



**LOT 14, H/No. 3
CASTLE CIRCUIT
SEAFORTH**

KAREELA, 'LUXE + GOLD' INCLUSIONS
METRO FACADE
DOUBLE GARAGE

This is the plan/spec. referred to in
Fitzgerald Certifiers Certificate
Cert. No.: CP 2010/134
11-3-10
Paul Fitzgerald Accreditation No. BPB 0119

<u>SHEET:</u>	<u>DRAWING TITLE:</u>
1	COVER SHEET
2	SITE PLAN
3	GROUND FLOOR PLAN
4	FIRST FLOOR PLAN
5	ELEVATIONS 1
6	ELEVATIONS 2
7	SECTIONS
8	ELECTRICAL PLANS
9	CONCRETE SLAB PLAN
10	KITCHEN DETAILS
11-15	CONSTRUCTION DETAILS
16	CONSTRUCTION MANAGEMENT PLAN
17	BASIS

[illegible]

PRE CONSTRUCTION PLANS

SIGNATURE:

DRAWN BY: S.C.	DATE DRAWN: 26.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: N/A	
JOB No: J001139		DRWG No.: 1/17	ISSUE: REV D

UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No.33493C



SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

MODEL:	KAREELA
FACADE:	METRO
TYPE:	DOUBLE GARAGE
SPECIFICATION:	LUXE + GOLD

DRAWING TITLE:
COVER SHEET

COMPLYING DEVELOPMENT SITE CALCULATIONS (TYPE B LOT)

SITE AREA - 600.6 SQM

SITE COVERAGE

50% MAX ALLOWED OR 300.3 SQM
PROVIDED
TOTAL SITE COVER = 220.78 SQM
PERCENTAGE SITE COVER = 36.8%

MAX FLOOR AREA

MAXIMUM ALLOWED 360 SQM
PROVIDED
GROUND FLOOR = 145.72 SQM
FIRST FLOOR = 141.99 SQM
GARAGE = 32.94 SQM
PORCH/PATIO = 6.40 SQM
BALCONY = 8.45 SQM
TOTAL FLOOR AREA = 360.32 SQM
(LESS 7.38 SQM FOR VOIDS)
LANDSCAPE AREA

MINIMUM REQUIRED 25% OR 150.15 SQM
PROVIDED
232.67 SQM TO REAR YARD OR 38.7%
PRINCIPAL PRIVATE OPEN SPACE

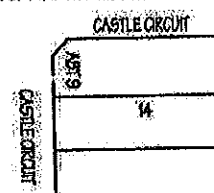
MINIMUM REQUIRED 24 SQM
PROVIDED
32.12 SQM TO ALFRESCO

NEW CONCRETE CROSSOVER
LAYBACK & DRIVEWAY BY OTHERS
TO BE CONSTRUCTED TO COUNCIL
SPECIFICATIONS

BM 15
NAIL IN KERB
RL 81.34
(AHD)

LOCATION PLAN

UBD REF: 198.06



LEGEND

K.O. DENOTES KERB OUTLET
W.C.G.C. DENOTES SERVICE CONDUIT
S.V. DENOTES STOP VALVE
HYD. DENOTES HYDRANT

NOTE: CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT
LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE
TOPOGRAPHY ONLY.

DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN
DETERMINED BY LAND AND PROPERTY INFORMATION PLANS
ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.

SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY
FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT
AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT
POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.

DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

NOTES

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED
TO BE ACCURATE. HOWEVER INFORMATION WRITTEN INTO
INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

*ALL DIMENSIONS ARE IN MILLIMETRES
*DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No. 33493C



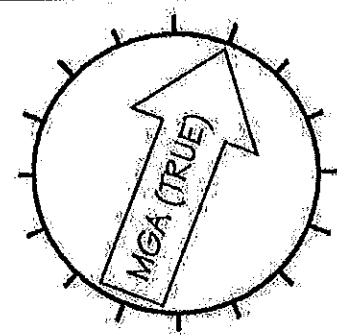
CLIENT:
MRS WHITE

SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

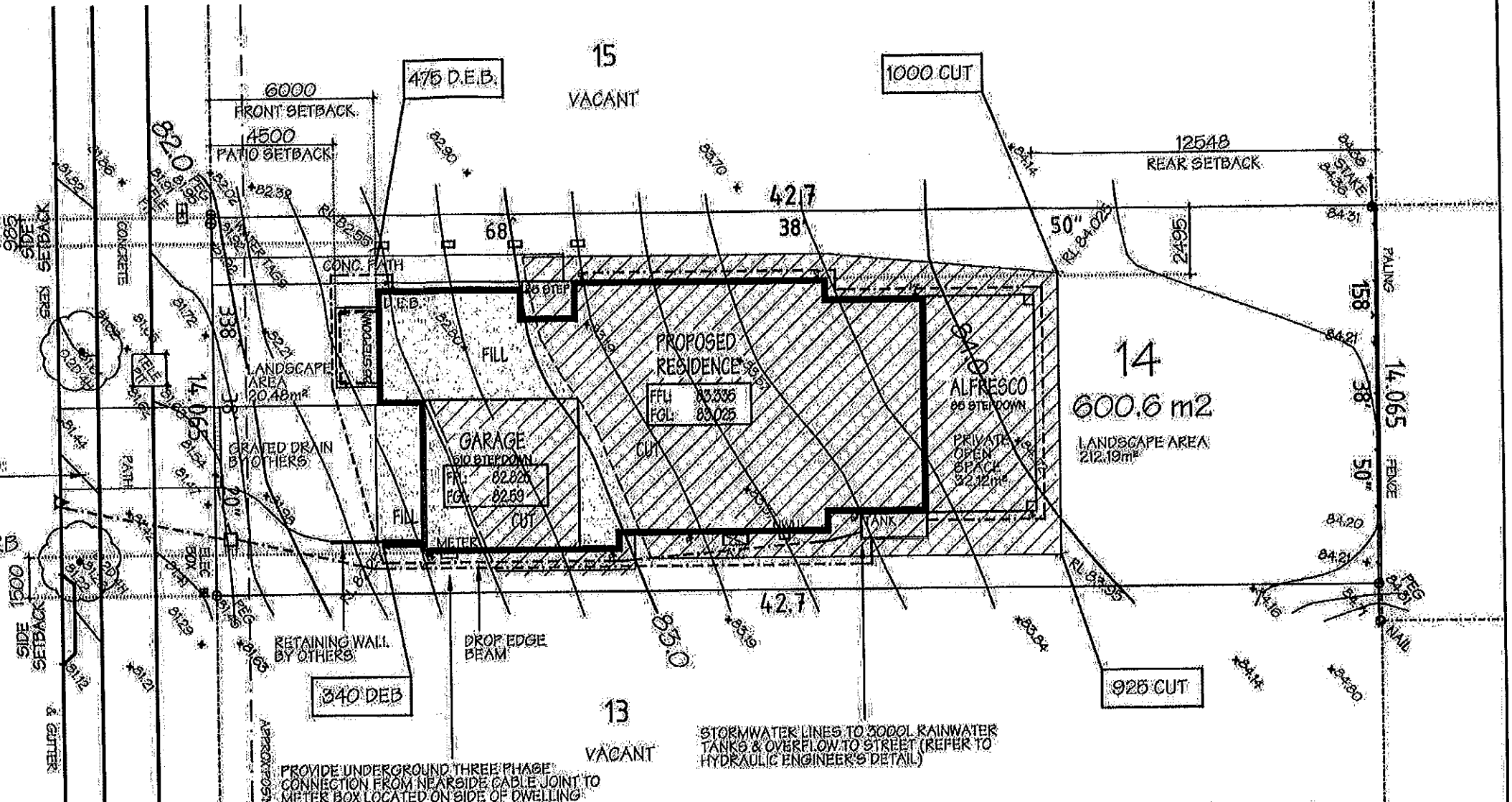
HOUSETYPE:
MODEL: KAREELA
FACADE: METRO
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE+GOLD
DRAWING TITLE:
SITE PLAN

DRAWN BY: S.O.	DATE DRAWN: 25.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:200	
JOB No: J001139	DRWG No: 2/17	ISSUE: REV D	

THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND
MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION
OF RAWSON HOMES PTY LTD ACN 053 733 841

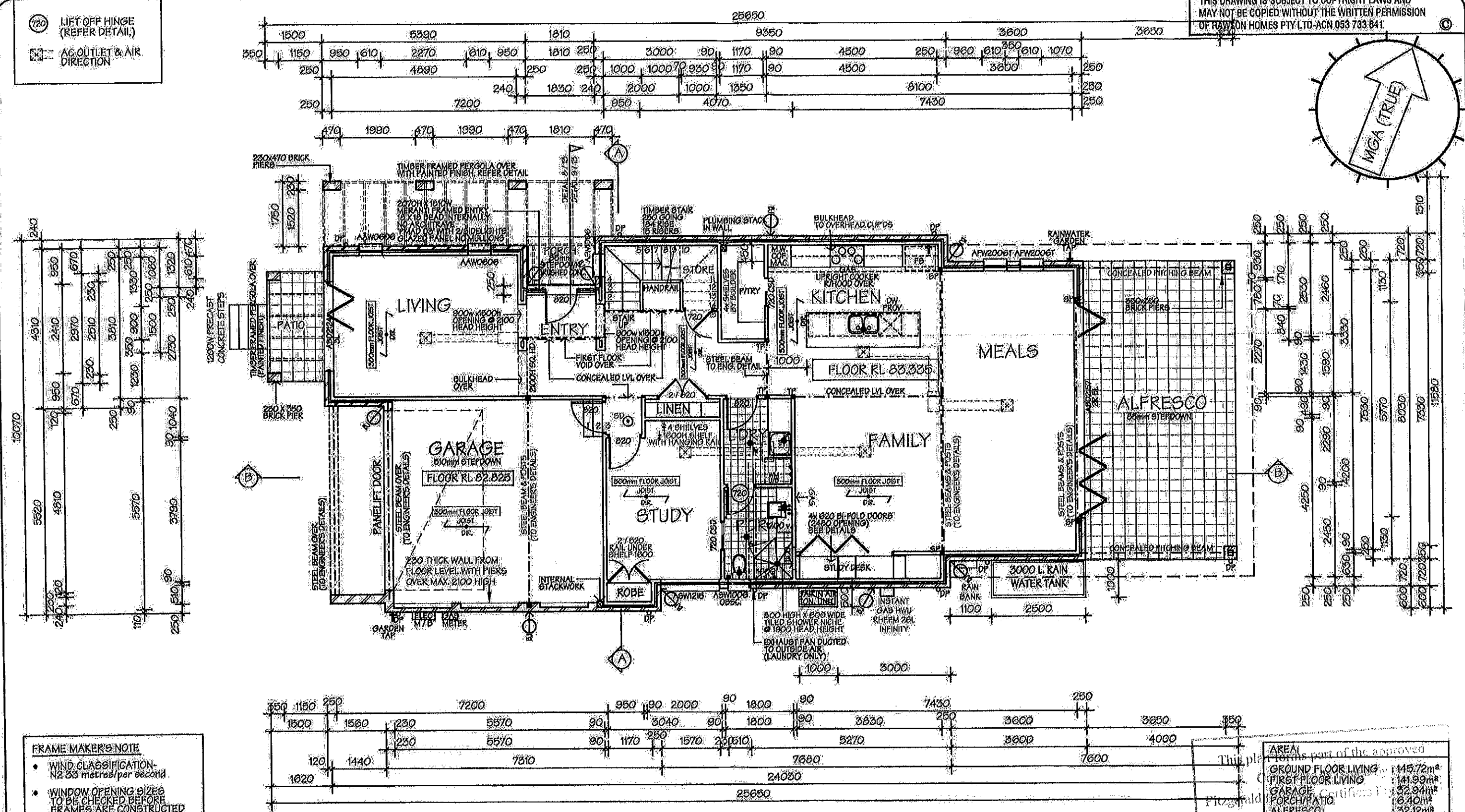
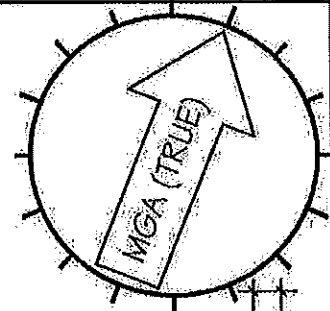


CASTLE CIRCUIT



120 LIFT OFF HINGE (REFER DETAIL)
AC OUTLET & AIR DIRECTION

THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF RAWSON HOMES PTY LTD AON 953 733 841



FRAME MAKER'S NOTE

- WIND CLASSIFICATION - N2 33 metres per second.
- WINDOW OPENING SIZES TO BE CHECKED BEFORE FRAMES ARE CONSTRUCTED
- FRAMES AND TRUSSES TO SATISFY AS 1684 6AA TIMBER FRAMING CODE

AREA	
GROUND FLOOR LIVING	14.57m²
FIRST FLOOR LIVING	14.99m²
GARAGE	48.00m²
PORCH/PATIO	6.40m²
ALFRESCO	32.12m²
BALCONY	8.45m²
TOTAL	1367.62m²

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

* ALL DIMENSIONS ARE IN MILLIMETRES

* DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No. 33493C

CLIENT:
MRS WHITE

SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

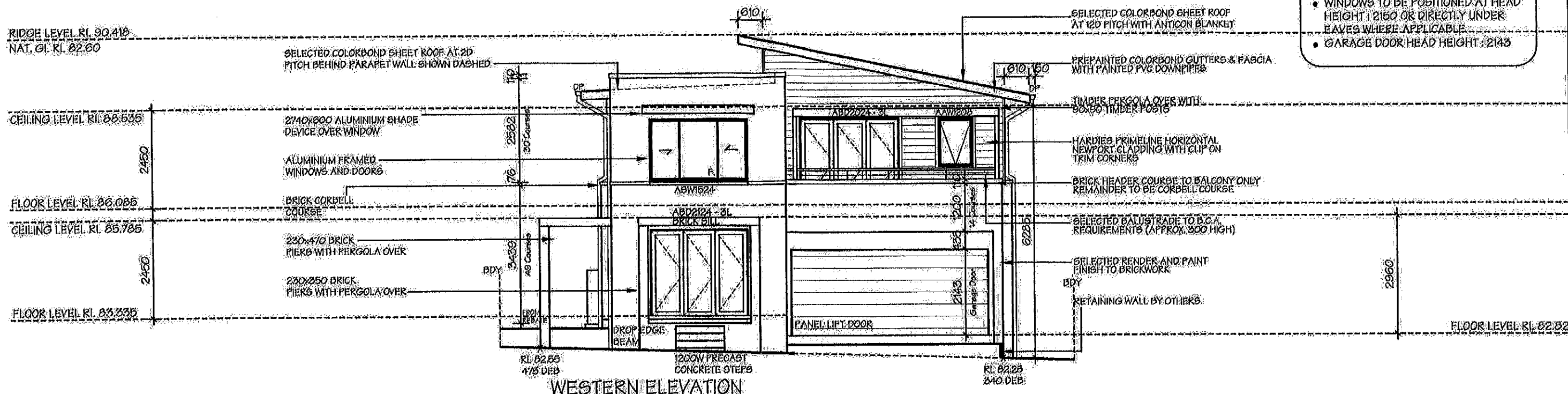
HOUSE TYPE:
MODEL: KAREELA
FACADE: METRO
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + GOLD

DRAWING TITLE:
GROUND FLOOR PLAN

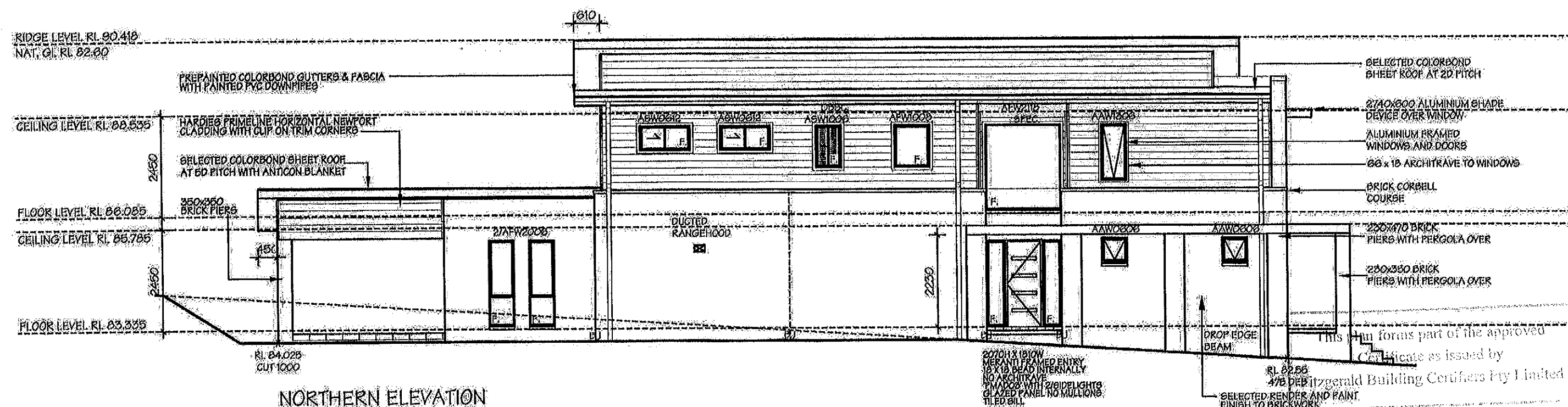
DRAWN BY: S.C.	DATE DRAWN: 26.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:100	
JOB No: J001139	DRWG No: 3/17	ISSUE: REV D	

NOTE:

- WINDOWS TO BE POSITIONED AT HEAD HEIGHT 2160 OR DIRECTLY UNDER EAVES WHERE APPLICABLE
- GARAGE DOOR HEAD HEIGHT 2143



WESTERN ELEVATION



NORTHERN ELEVATION

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9784 6442
FAX 02 9784 6992
Builder's Licence No. 38493C



CLIENT:
MRS WHITE

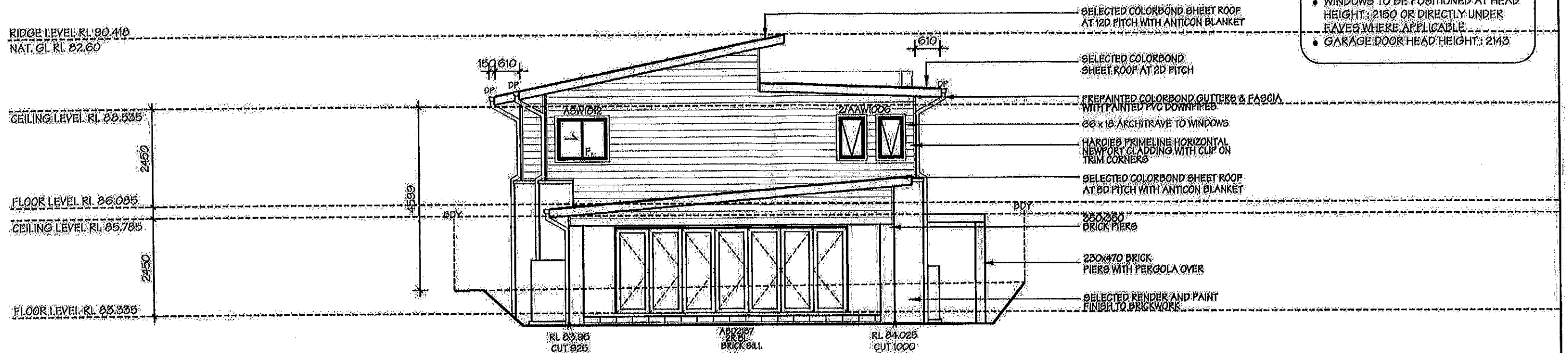
SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

HOUSE TYPE:
MODEL: KAREELA
FACADE: METRO
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + GOLD
DRAWING TITLE:
ELEVATIONS 1

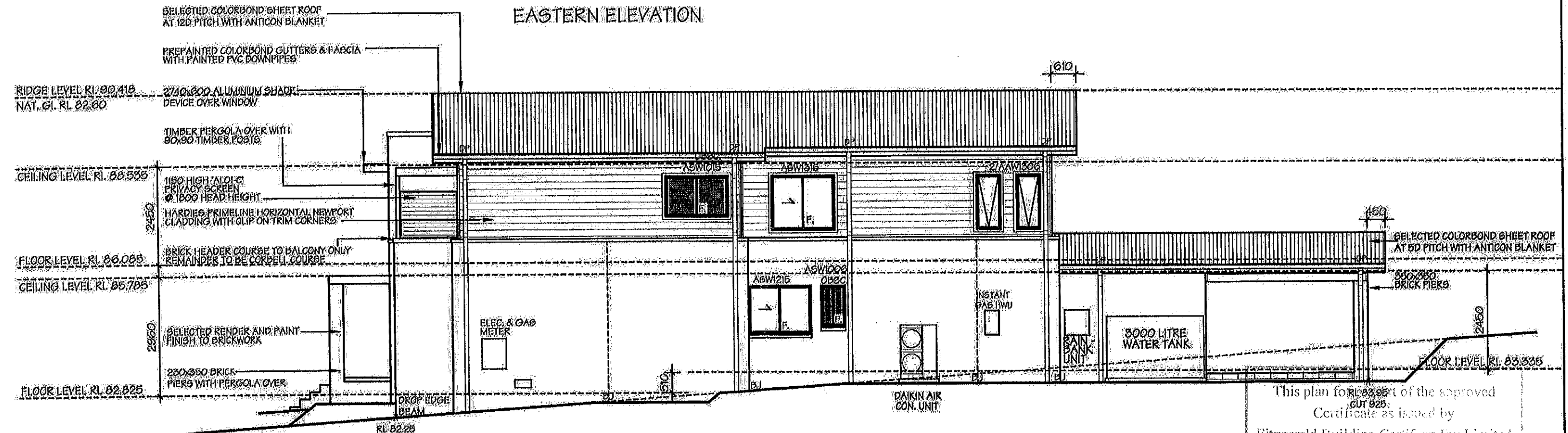
DRAWN BY: S.O.	DATE DRAWN: 25.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:100	
JOB No: J001139	DRWG No: 5/17	ISSUE: REV D	

NOTE:

- WINDOWS TO BE POSITIONED AT HEAD HEIGHT: 2150 OR DIRECTLY UNDER EAVES WHERE APPLICABLE
- GARAGE DOOR HEAD HEIGHT: 2143



EASTERN ELEVATION



SOUTHERN ELEVATION

This plan forms part of the approved
Certificate as issued by
Fitzgerald Building Certifiers Pty Limited

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No. 334930



CLIENT:
MRS WHITE

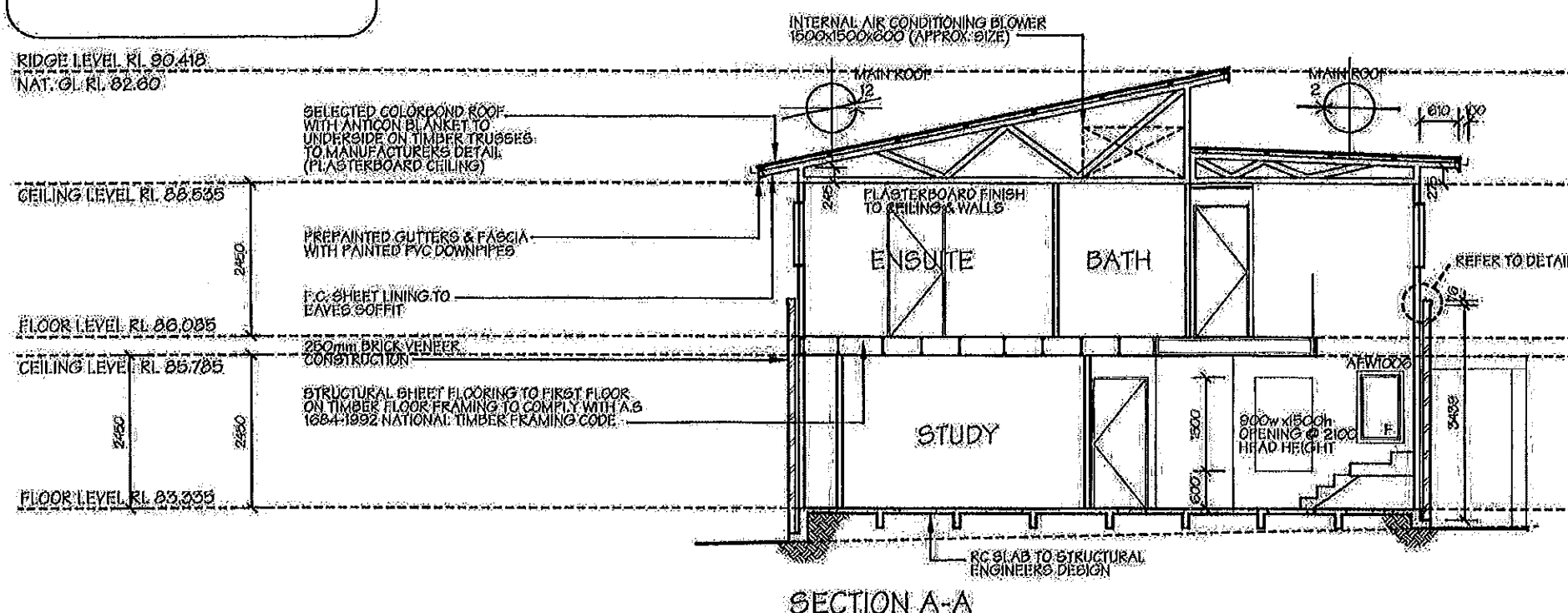
SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

HOUSE TYPE:
MODEL: KAREELA
FACADE: METRO
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE+GOLD
DRAWING TITLE:
ELEVATIONS 2

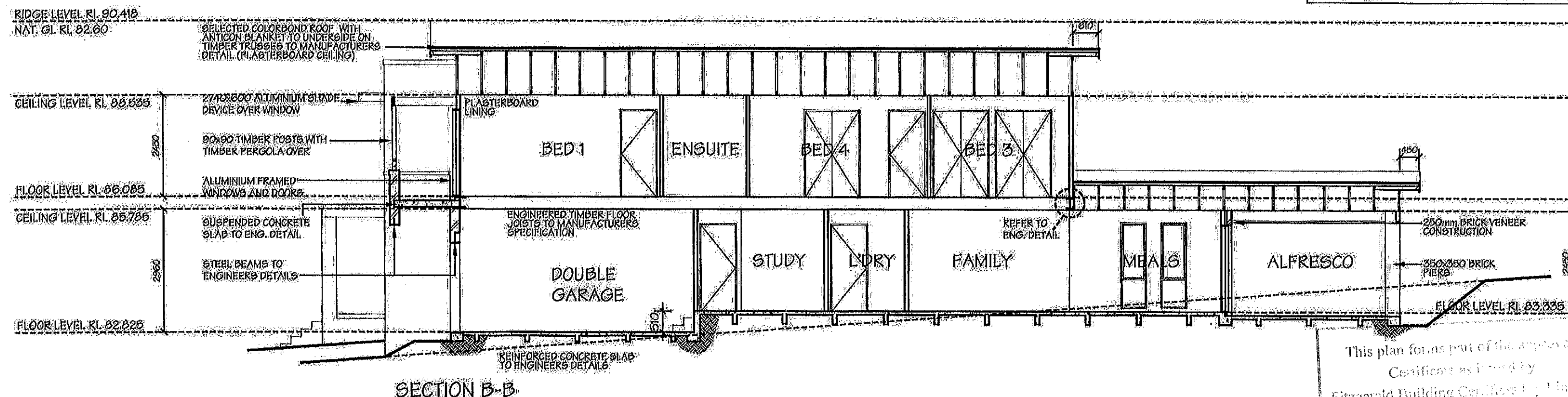
DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION:
S.C.	25.02.10		
COUNCIL AREA:	SCALE:	JOB No:	DRWG No:
MANLY	1:100	J001139	6/17
			ISSUE: REV D

NOTE:
SECTION IS DIAGRAMATIC ONLY

NOTE:
• WINDOWS TO BE POSITIONED
AT HEAD HEIGHT: 2100 OR DIRECTLY
UNDER EAVES WHERE APPLICABLE
• GARAGE DOOR HEAD HEIGHT: 2100



INSULATION
R3.0 BATTs TO CEILING (EXCLUDING GARAGE & PORCH)
R1.5 BATTs TO EXTERNAL WALLS (EXCLUDING GARAGE & PORCH)
ANTICON BLANKET TO UNDERSIDE OF COLORBOND ROOF



This plan forms part of the approved
Certificate as issued by
Fitzgerald Building Certification Limited

NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED
TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO
INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
* ALL DIMENSIONS ARE IN MILLIMETRES
* DO NOT SCALE - USE WRITTEN DIMENSIONS

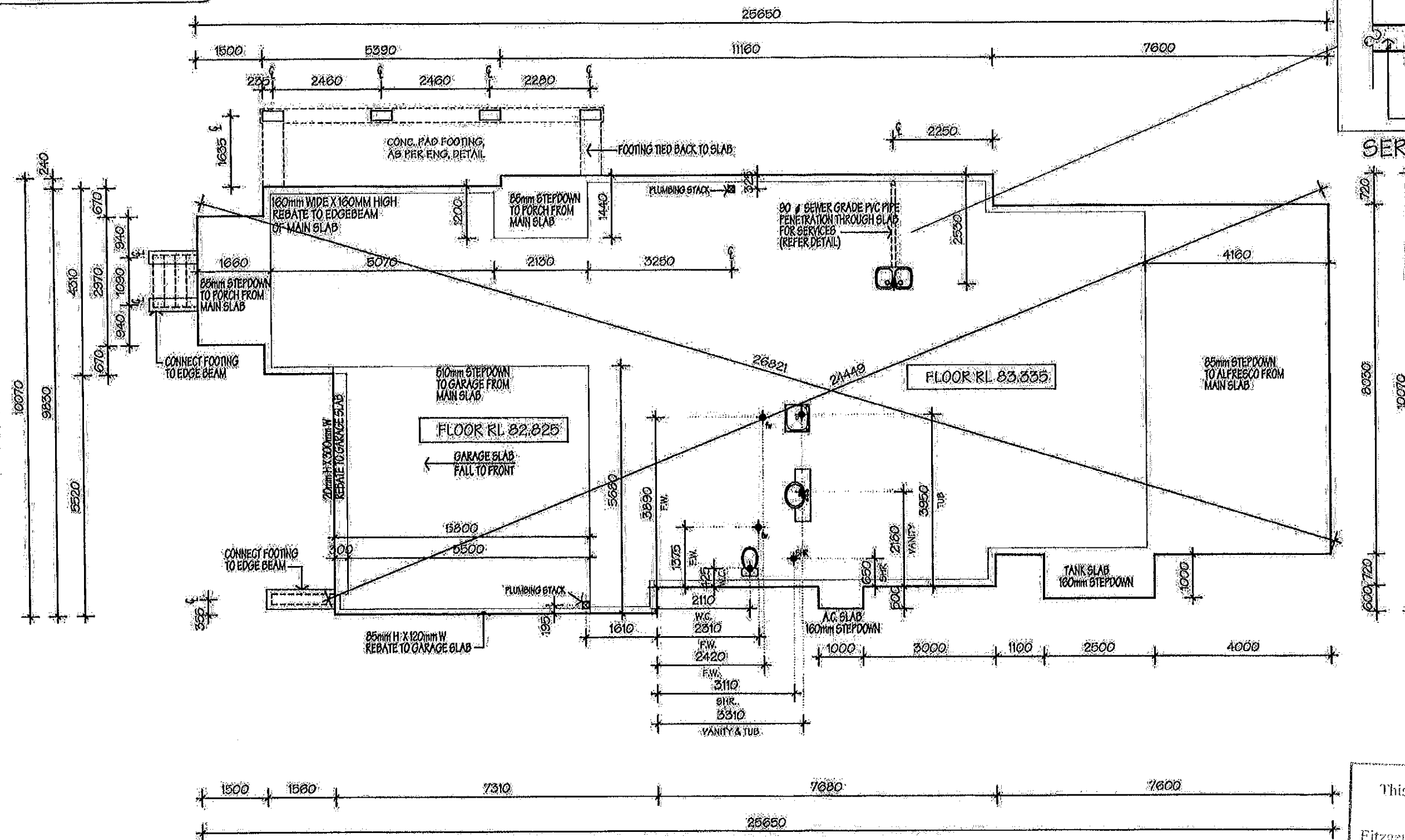
RAWSON HOMES
UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No. 33493C

CLIENT:
MRS WHITE
SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

HOUSE TYPE:
MODEL: KAREELA
FACADE: METRO
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + GOLD
DRAWING TITLE:
SECTION

DRAWN BY: S.C.	DATE DRAWN: 26.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:100	
JOB No: J001139	DRWG No: 7/17	ISSUE: REV D	

- DRAINAGE POINTS FOR VANITIES AND SINKS ARE MEASURED 200 mm OFF INTERNAL WALL AND 80mm OFF CENTRE.
- FLOORWASTE AND STACK POINTS ARE MEASURED TO CENTRE LINES, HORIZONTAL & VERTICAL.



* ALL DIMENSIONS ARE IN MILLIMETRES
* DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES
UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No.334930



CLIENT:
MRS WHITE

SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

HOUSETYPE:	
MODEL:	KAREELA
FAÇADE:	METRO
TYPE:	SLAB PLAN
SPECIFICATION:	LUXE + GOLD
DRAWING TITLE:	
SLAB PLAN	

DRAWN BY: S.C.	DATE DRAWN: 25.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:100	
JOB No: J001139		DRWG No: 9/17	ISSUE: REV D



- NOTE:**
FLOOR TILING STANDARD TO WET AREAS
90MM COVE CORNICE TO BATH & ENSUITE
NOMINATED HEIGHTS FOR FIXTURES
ARE AN APPROXIMATION ONLY.



- POWDER RM

-
- Technical drawing of a toilet stall showing dimensions and fixtures:
- Overall width: 450
 - Overall height: 1095
 - Stall width (between side walls): 1630
 - Fixtures labeled:
 - TOILET ROLL HOLDER
 - W.C.
 - TRIBUNE WALL BASIN
 - TOWEL RING @ APPROX. 1000 HIGH
 - Door swing indicator: 720

WC

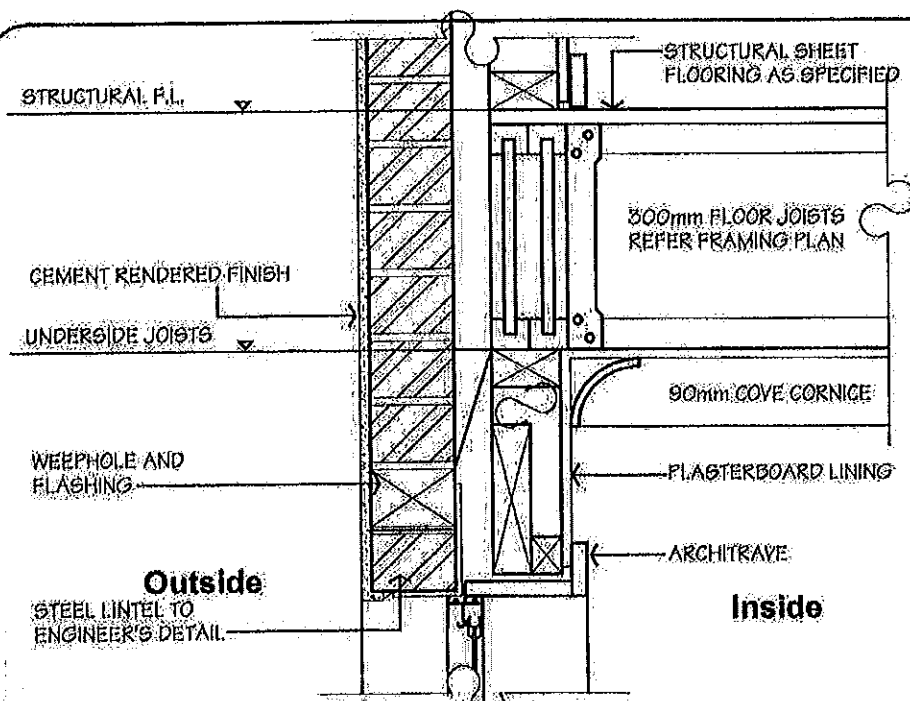
-
- 750 LONG TOWEL RAIL
@ APPROX. 1000 HIGH
- 1890
- 1640
- 1580
- 500
- 720
- 1000
- 1000
- 1500 VANITY
- 388
- 437
- 665
- BATH TUB TAPS
POSITIONED @ 740 HIGH
- BATH
- 450
- 725
- VITO BERTONI MODA CHROME
SHOWER RAIL WITH SOAP DISH
(POSITION TOP OF SHOWER
RAIL @ 2000 HIGH)
- 800 HIGH X 600 WIDE
TILED SHOWER NICHE
@ 1900 HEAD HEIGHT
- 1000
- 1450
- 820
- 1200 VANITY
- ENS
- 1485
- 1585
- Soap Taps
- 422
- 560
- BATH TUB TAPS
POSITIONED @ 740 HIGH
- 1000 F.W.
- 'CORTEZ'
1675 BATH

ENSUITE

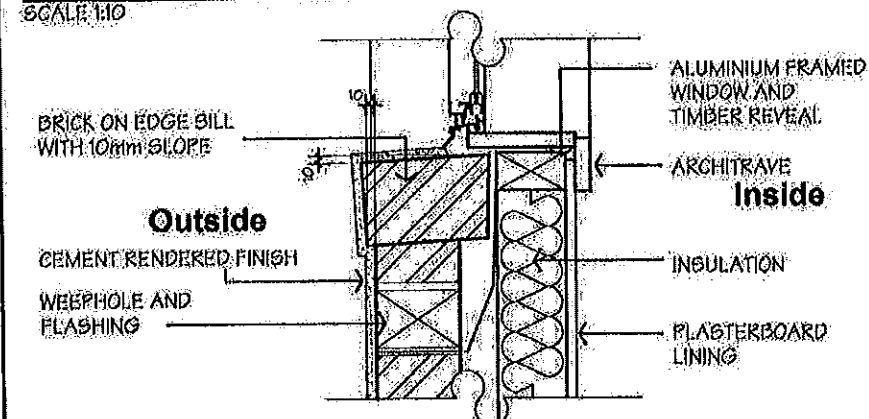
- BATHROOM

- This plan forms part of the approved
Certificate as issued by
Fitzgerald Building Certifiers Pty. Limited

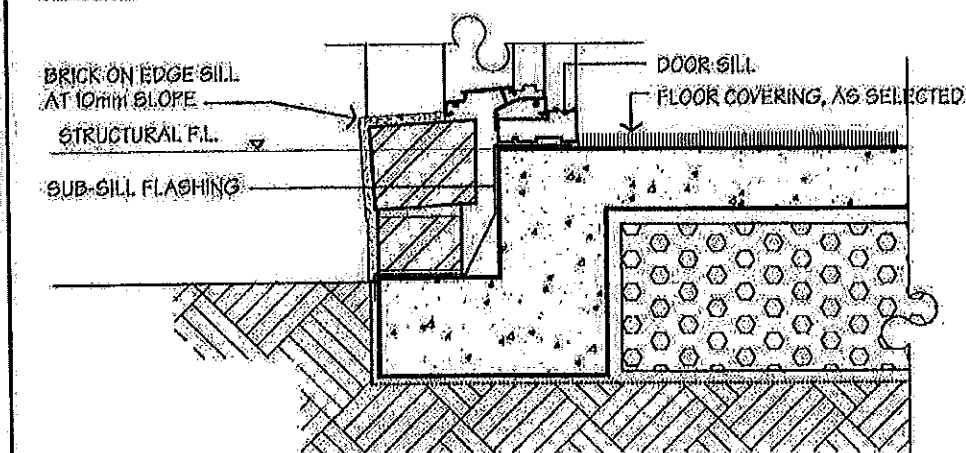
DRAWN BY: S.C.	DATE DRAWN: 25.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:50	
JOB No: J001139		DRWG No.: 10/17	ISSUE: REV D



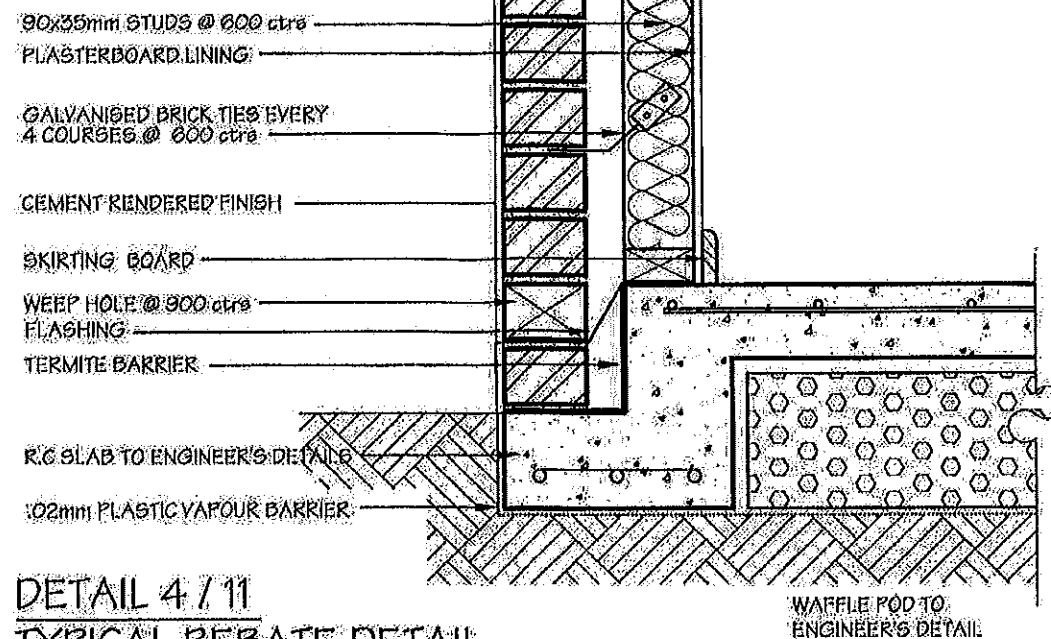
DETAIL 1/11 - TYPICAL HEAD DETAIL
SCALE 1:10



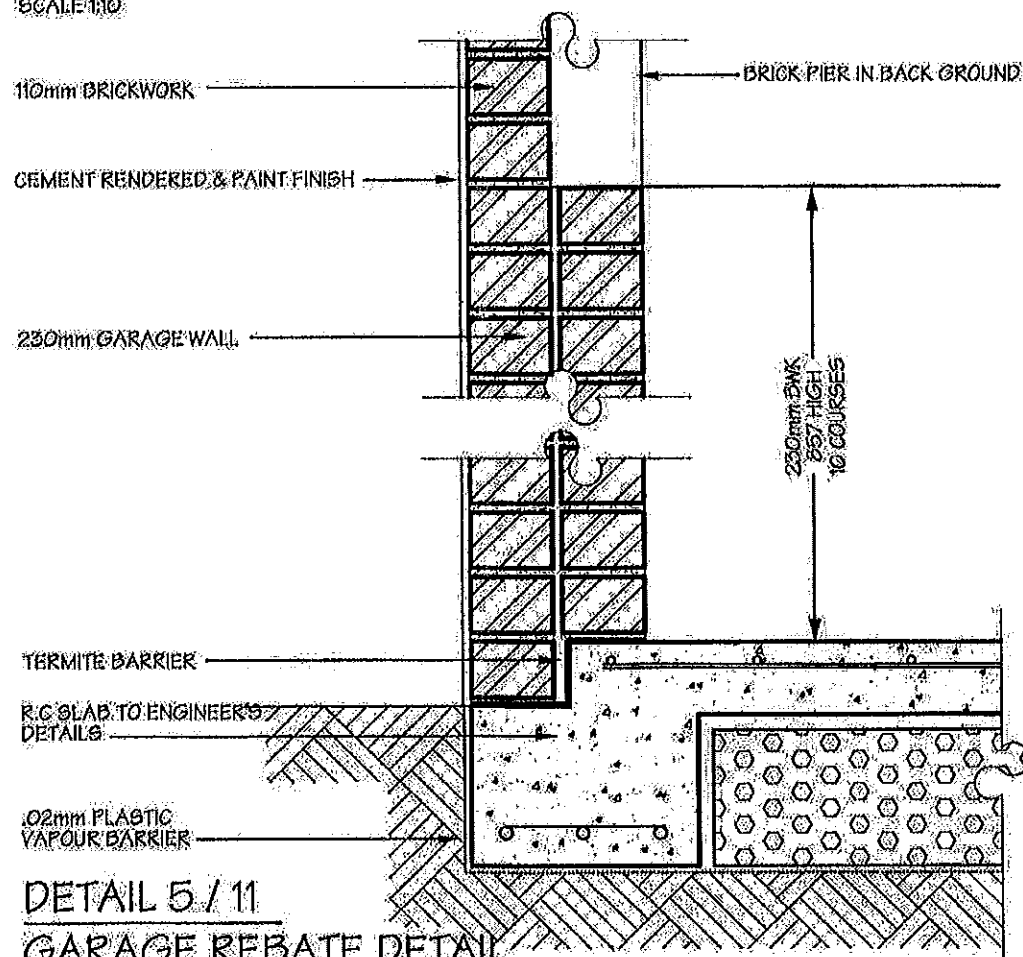
DETAIL 2/11 - TYPICAL SILL DETAIL
SCALE 1:10



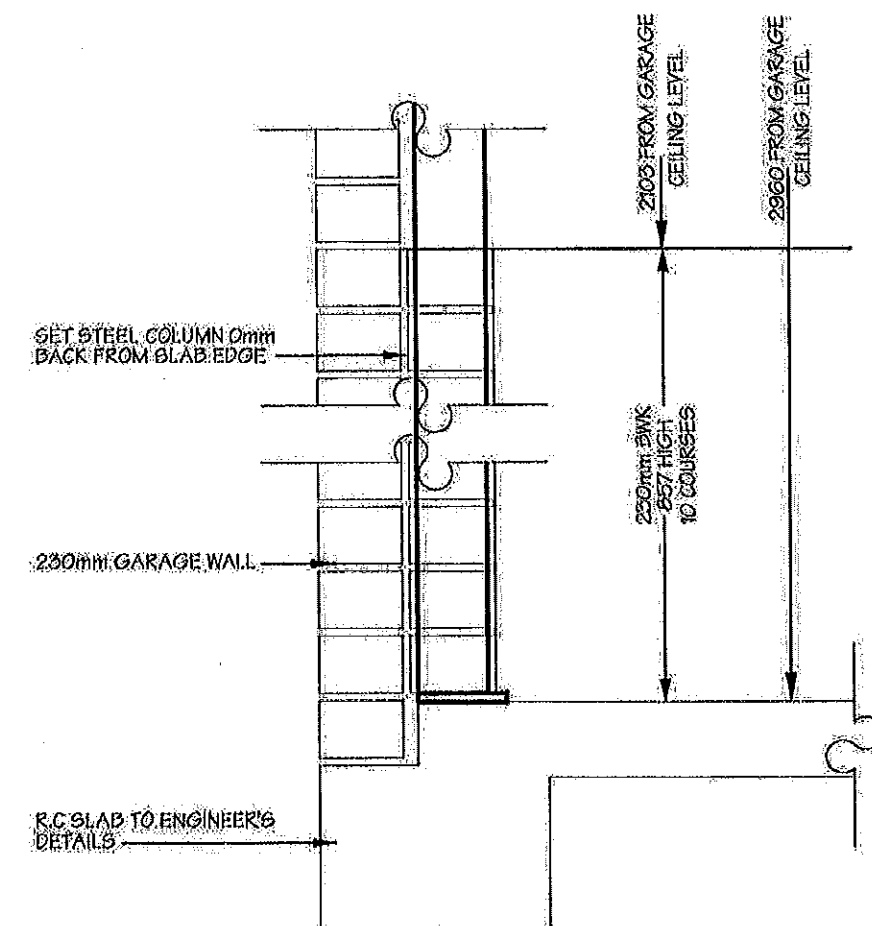
DETAIL 3/11 - TYPICAL DOOR SILL DETAIL
SCALE 1:10



DETAIL 4/11
TYPICAL REBATE DETAIL
SCALE 1:10



DETAIL 5/11
GARAGE REBATE DETAIL
SCALE 1:10



DETAIL 6/11
STEEL POST DETAIL
SCALE 1:10

This plan forms part of the approved
Conditions as issued by
Fitzgerald Building Contractors Pty Limited

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED
TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO
INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

UNIT 34/1-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's Licence No. 33493C



CLIENT:
MRS WHITE

SITE ADDRESS:
LOT 14 (H.No. 3)
CASTLE CIRCUIT
SEAFORTH

HOUSE TYPE:
MODEL: KAREELA
FACADE: METRO
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + GOLD
DRAWING TITLE:
DETAILS 1

DRAWN BY: S.C.	DATE DRAWN: 25.02.10	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MANLY		SCALE: 1:10	
JOB No: J001139	DRWG No.: 11/17	ISSUE: REV D	