minimum 7500mm²/Metre of external masonry veneer wall.
 - Minimum 22000mm²/Metre of internal dwarf walls.
 - Weep holes at max. 1200mm. centres to comply with AS 3700.
- Damp-proof courses to be an approved waterproof cement mortar or bituminous paper placed 75mm. below floor level.
A second course to be laid 1 or 2 brick courses higher.
- Firebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.
- Top soil and all organic matter to be removed from under where a concrete slab-on-ground is to be poured.
- Structural steel and concrete to comply with the Structural Engineer's design and computations and shall take precedence over instructions on this plan.
- Reinforced concrete to be min. 25MPa, complying with AS 2870 - 1996, (unless directed otherwise by Structural Engineer) and:
 - Trench mesh for concrete footings to be lapped a min. 500mm. and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.
 - Fabric mesh to be lapped a minimum of 225mm. and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.
- Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.
- Smoke detectors to comply with AS 3786 and must also comply with the BCA 3.7.2.
- Safety switches to be installed to the requirements of the local Controlling Authority.
- All glazing to comply with AS 1288-2006.
- From information provided, the design wind speed is N3 (41m/s).
- No part of any building to encroach Site or Title boundaries.
- Provide Bush fire preventative measures where required by local Council.
- Stair design:
 - Risers 190mm. Maximum
 - Treads 115mm. Minimum
 - 355mm. Maximum
 - 240mm. Minimum
 - Ensure gap between treads does not exceed 125mm. or provide infills to block access if larger.
 - Min. 2000mm. vertical head clearance when measured from the nosing of the tread.
 - Stair to be min. 750mm. wide when measured clear of all obstructions.
 - Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm. high above all landings, balconies and the like that exceed 1000mm. above the finished adjacent ground or floor level.
 - Ballusters and rails, etc., to have max. spacing of 125mm.
 - Wire balustrading to comply with Table 3.9.2.1 of the BCA.
- Figured dimensions shall always take precedence over scale.
- Termite prevention works must be in accordance with AS 3660.1 - 2000.
- For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron, stainless steel or cadmium coated.
- The Builder to take all measures necessary to ensure the stability of new and/or existing structures during construction and generally ensure the watertightness of all works during construction.
- These plans have been prepared for the exclusive use of the customer and only for the purpose expressly notified to the author. Any other person who uses or reproduces or copies, wholly or in part. Any infringement of the Copyright will result in legal action being taken against both the Owner and/or Builder.
- DO NOT SCALE OFF DRAWINGS.
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- These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise, are provided only as a guide.
No responsibility is accepted for their use.

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DESIGN BY OWNER.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO
COMPLY WITH AS 3786

SITE AREA =
721.2MSQ.
EXIST. GFA =
183.00MSQ. (HOUSE)
PROPOSED GFA =
40.00MSQ. (GARAGE)
TOTAL = 223.00 MSQ.



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Project Address and Alterations
Date 27-Sep-22
Scale AS SHOWN

Sheet 1

DP No. 237301
LOT No. 12

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

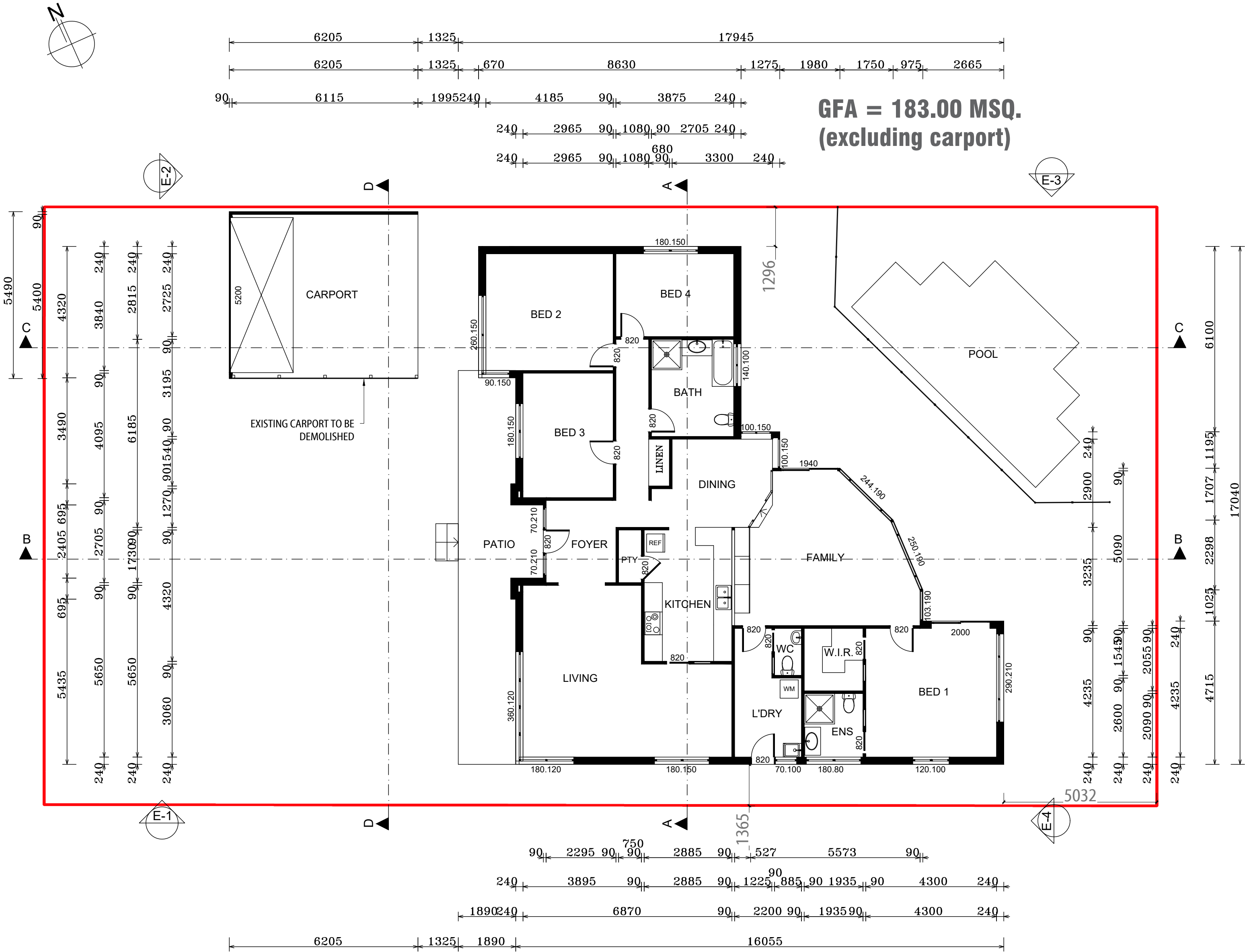
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5470 Sydney Rd
Balgahai 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

DEVELOPMENT PROPOSAL

NEW WORKS:

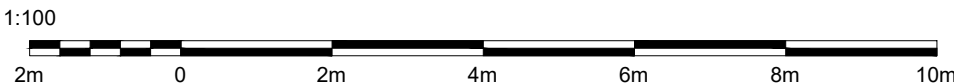
NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



FLOORPLAN - EXISTING
SCALE 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO
COMPLY WITH AS 3786

☆

SITE AREA =

EXIST. GFA =

183.00MSQ. (HOUSE)

PROPOSED GFA =

40.00MSQ. (GARAGE)
TOTAL = 223.00 MSQ.



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PURPOSES.

Project
ADDRESS AND
ALTERATIONS
Date
27-Sep-22
Scale
AS SHOWN

Sheet
2

DP No.

237301

LOT No.

12

A ISSUED FOR DA Sep. 27, 22

No. Revision/Issue Date

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02 87763474

Project Name and Address

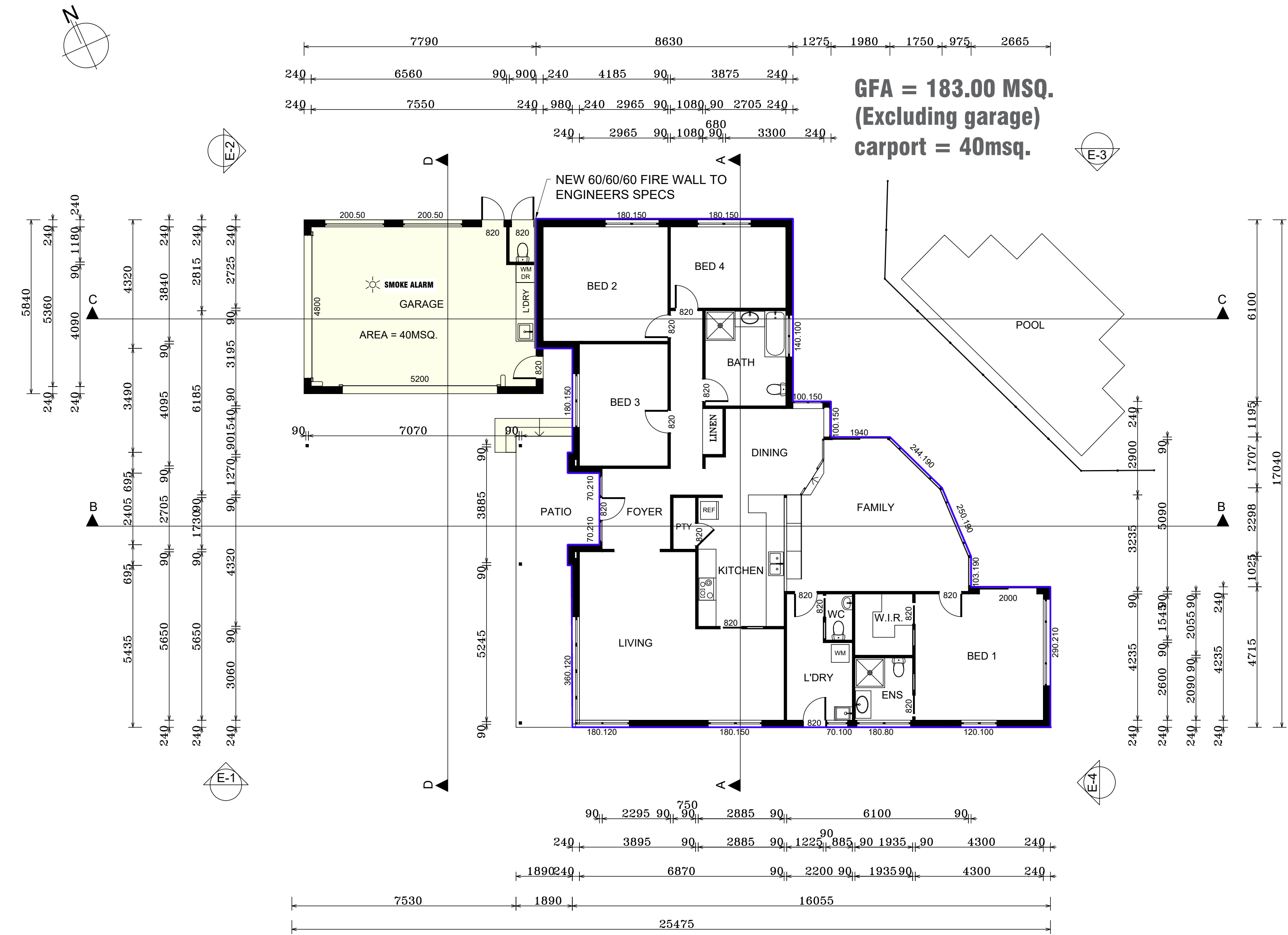
MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

DEVELOPMENT PROPOSAL

NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY

SMOKE ALARMS TO COMPLY WITH AS 3786

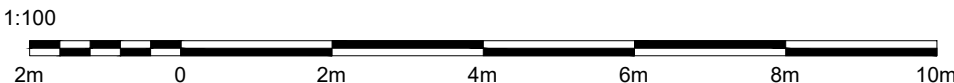


GFA = 183.00 MSQ.
(Excluding garage)
carport = 40msq.

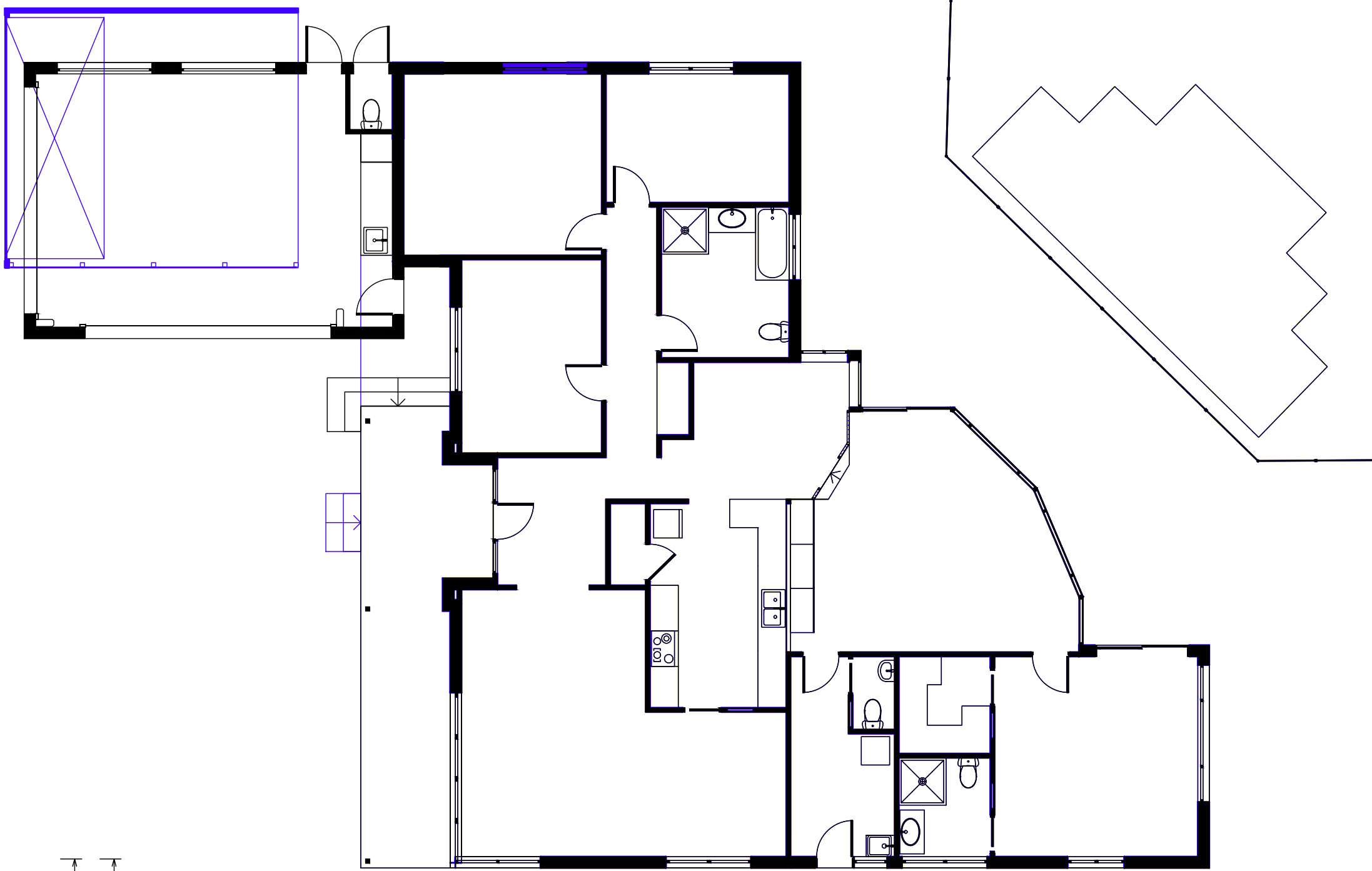
FLOORPLAN - PROPOSED
SCALE 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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DEMO PLAN - PROPOSED
SCALE 1:100

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO
COMPLY WITH AS 3786

SITE AREA =
721.2MSQ.
EXIST. GFA =
183.00MSQ. (HOUSE)
PROPOSED GFA =
40.00MSQ. (GARAGE)
TOTAL = 223.00 MSQ.



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PURPOSES.

Project
Address and
Alterations
Date
27-Sep-22
Scale
AS SHOWN

Sheet
3

DP No. 237301

LOT No. 12

A ISSUED FOR DA Sep. 27, 22

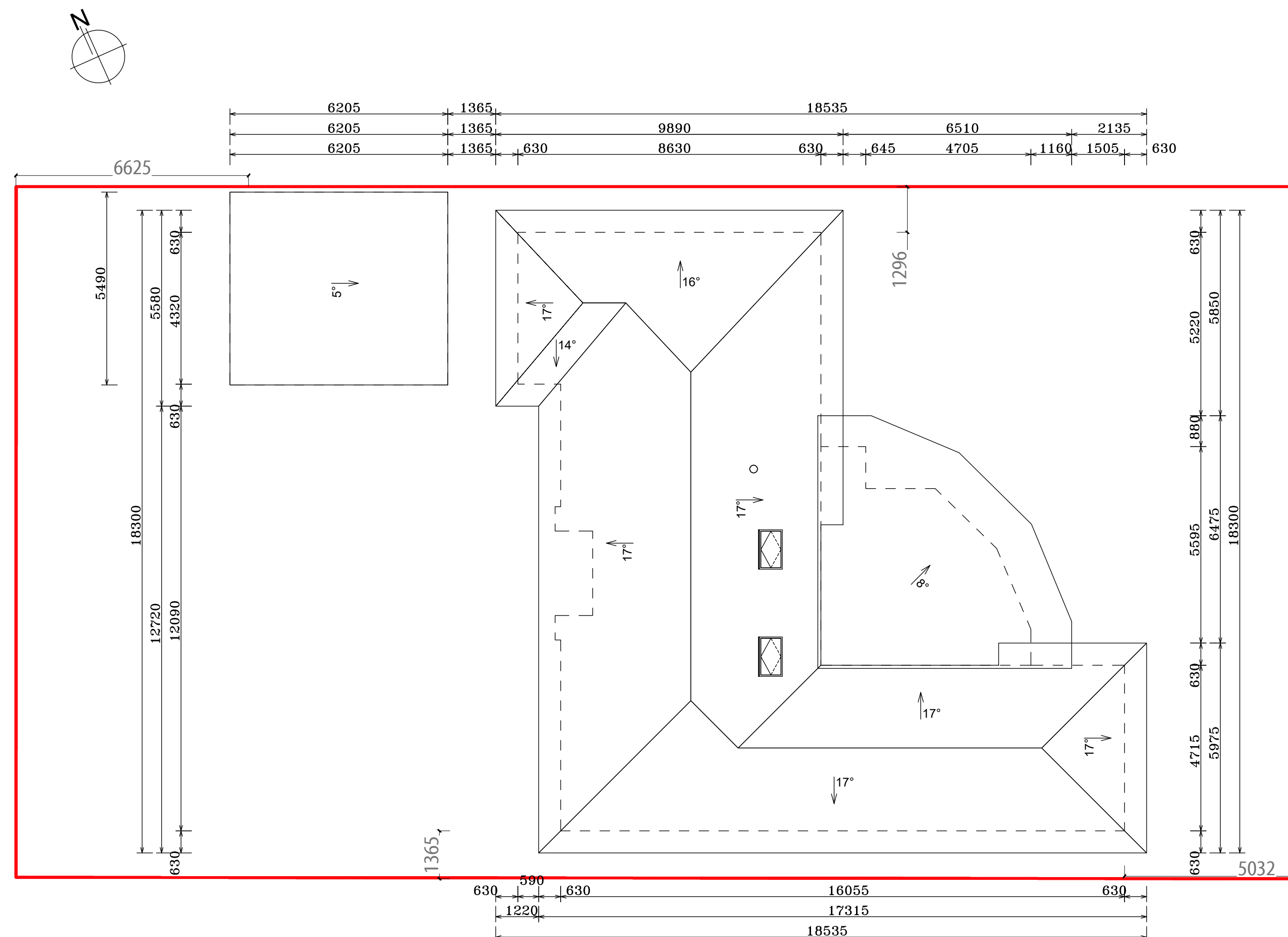
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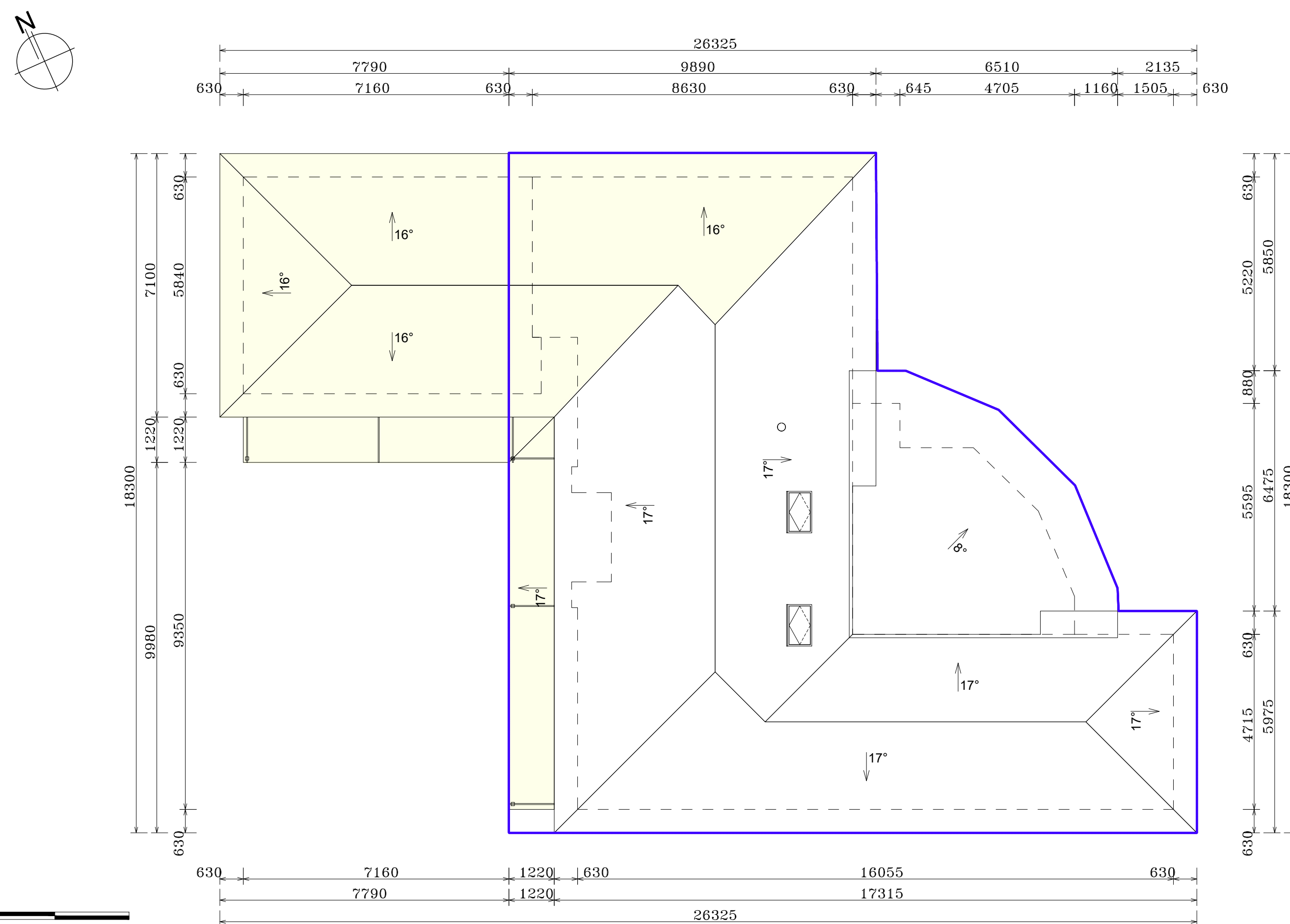
Project Name and Address
MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



ROOF PLAN - EXISTING

SCALE 1:100



ROOF PLAN - PROPOSED

SCALE 1:100

GENERAL NOTES

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- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

	PROPOSED WORK
1.	Identify the problem or opportunity for improvement.
2.	Analyze the current process or system.
3.	Generate potential solutions.
4.	Evaluate the feasibility and impact of each solution.
5.	Select the best solution and develop an implementation plan.
6.	Implement the chosen solution.
7.	Monitor and evaluate the results of the implementation.
8.	Adjust the process or system as needed based on feedback and results.
9.	Document the entire process and share findings with stakeholders.
10.	Reflect on the experience and learn from it for future projects.

General Notes

LEGEND:

EXISTING BUILDING OUTLINE

**SMOKE ALARMS TO
COMPLY WITH AS 3786**

**SITE AREA =
721.2MSQ.**

**EXIST. GFA =
183.00MSQ. (HOUSE)**

**PROPOSED GFA =
40.00MSQ. (GARAGE)**

TOTAL = 223.00 MSQ.



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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	4
Scale AS SHOWN	

DP No. 237301

LOT No. **12**

A	ISSUED FOR DA	Sep. 27, 2011
No.	Revision/Issue	Date

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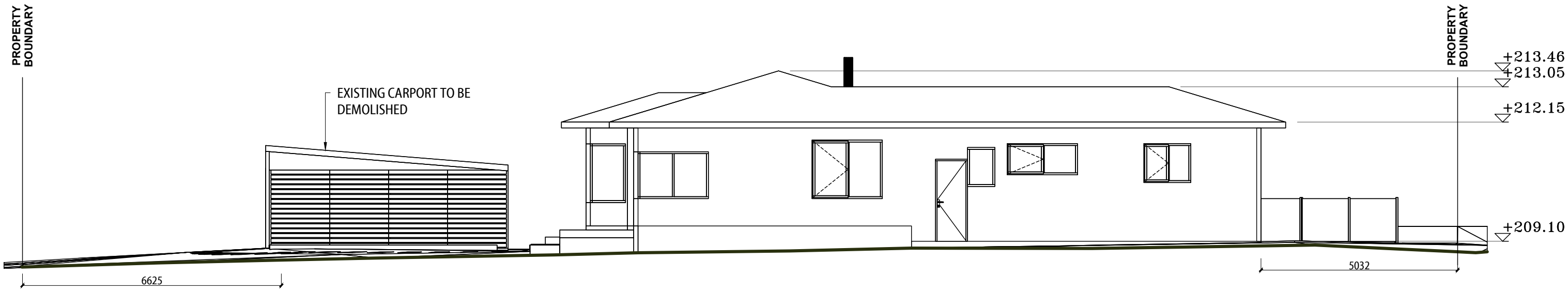
Project Name and Address

MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

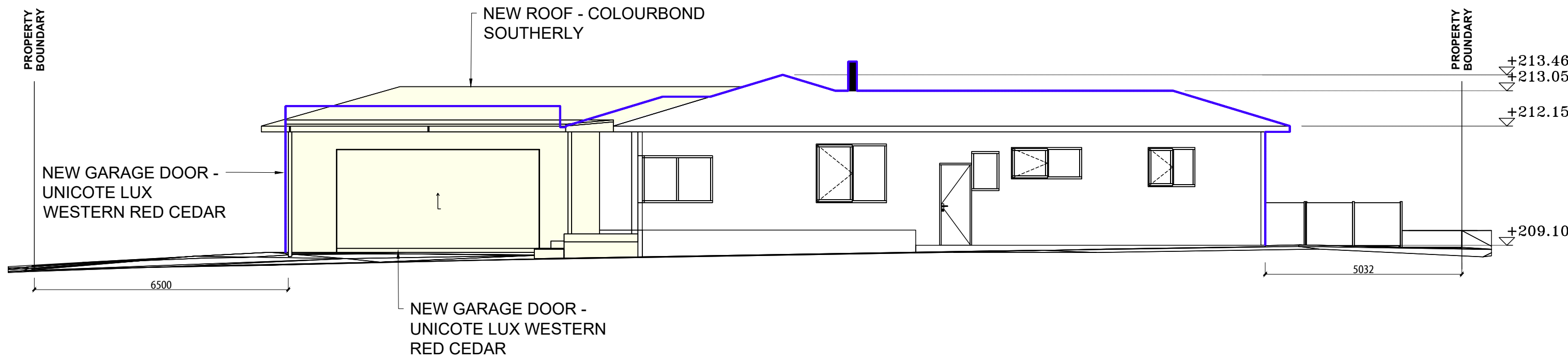
DEVELOPMENT PROPOSAL

NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



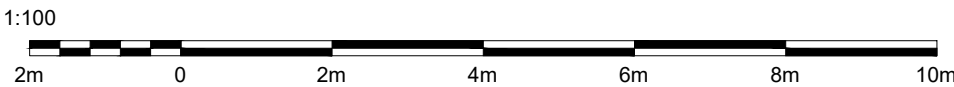
SOUTH ELEVATION - EXISTING
SCALE 1:100



SOUTH ELEVATION - PROPOSED
SCALE 1:100

GENERAL NOTES

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO
COMPLY WITH AS 3786
⚡⚡

SITE AREA =
721.2MSQ.

EXIST. GFA =
183.00MSQ. (HOUSE)

PROPOSED GFA =
40.00MSQ. (GARAGE)
TOTAL = 223.00 MSQ.

proudly
supporting

bear
cottage

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OWNER IS SUBJECT TO SURVEY CORRECTION. THIS
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PURPOSES.

Project
ADDRESS AND
ALTERATIONS

Date
27-Sep-22

Scale
AS SHOWN

Sheet
5

DP No.
237301

LOT No.
12

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

dhDRAFTING HELP

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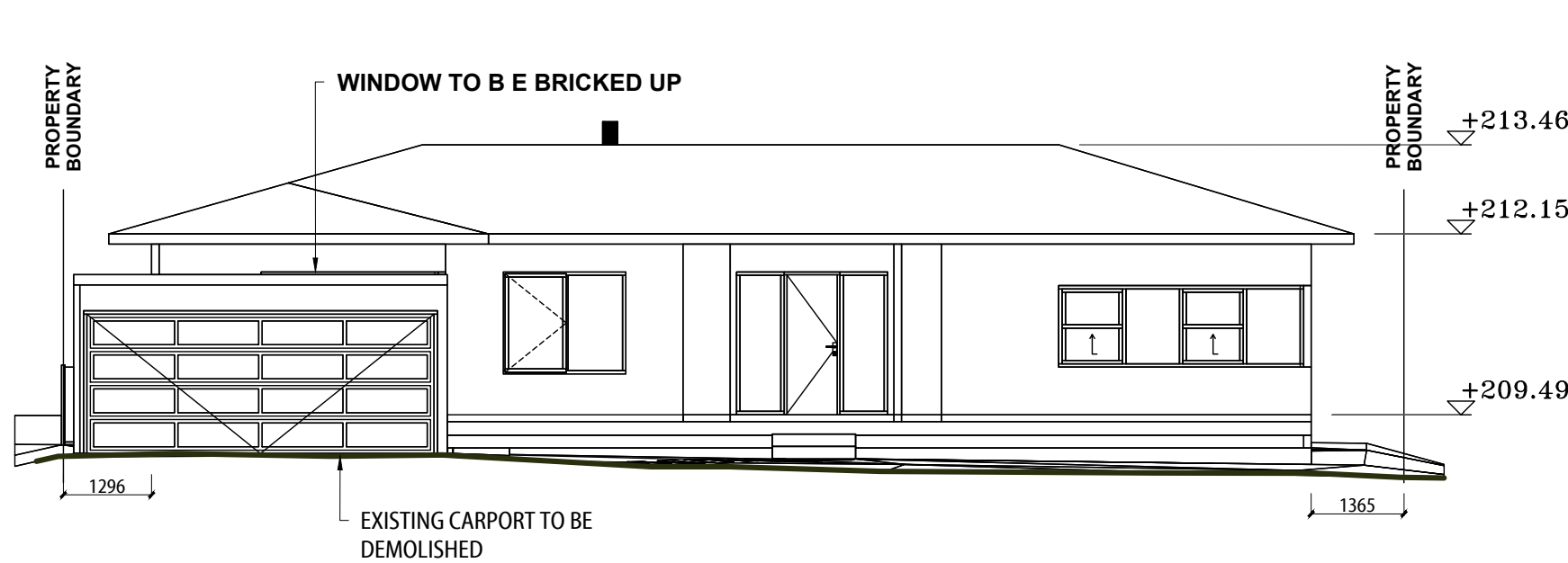
Project Name and Address

MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

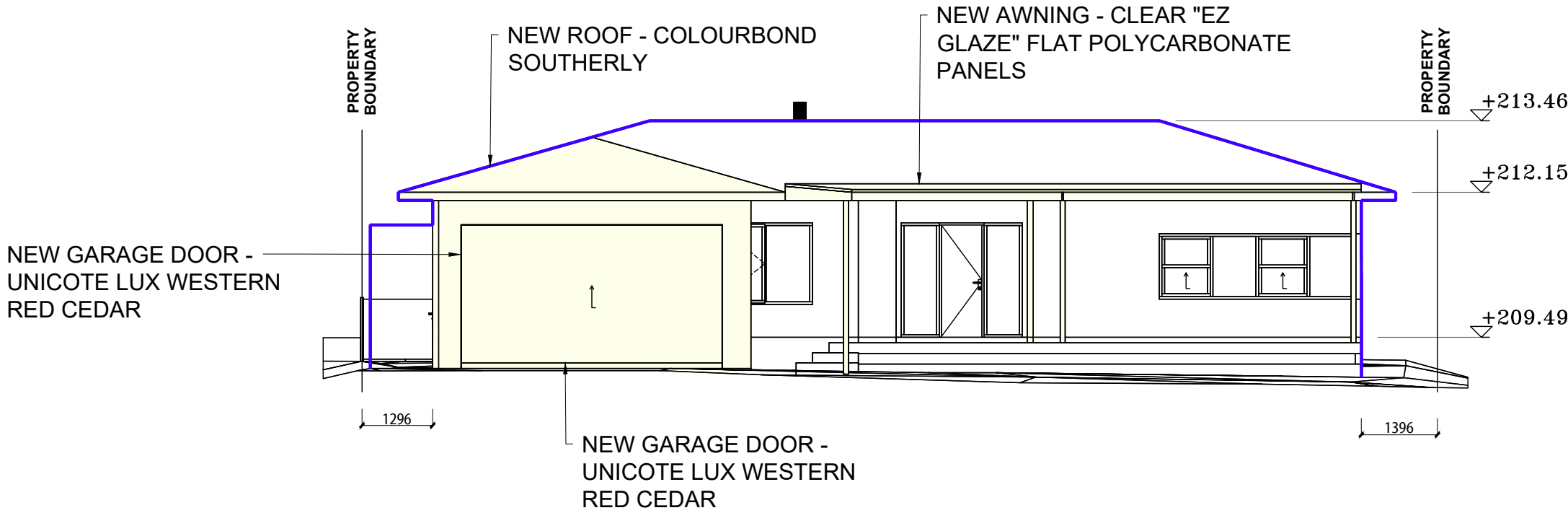
DEVELOPMENT PROPOSAL

NEW WORKS:

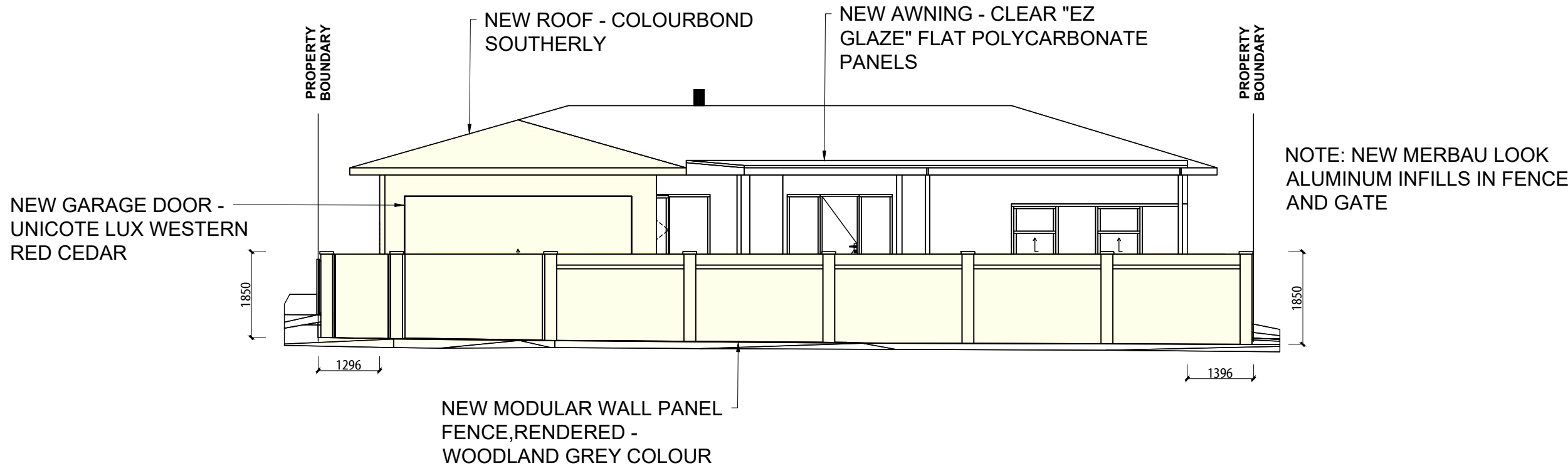
NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



WEST ELEVATION - EXISTING
SCALE 1:100



WEST ELEVATION - PROPOSED
SCALE 1:100



WEST ELEVATION - PROPOSED (FENCE SHOWN)
SCALE 1:100

GENERAL NOTES

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO
COMPLY WITH AS 3786



SITE AREA =

721.2MSQ.

EXIST. GFA =

183.00MSQ. (HOUSE)

PROPOSED GFA =

40.00MSQ. (GARAGE)

TOTAL = 223.00 MSQ.



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PURPOSES.

Project
Address and
Date
27-Sep-22
Scale
AS SHOWN

Sheet

6

DP No.

237301

LOT No.

12

A ISSUED FOR DA Sep. 27, 22

No. Revision/Issue Date

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02 87763474

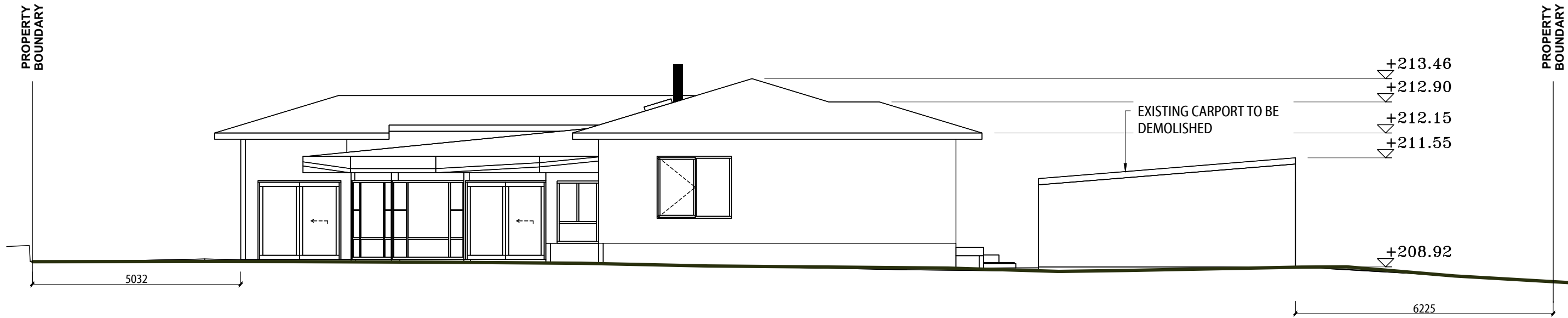
Project Name and Address

MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

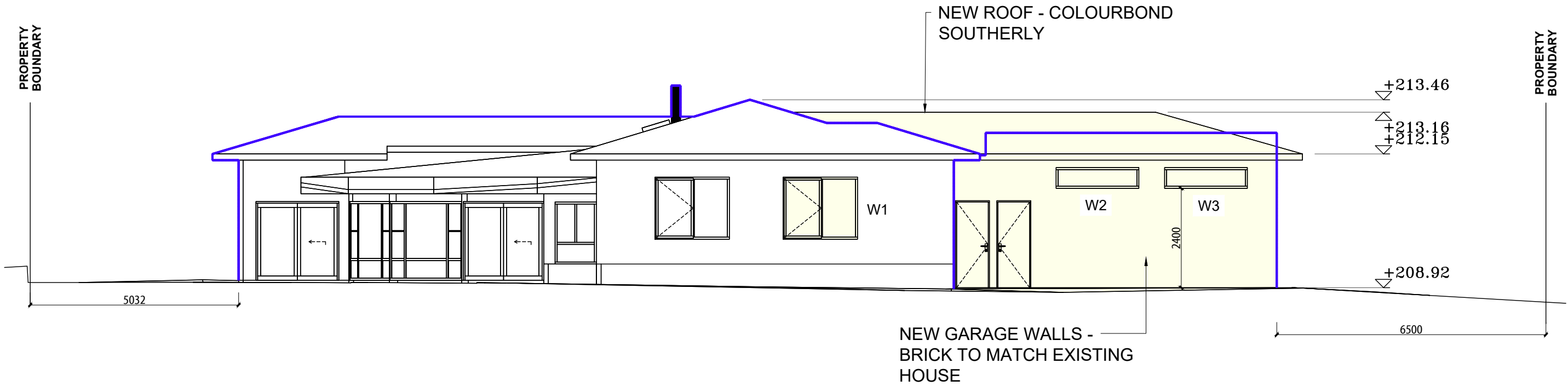
DEVELOPMENT PROPOSAL

NEW WORKS:

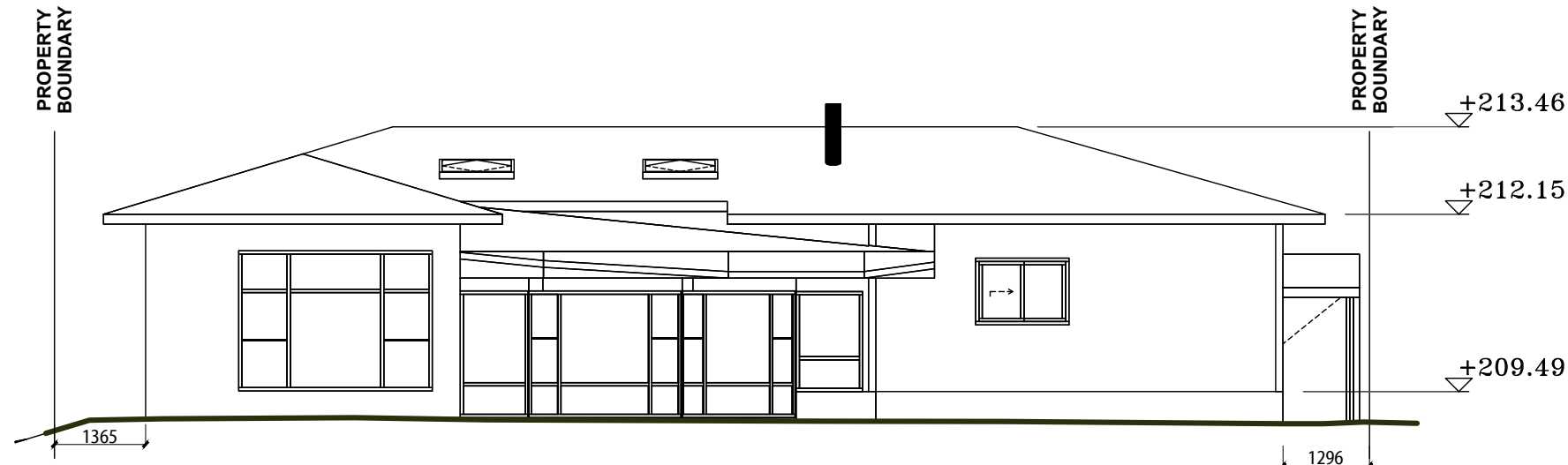
NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



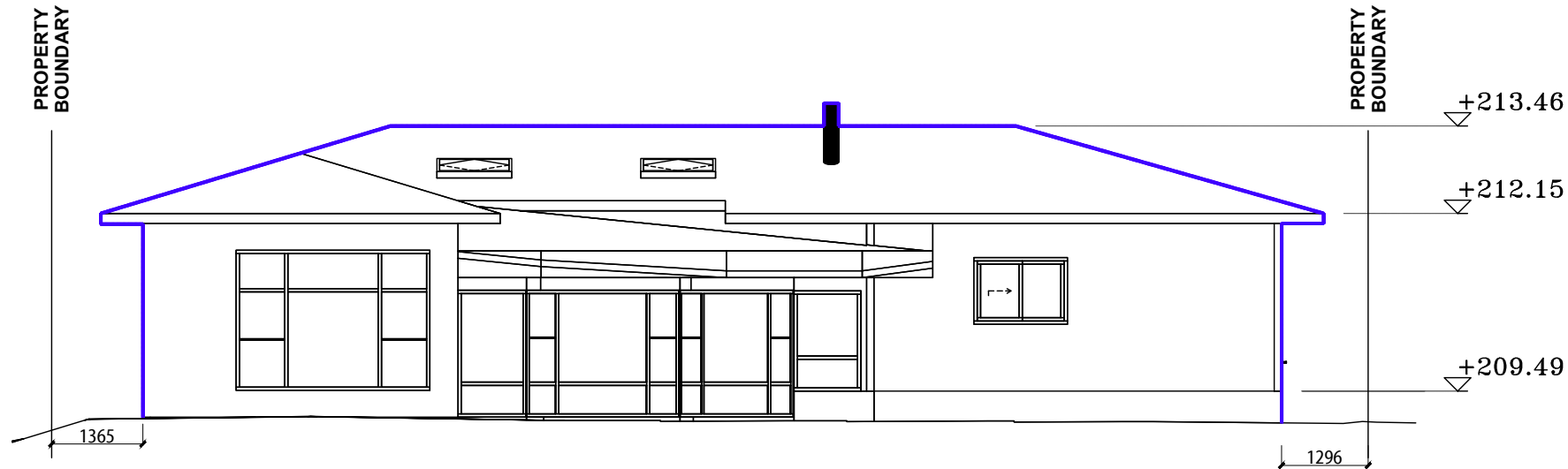
NORTH ELEVATION - EXISTING
SCALE 1:100



NORTH ELEVATION - PROPOSED
SCALE 1:100



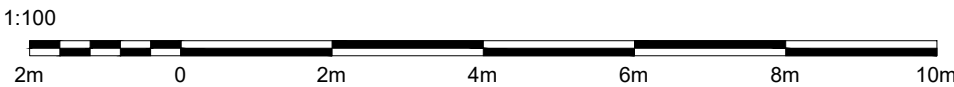
EAST ELEVATION - EXISTING
SCALE 1:100



EAST ELEVATION - PROPOSED
SCALE 1:100

GENERAL NOTES

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

LEGEND:

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SMOKE ALARMS TO
COMPLY WITH AS 3786



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Project
ADDRESS AND
ALTERATIONS
Date 27-Sep-22
Scale AS SHOWN

Sheet

7

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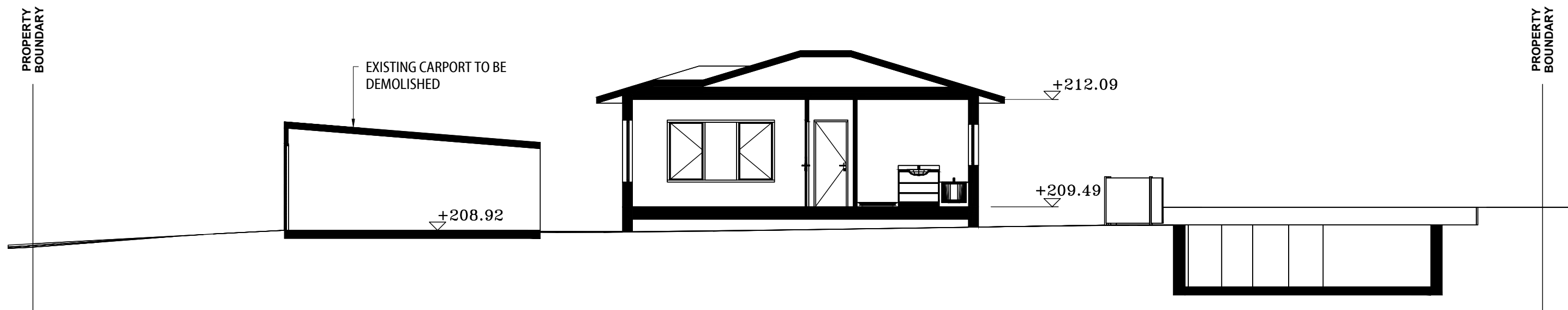
Project Name and Address

MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

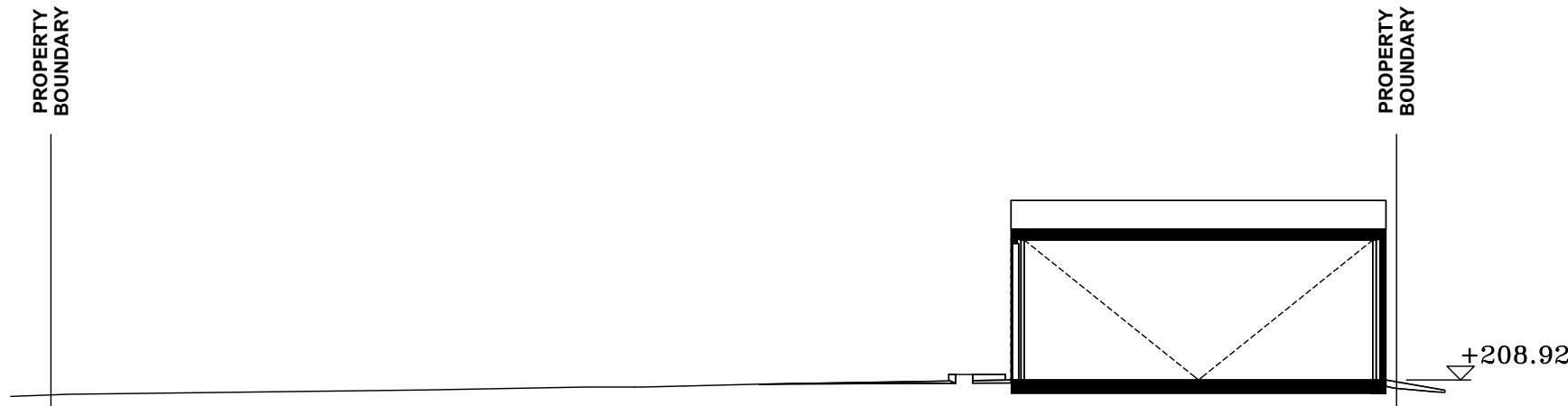
DEVELOPMENT PROPOSAL

NEW WORKS:

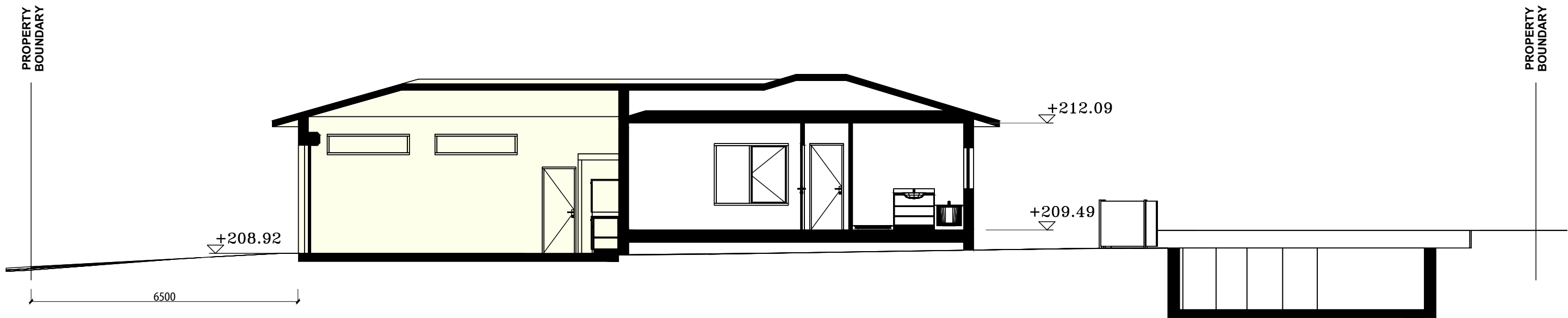
NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



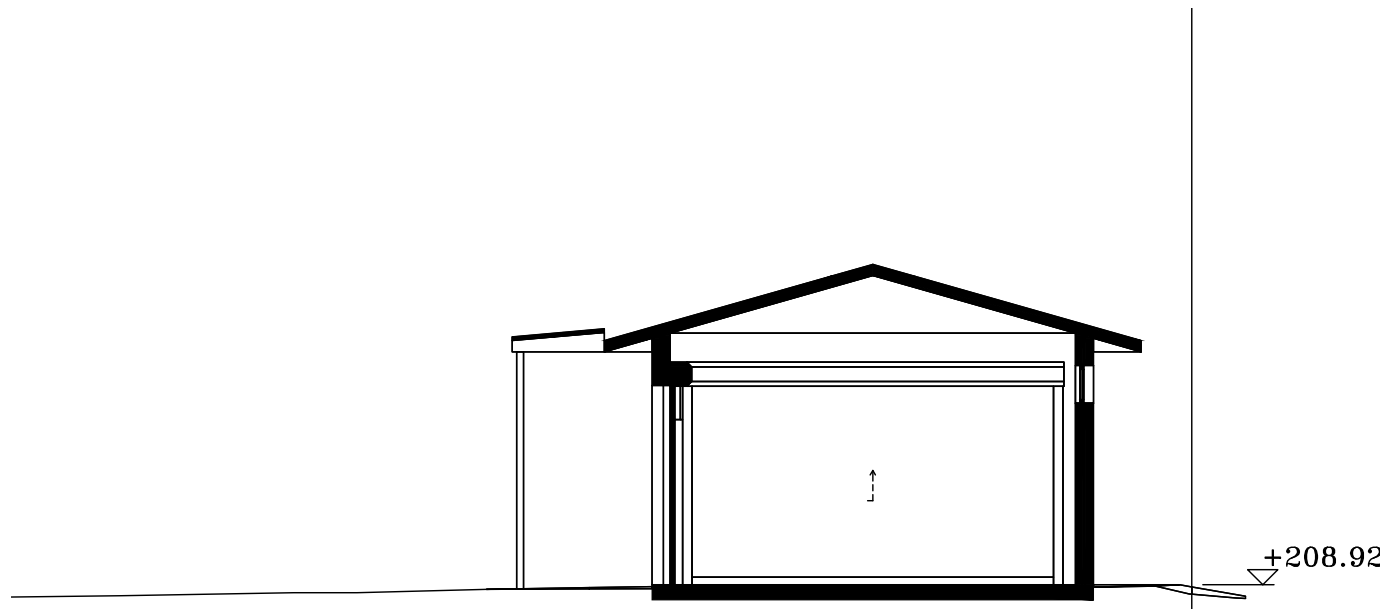
SECTION B - EXISTING
SCALE 1:100



SECTION D - EXISTING
SCALE 1:100



SECTION B - PROPOSED
SCALE 1:100



SECTION D - PROPOSED
SCALE 1:100

- GENERAL NOTES
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PURPOSES.

Project ADDRESS AND ALTERATIONS	Sheet
Date 27-Sep-22	8
Scale AS SHOWN	

DP No.

237301

LOT No.

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A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date



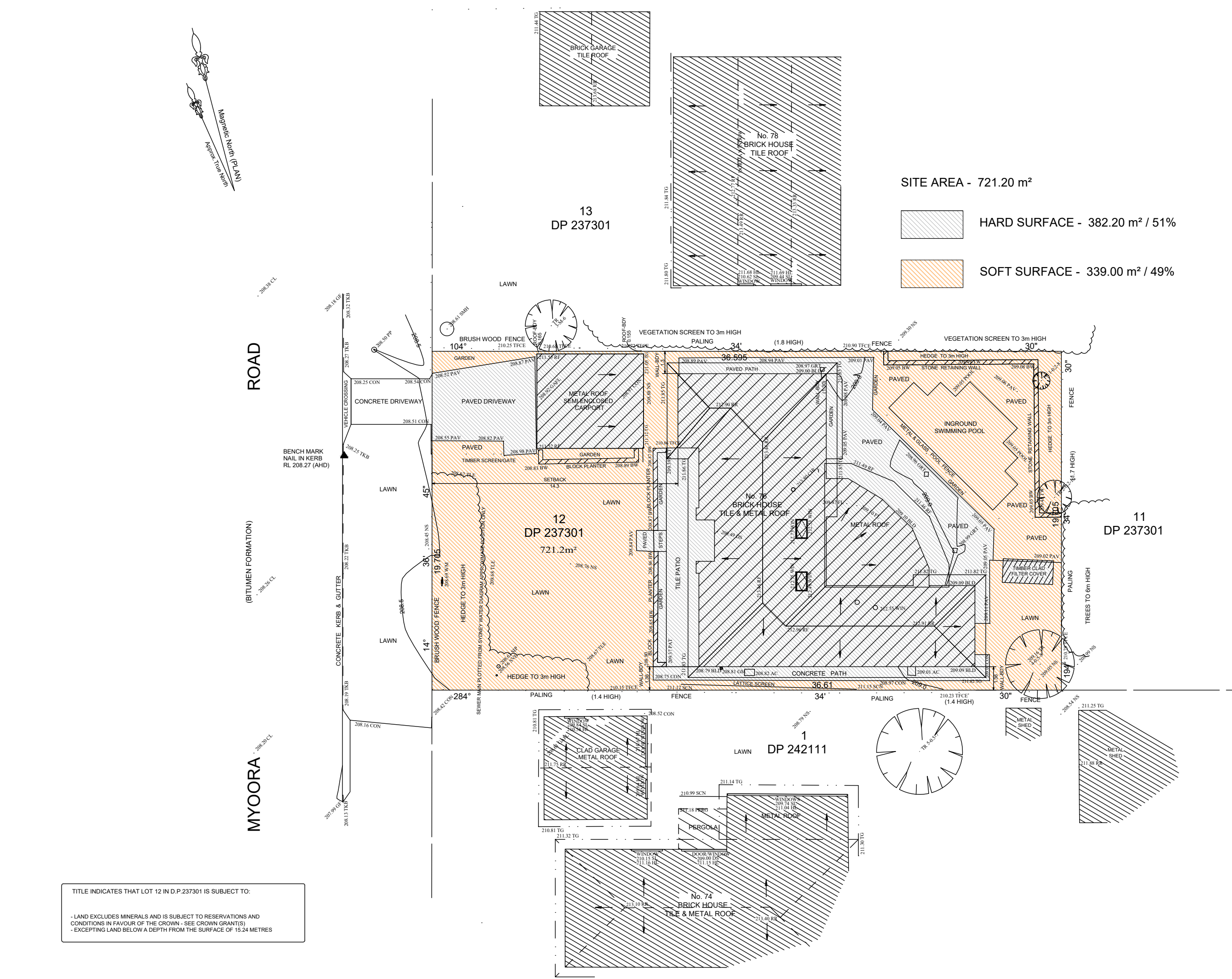
Project Name and Address

MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

DEVELOPMENT PROPOSAL

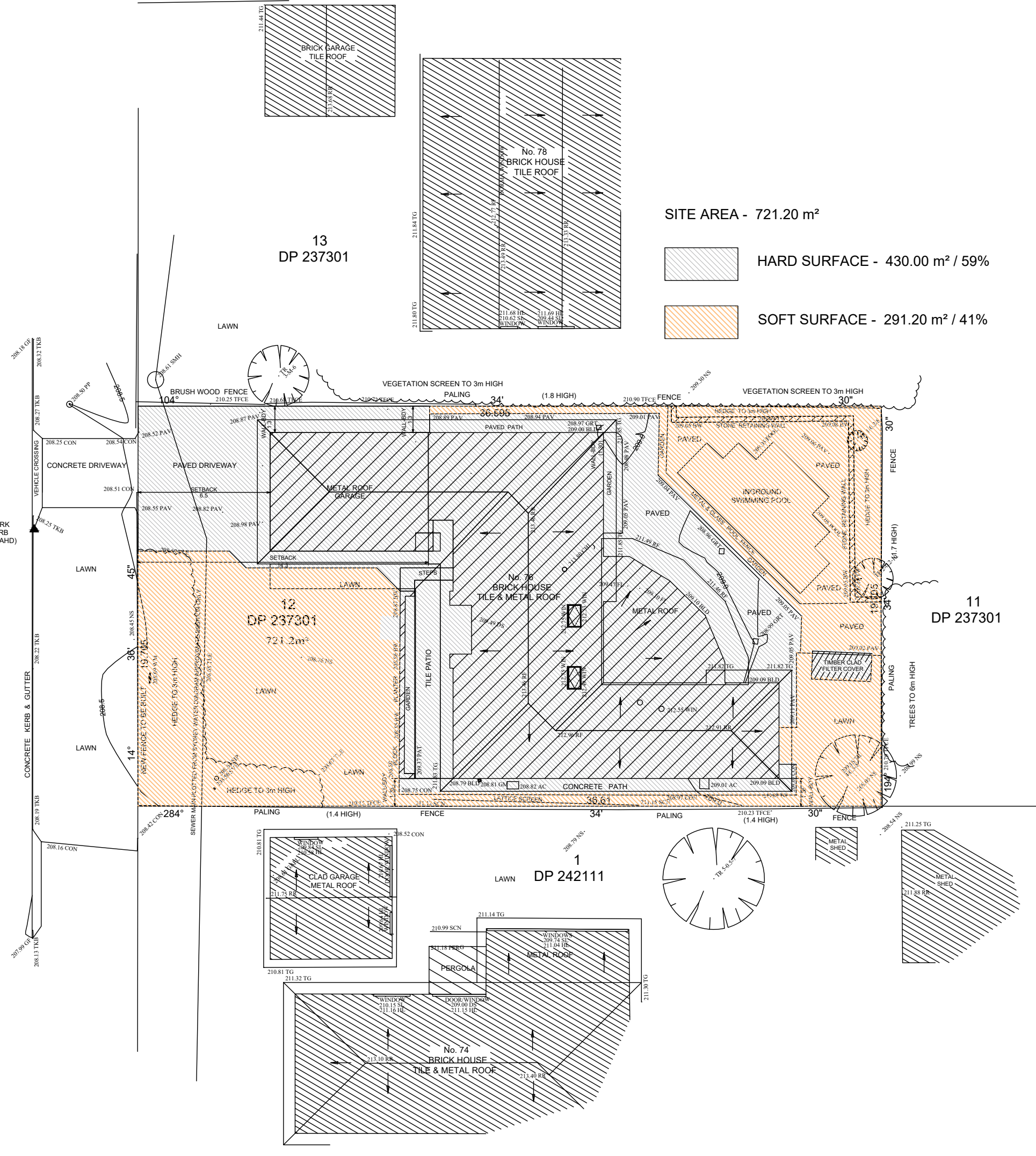
NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



LANDUSE DIAGRAM - EXISTING

SCALE 1:200



LANDUSE DIAGRAM - PROPOSED

SCALE 1:200

- GENERAL NOTES**
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ARCHITECTURAL DRAFTING
3D VISUALISATION
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ASSISTANCE
COUNCIL COMPLIANT PLANS

PROPOSED WORK

General Notes

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SMOKE ALARMS TO
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TOTAL = 223.00 MSQ.

proudly
supporting
bear
cottage
AUSTRALIAN BUILT HOMES

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Project
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Date
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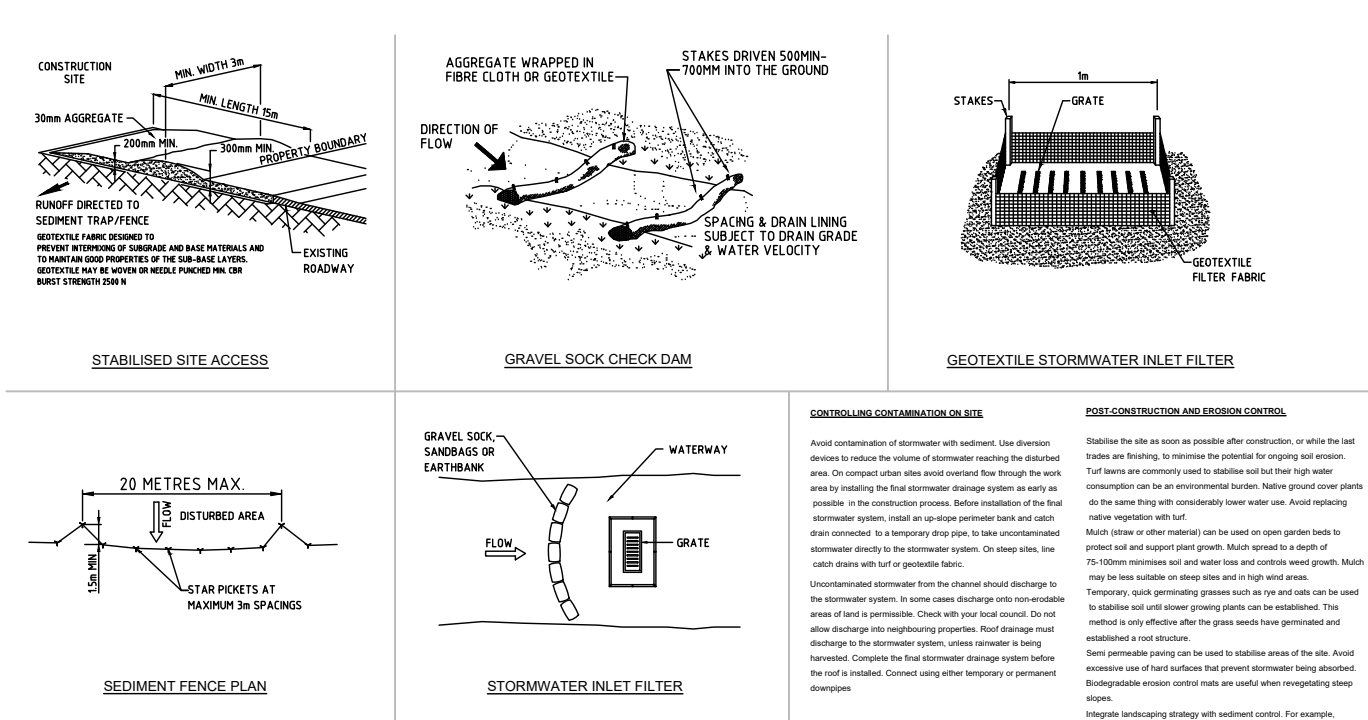
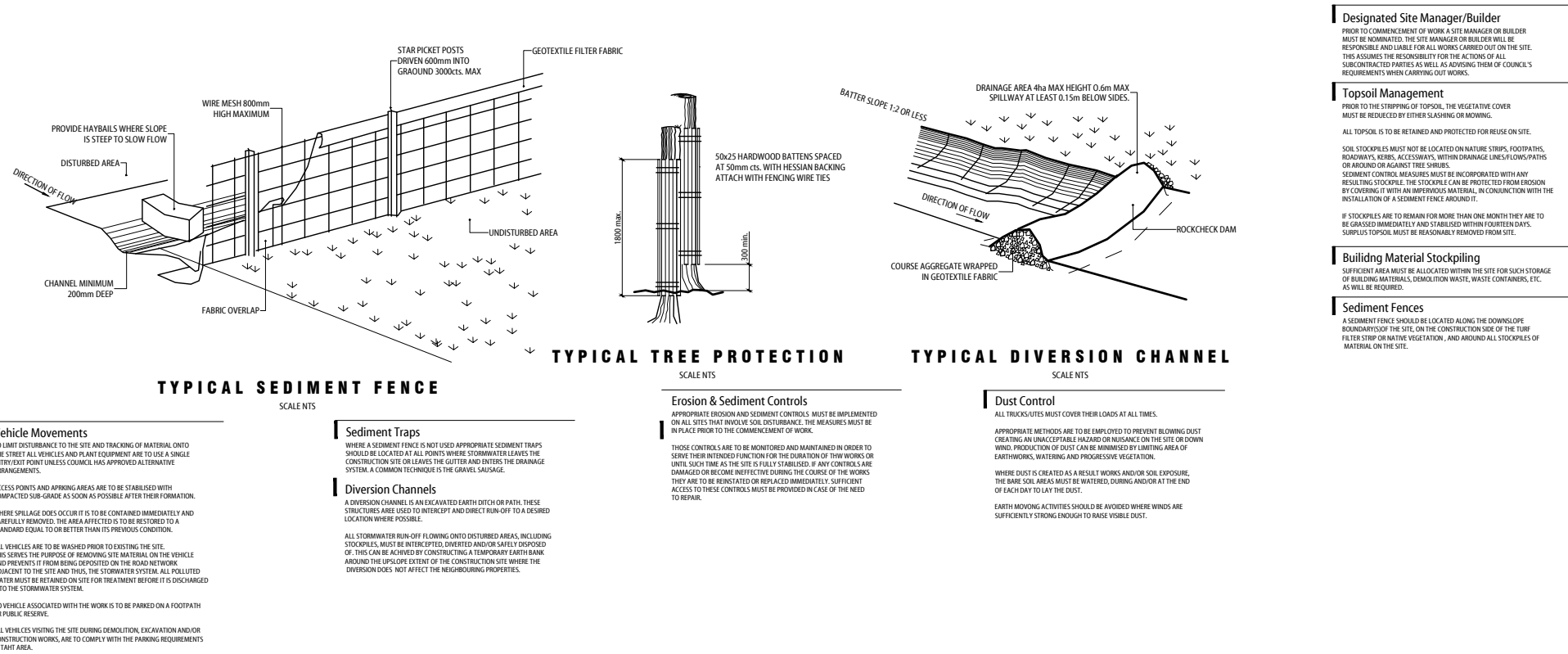
Project Name and Address

MATTHEW MACHADO
76 MYOORA RD
TERRY HILLS
2084

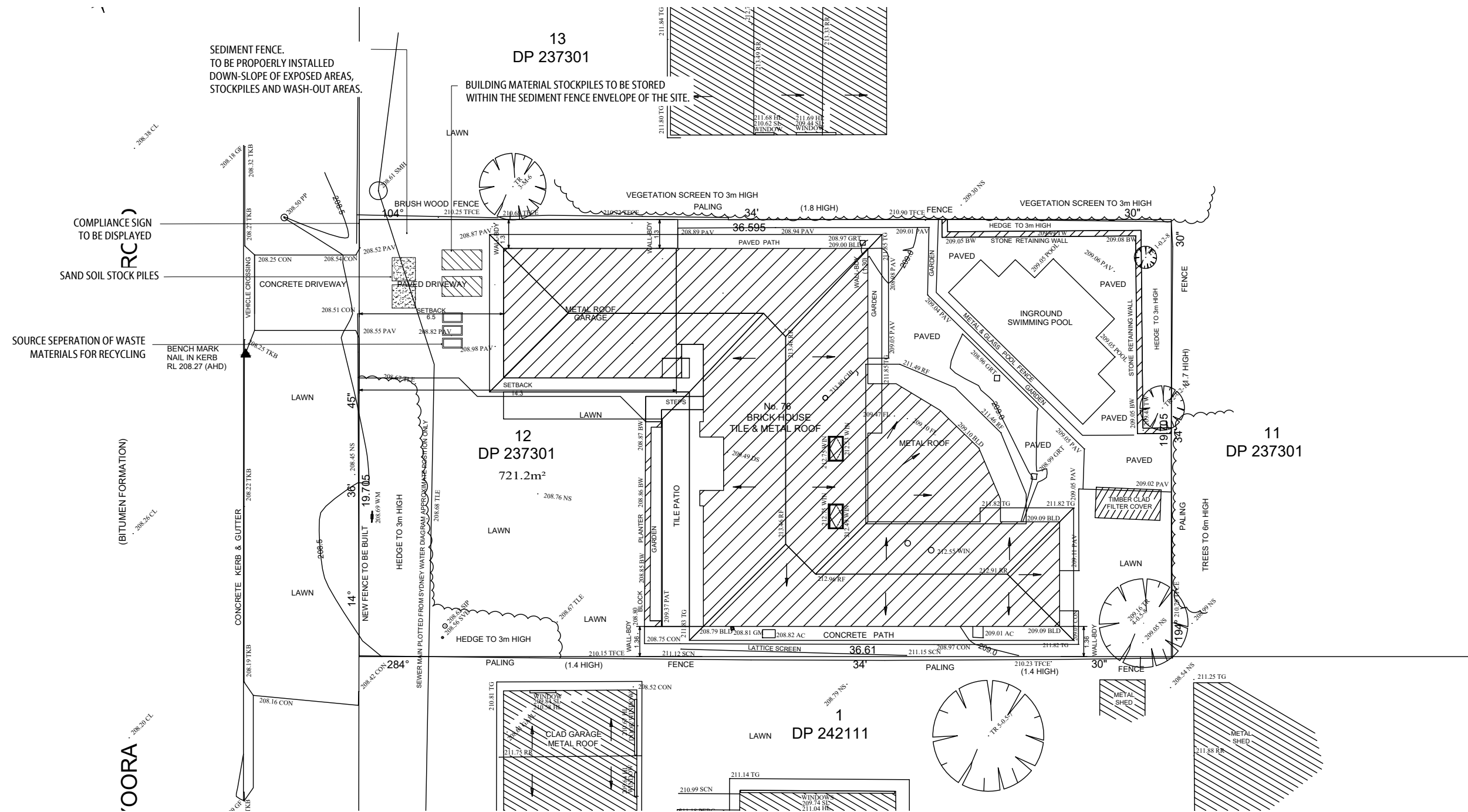
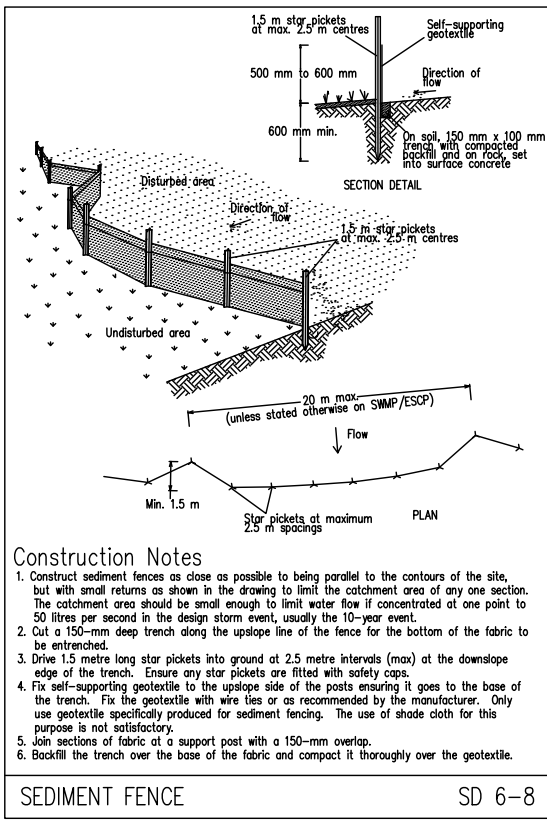
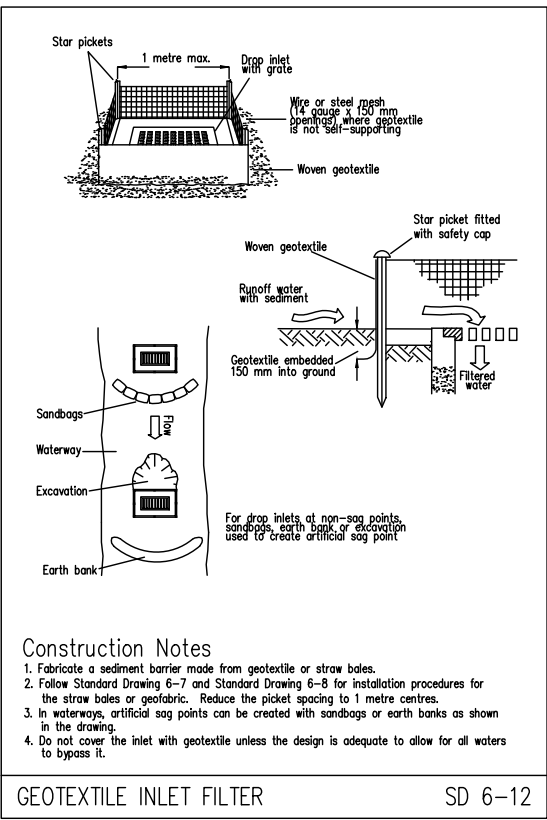
DEVELOPMENT PROPOSAL

NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS



SEDIMENT & EROSION PLAN SCALE 1:200

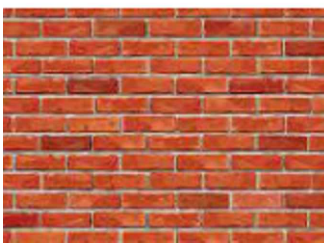
SCHEDULE OF MATERIALS AND FINISHES

GARAGE ROOF



COLOURBOND - SOUTHERLY

GARAGE WALLS



BRICK TO MATCH EXISTING

GARAGE DOOR



(UNICOTE METAL TEXTURED) TO LOOK LIKE WESTERN RED CEDAR

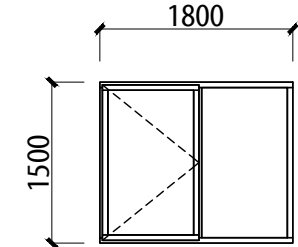
AWNING



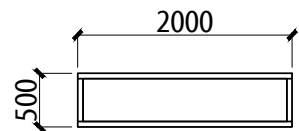
Clear "EZ GLAZE" FLAT POLYCARBONATE PANELS

NEW WINDOWS AND DOORS FOR BASIX

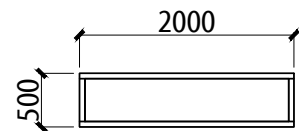
NORTH ELEVATION



W1 AREA = 2.7MSQ.



W2 AREA = 1.0MSQ.

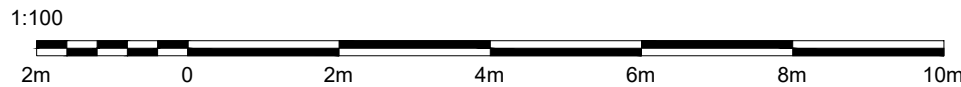


W3 AREA = 1.0MSQ.

NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

GENERAL NOTES: BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS. ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS. CONNECT OPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS.

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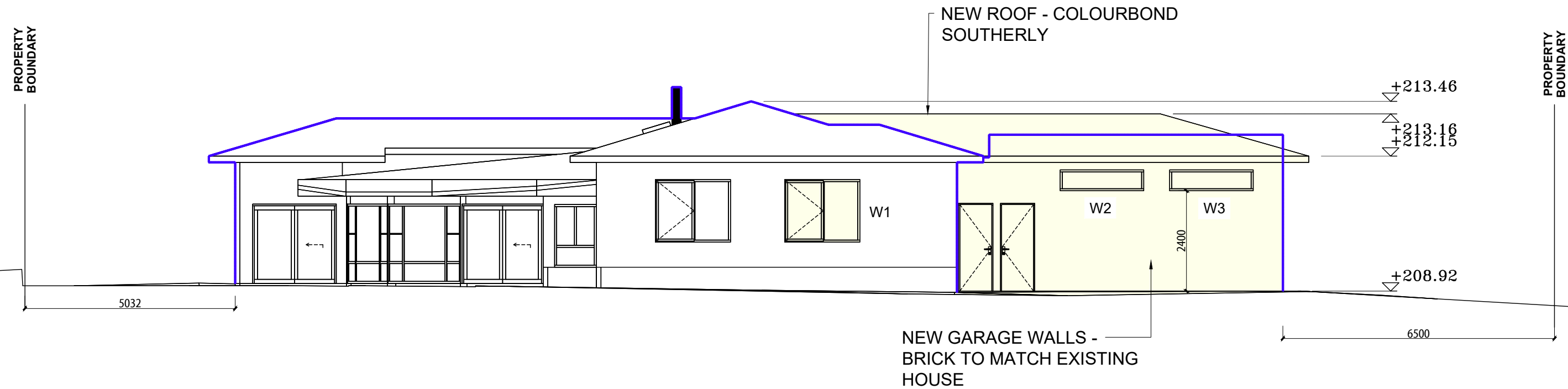
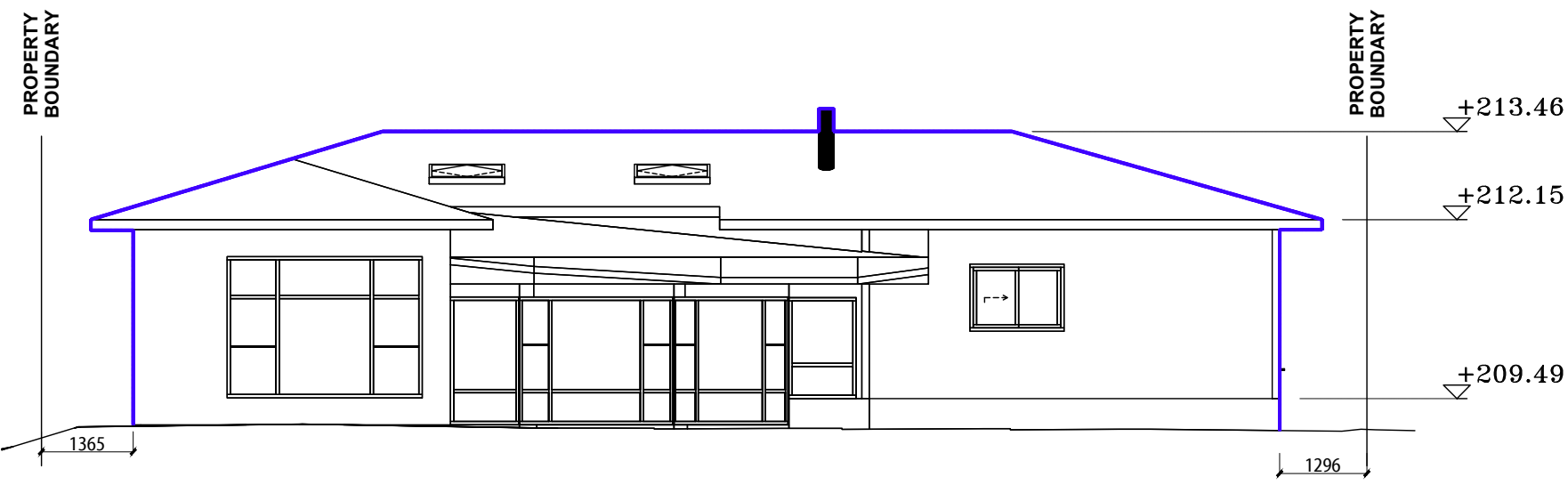
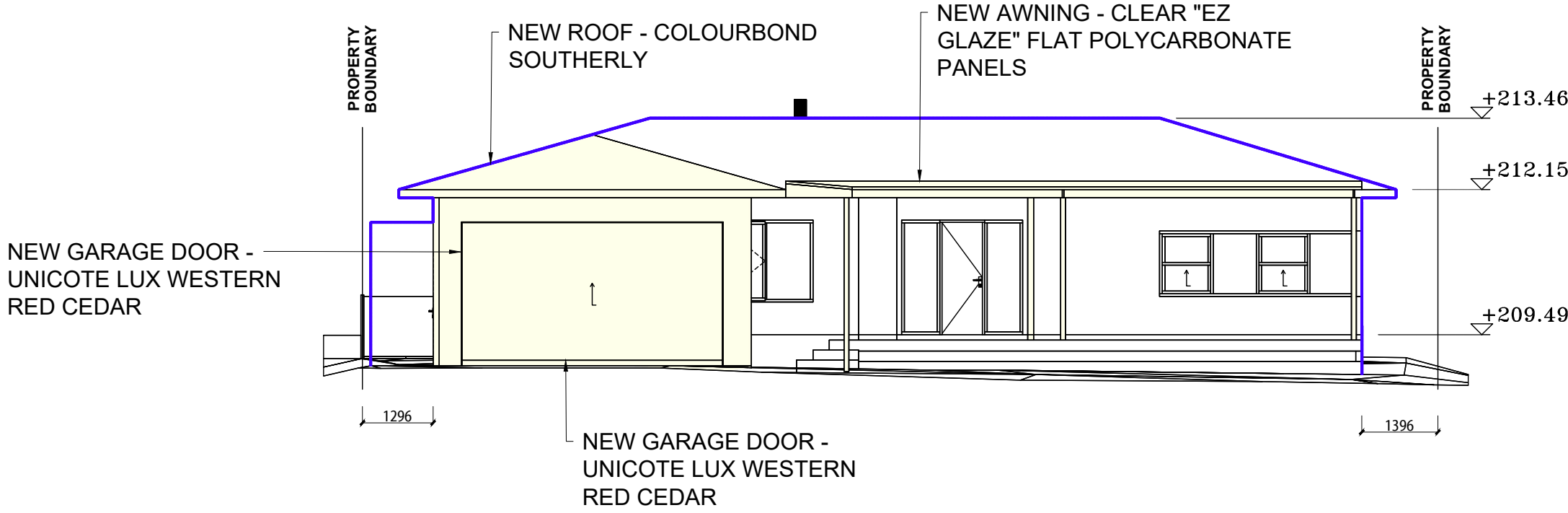
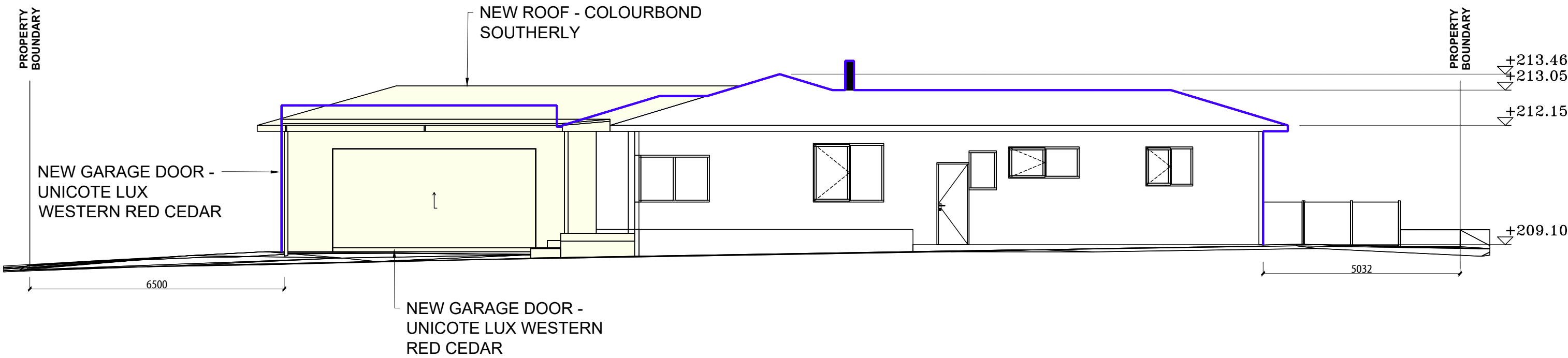
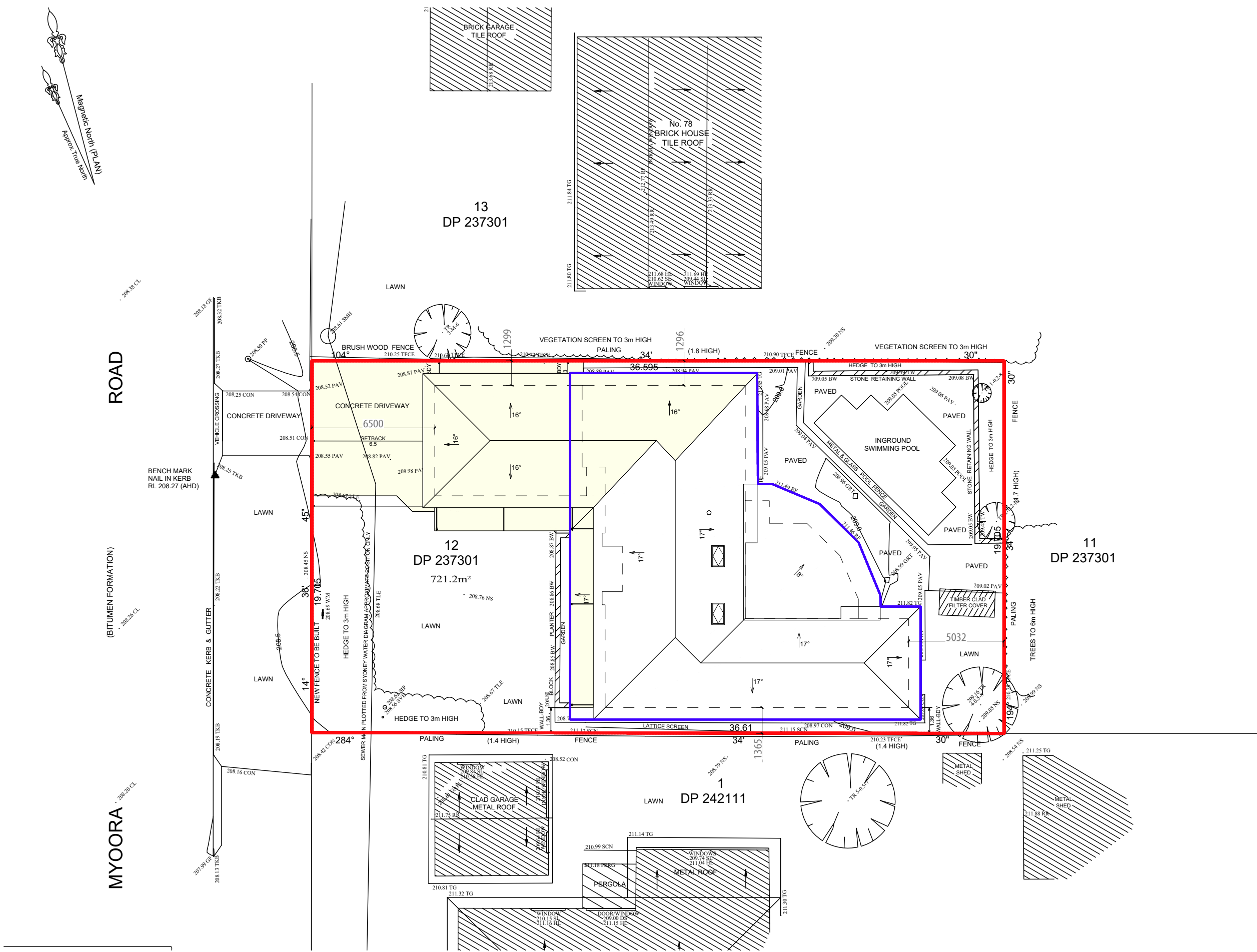
Architectural Drafting 3D Visualisation Development Application Assistance Council Compliant Plans. Includes project details: DP 237301, Lot 12, and contact information for Drafting Help.

DEVELOPMENT PROPOSAL

NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY

NOTIFICATION PLAN



GENERAL NOTES

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proudly supporting
bear cottage

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Date	27-Sep-22
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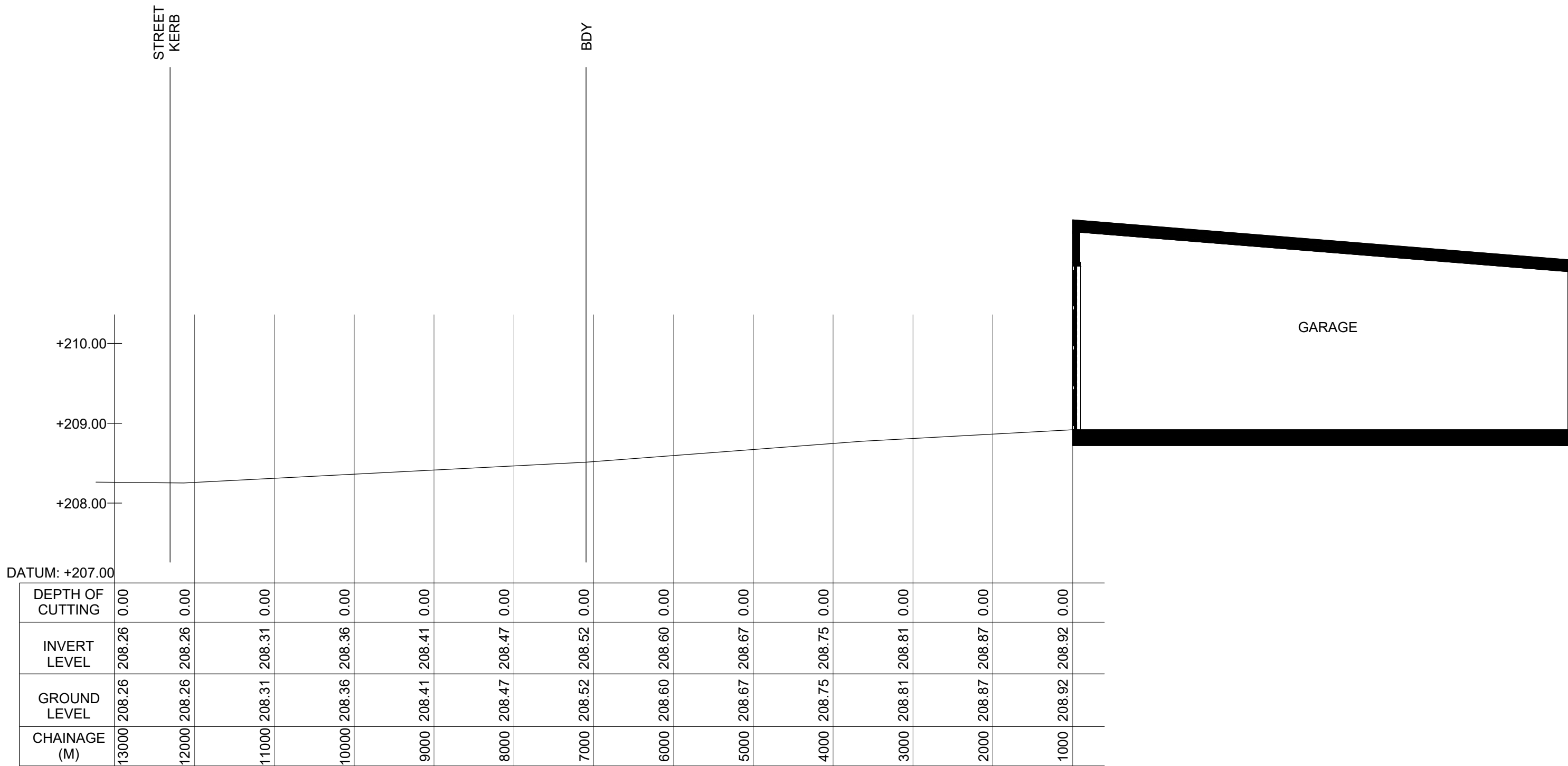
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TERRY HILLS
2084

DEVELOPMENT PROPOSAL

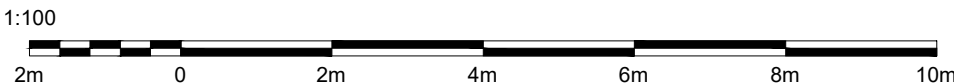
NEW WORKS:

NEW AWNING, DRIVEWAY WIDENED, NEW GARAGE AT FRONT OF PROPERTY



DRIVEWAY LONG SECTION
SCALE 1:50

- GENERAL NOTES
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Project ADDRESS AND ALTERATIONS	Sheet
Date 27-Sep-22	12
Scale AS SHOWN	

DP No. 237301

LOT No. 12

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