



PITTWATER COUNCIL

EPC103

Construction Certificate Application

Environmental Planning and Assessment Act 1979, Section 109C
EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882, Mona Vale NSW 1660

Tel: (612) 9970 1111

Fax: (612) 9970 1200

Internet: www.pittwater.nsw.gov.au

Email: pittwater_council@pittwater.nsw.gov.au

Please tick one:

- ☒ New Construction Certificate
☐ Modification of previously issued
Construction Certificate
CC _____/____/____

SITE DETAILS

Unit/Suite:	Street No:	Street:
	2	VALLEY VIEW CIRCUIT
Suburb:	Lot No:	Deposit /Strata Plan:
WARRIEWOOD		

DEVELOPMENT CONSENT

Development Application No:	Determination Date:
Nº 392/11	

APPLICANT DETAILS

Name/Company:	Contact Person:
PAUL + SUELLEN WHITFIELD	SUELLEN
Postal Address:	Contact Numbers:
2 VALLEY VIEW CIRCUIT	Phone (H/B): 99791776
WARRIEWOOD NSW 2102	Mobile: 0423 780669
	Fax:
Signature of Applicant:	Date:
	11/10/12

OWNERS DETAILS

Name:	If Company, contact person:
PAUL + SUELLEN WHITFIELD	
Postal Address:	Contact Numbers:
2 VALLEY VIEW CIRCUIT	Phone (H/B):
WARRIEWOOD NSW 2102	Mobile:
	Fax:
As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.	

Signature of Owners:

Date:

11/10/12
11-10-12

If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

DEVELOPMENT DETAILS

Type of Work:	☒ Building Work
OR	
	☐ Subdivision Work
Description of proposal – (Provide brief, concise details):	
OUTDOOR ROOM – NEW METAL ROOF	
TIMBER DECK	

WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder	
Owner Builders Permit No:	
Copy of Owner Builders permit attached:	☐ Yes ☐ No – to be provided with Notice of Commencement Form
If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222. www.fairtrading.nsw.gov.au	

OR

☒ Licensed Builder	
Builder's License Number 235557C	
Name of Builder: COMPLETE PROPERTY SERVICES & DESIGN	Phone:
Contact person: WILL JASON	Mobile: 0414878543
Address: PO Box 1274 MONA VALE NSW 1660	Fax:
Insurance Company: OBE	Insurance Certificate attached: ☒ Yes ☐ No – to be provided with Notification of Commencement form
From 1 February 2012 if you are using a licensed builder for residential building work exceeding \$20,000 you must obtain Home Warranty Insurance issued under the Home Building Act. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.	

VALUE OF PROPOSED DEVELOPMENT

Value of Works: \$ 41,500 (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

☒ Yes

☐ No

Only required if the development involves building and construction works costing \$25,000.00 and above. Further details are available from the Long Service Corporation on telephone 13 14 41 or www.longservice.nsw.gov.au.

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	\$936.00
Modification of Construction Certificate Fee	TCER	
Long Service Levy Fee	QLSL	\$145.00
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		\$1081.00
Date of Receipt: 15/10/12	Receipt No: 330838	Accepted By: [Signature]
New Application Number issued (not required for modification of CC)		CC ____/____

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to assess your proposal.
Intended recipients:	Council Staff/Consultants and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation.
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?		Area in square metres	
Gross floor area of existing building?		Area in square metres	
If no existing building, write "NIL"			
What is the existing building or site used for at present?		Main uses:	
		Other uses:	
Does the site contain a dual occupancy?		☐ Yes	☐ No
Gross floor area of proposed building?		Proposed floor area in square metres.....	
What will the proposed building to be used for?		Main uses:	
		Other uses:	
How many dwellings:			
Are pre-existing at this property?		Dwellings:	1.....
Are proposed to be demolished?		Dwellings:	0.....
Are proposed to be constructed?		Dwellings:	
How many storeys will building consist of?		Storeys:	1.....
What are the main building materials?			
Walls		Roof	
Full Brick	☐	Aluminium	☐
Brick veneer	☐	Concrete or slate	☐
Concrete, masonry	☐	Tile	☐
Steel	☐	Fibrous cement	☐
Fibrous cement	☐	Steel	☐
Timber/weatherboard	☐	Other	☐
Cladding-aluminium	☐	Unknown	☐
Curtain glass	☐		
Other	☐		
Unknown	☐		
Floor		Frame	
Concrete	☐	Timber	☒
Timber	☒	Steel	☐
Other	☐	Other	☐
Unknown	☐	Unknown	☐

PITTWATER COUNCIL
DEVELOPMENT DIVISION
FILE NOTE

RECORD OF MEETING/ENQUIRY/TELEPHONE CALL/COMPLAINT

Date: 15/10/12 File No: CC

Participants: ANGELA BROWN (ASSISTANT PLANNER)

Address: 2 VALEY VIEW CIRCUIT, WARRAWOOD.

- Schedules of finishes + colours is
in the 'Statement of Environmental Effects'

Officers Signature: _____

Home Warranty Insurance
Certificate of Insurance

Policy Number BN0046087BWI-3



QBE Insurance (Australia) Ltd
Level 3, 85 Harrington St
SYDNEY NSW 2000
Phone: 1300 790 723
Fax: 02 8275 9330
ABN: 78 003 191 035
AFS License No: 239545



PM WHITFIELD & SL WHITFIELD
2 VALLEY VIEW CIRCUIT
WARRIEWOOD NSW 2102

Name of Intermediary
AON HIA (NSW/ACT)
GPO BOX 2188
CANBERRA ACT 2601

Account Number
BN0006684
Date Issued
09/10/2012

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 has been issued by QBE Insurance (Australia) Limited as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

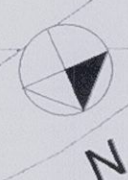
In Respect of	ALTERATIONS AND ADDITIONS STRUCTURAL
At	2 VALLEY VIEW CIRCUIT WARRIEWOOD NSW 2102
Carried Out By	BUILDER COMPLETE PROPERTY SERVICE & D ABN: 11 145 406 597
Declared Contract Price	\$41,500.00
Contract Date	22/10/2012
Builders Registration No.	U235557C
Building Owner / Beneficiary	PM WHITFIELD & SL WHITFIELD

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to the Building Owner/Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

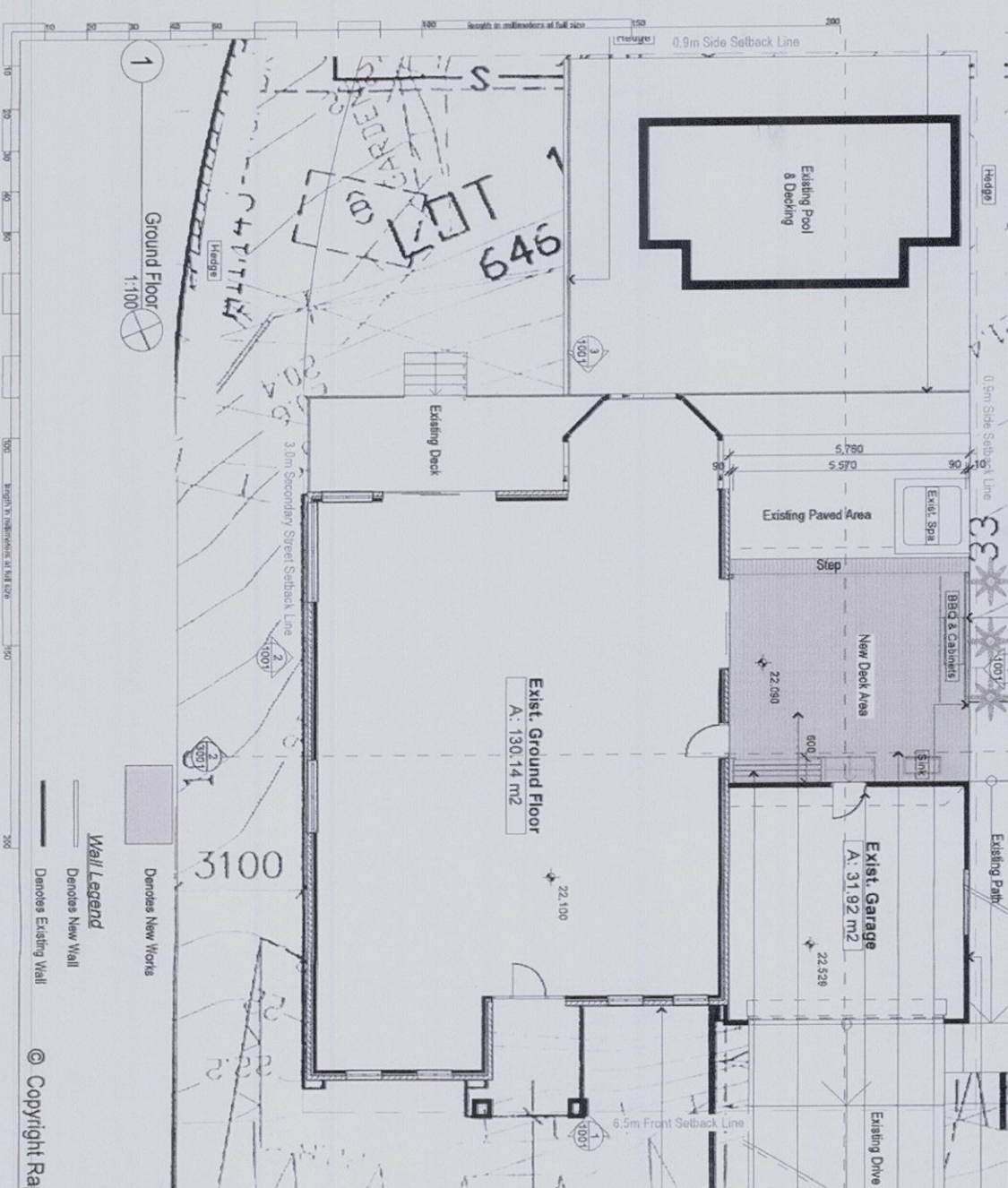
Additional Policy Details

JOB NO: 0126

Signed for and on behalf of NSW Self Insurance Corporation (SICorp)



54° 13' 32" AP
1070



Wall Legend
Denotes New Wall
Denotes Existing Wall

© Copyright Rapid Plans 2011

Site Information		Reported	Compliance
Site Area	948.4m ²	Yes	Yes
Housing Density (Residential)	1	Yes	Yes
Max Building Height Above Natural G.L. (6.5m Max)	3.5m	Yes	Yes
Front Boundary (Max)	0.5m	Yes	Yes
Maximum side boundary setback (0.5m Max)	0.5m	Yes	Yes
Building envelope	3.5m x 4.5m	Existing	Existing
% of landscape open space	100%	Existing	Existing
Impervious area (m ²)	100%	Existing	Existing
Maximum cut into ground (m)	0	Yes	Yes
Maximum depth of fill (m)	0	Yes	Yes
Number of car spaces provided	2	Yes	Yes

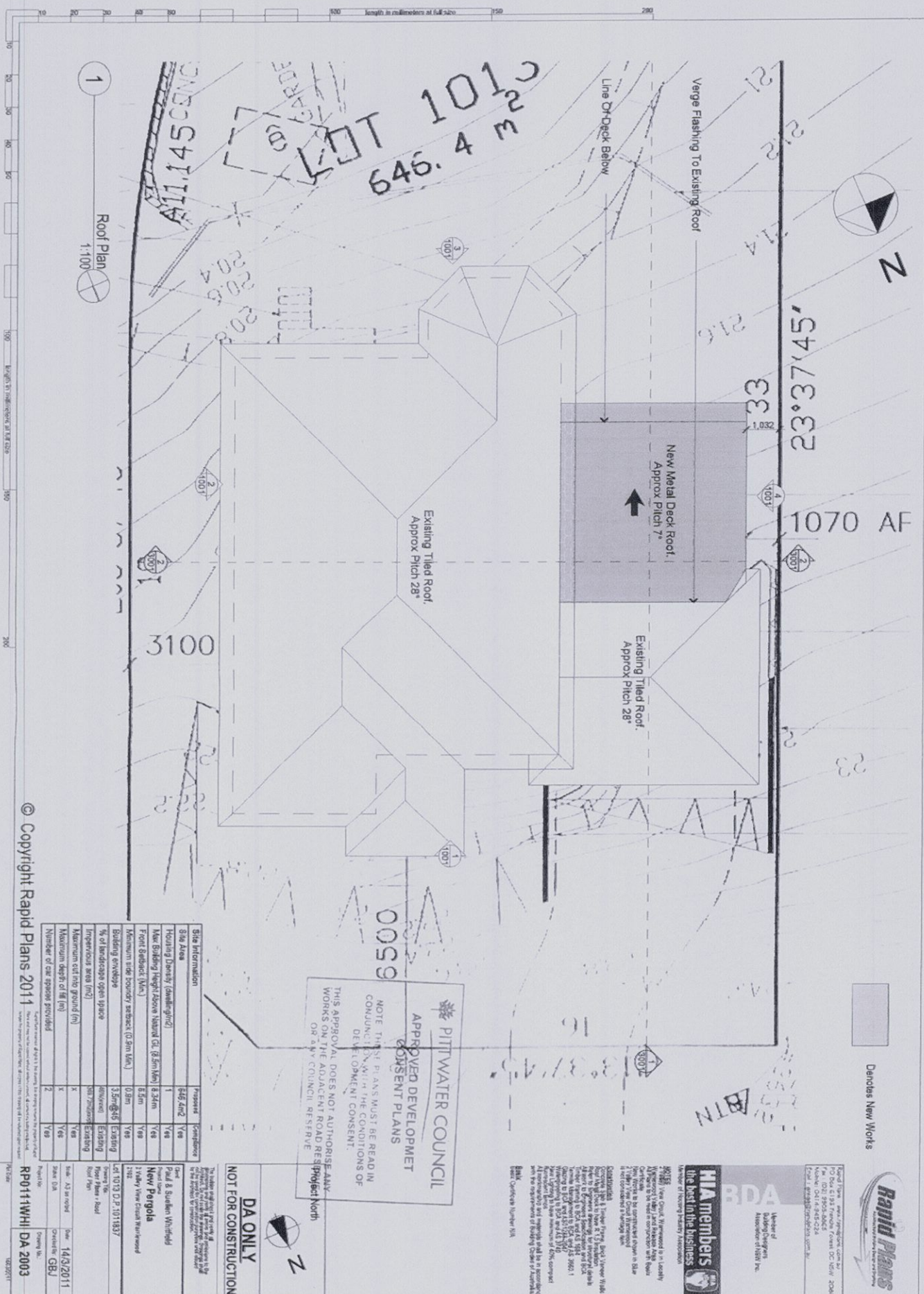
DA ONLY NOT FOR CONSTRUCTION	
Project Name	Pavil & Saddle Wharf
Project Address	1070, New Creek Northwood
Project ID	LOI 0013 D.P. 1011837
Project Date	14/3/2011
Project Status	Completed
Project Type	GBU

PITTSBURGH COUNCIL
APPROVED DEVELOPMENT
CONSENT PLANS
NOT THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT.
THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE

Existing 250mm Rendered
Brick Veneer Wall
Existing 110mm Rendered
Brick Wall
Timber Post
Line Of Road Above
Existing Door To Remain.
Builder To Fill Gaps To BCA
New Timber Deck To
AS1684 & BCA
New Timber Bench Seat
With Lift Up Lid
Existing Drive
Existing Paved Area
New Deck Area
Step
Exst. Spa
Bag & Cabinets
Exst. Path
Existing Pool
Existing Deck
Existing Garden
Ground Floor
1:100

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Building Commission
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Rapid Plans
Member of
Building Commission
Member of 1019 Inc.
Rapid Plans is a member of the Building Commission and 1019 Inc. We are a leading provider of building plans and design services. Our experienced team of architects and engineers can help you create a unique and functional design for your project. We offer a wide range of services, including conceptual design, schematic design, and construction documents. Our commitment to quality and customer service has earned us a reputation as a trusted partner in the building industry.



Denotes New Works

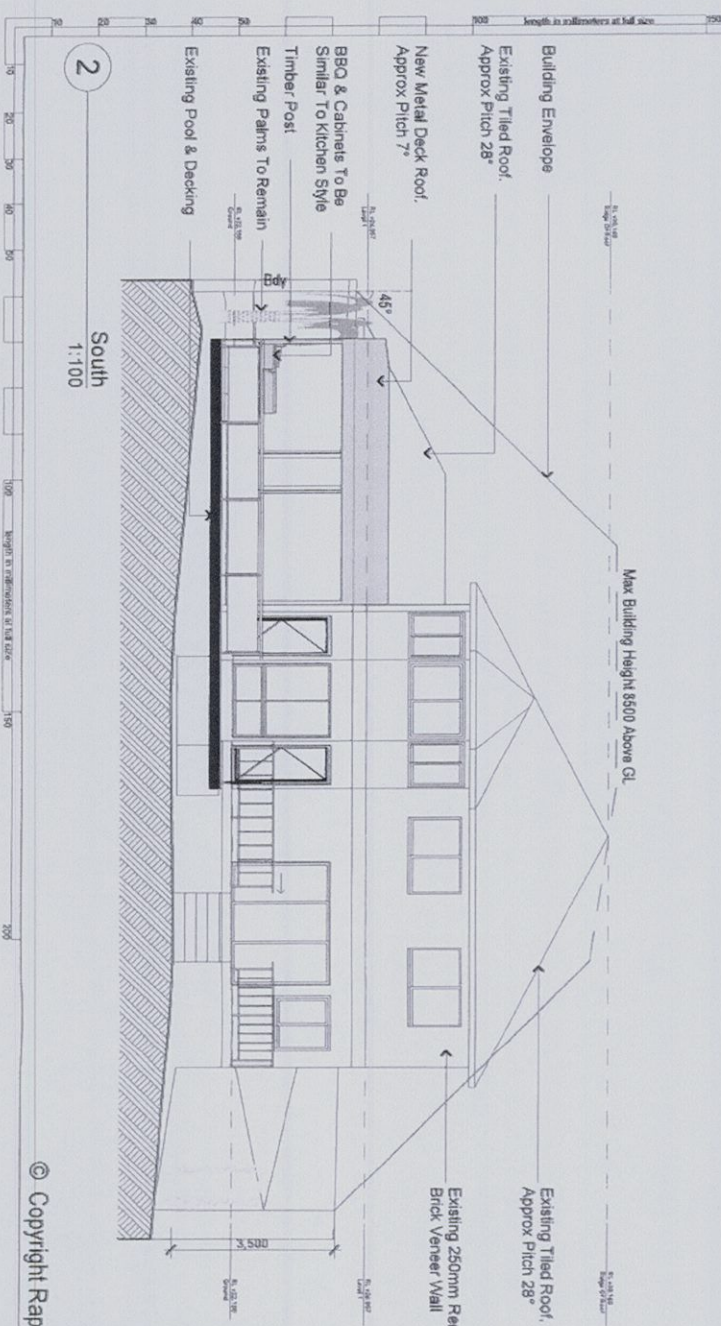
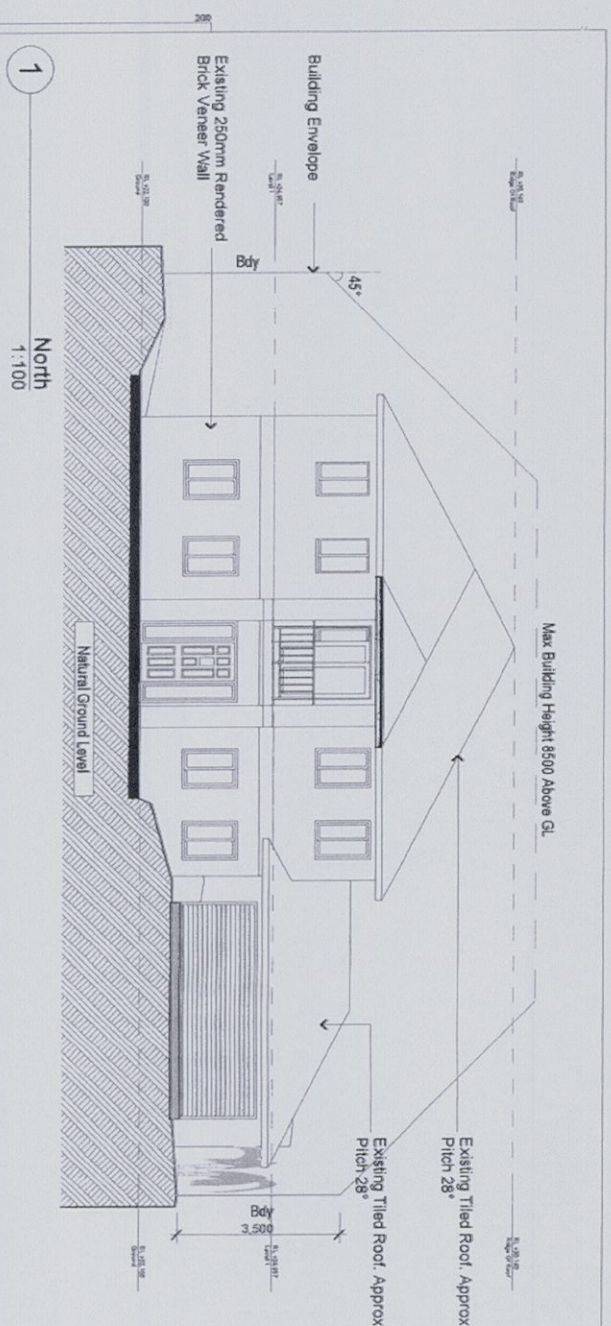


Rapid response: info@rapidresponse.com.au
 PO Box 6193 Frenchs Forest NSW 2086
 Tel: (02) 9505-6665
 Mobile: 0414-945-024
 Email: enquiries@rapidresponse.com.au



HIA members
the best in the business

[illegible]



Site Information:	Proposed	Co-Developer
Site Area	166 mu ²	Yes
Housing Density (dwelling/m ²)	1	Yes
New Building Height Above Natural Gr. (8.5m Max)	8.5m	Yes
First Secluded (Max.)	8.5m	Yes
Maximum side boundary setback (0.1m Max.)	0.1m	Yes
Building envelope	3.5m x 8.5m	Existing
% of landscaped open space	100%	Existing
Impermeous area (m ²)	166	Existing
Maximum cut to ground (m)	X	Yes
Maximum depth of fill (m)	X	Yes
Number of cars spaces provided	2	Yes

Developer: Project 4811 - The Village. The Village was formed by the merger of the former Village of Newburg and the Village of Newburg. The Village is a new entity and is not a successor to the former Village of Newburg. The Village is a new entity and is not a successor to the former Village of Newburg. The Village is a new entity and is not a successor to the former Village of Newburg.

Site: A3 as noted
 Zoning: DRB
 Project ID: RP0111WHH
 Date: 14/9/2011
 Drawn by: GBU
 Checked by: GBU
 Date: 14/9/2011

PITTSBURGH WATER COUNCIL

**APPROVED DEVELOPMENT
CONSENT PLANS**

NOTE: THE PLAN MUST BE IN ACCORD
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

THIS APPROVAL DOES NOT AUTHORIZE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE

Project North



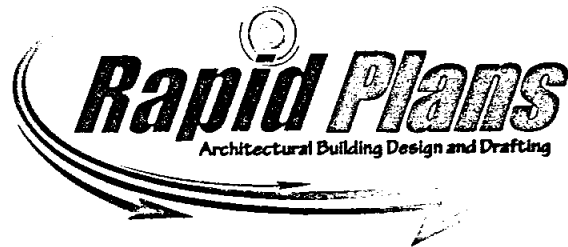
2

DA ONLY

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**Statement of
Environmental
Effects
at
2 Valley View Circuit,
Warriewood
NSW 2102
For
Paul & Suellen Whitfield**

RAPID PLANS

ABN:	
ADDRESS:	PO Box 6193 French's Forest D.C 2086
TELEPHONE:	(02) 9905-5000
FAX:	(02) 9905-8865
EMAIL:	gregg@rapidplans.com.au
Builders Lic No:	82661c

Issue 1.00
Thursday, March 10, 2011
©RAPID PLANS

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1 INTRODUCTION

This Statement of Environmental Effects accompanies the development application for the proposed alterations and additions at 2 Valley View Circuit in Warriewood.

This statement seeks to express that the proposal complies with Council's Ordinances and has compliance with the Council's objectives.

In formulating this Development Application careful consideration has been given to the sensitivity of the site, its relationship with surrounding properties, and the unique character of the streetscape and the nature of the surrounding area.

2 THE EXISTING BUILDING

2.1 Site

The residence is located on the western side of Valley View Circuit at the intersection of Valley View Circuit & Warriewood Road in the residential neighbourhood of Warriewood.

Site Address: No 2 Valley View Circuit, Warriewood

LOCATION PLAN



2.2 Local Authority

The local authority for this site is:
Pittwater Council
Village Park, 1 Park Street,
Mona Vale NSW 1660
DX 9018 Mona Vale
Telephone: 9970 1111

2.3 Zoning

Lot 1013 DP 1011837 known as 2 Valley View Circuit, Warriewood, has a Locality zoning of Warriewood Valley Land Release. This property does not fall within a Conservation Area.

2.4 Planning Controls

Planning controls used for the assessment of this Development Application are:
Pittwater Local Environment Plan 1993
Pittwater Development Control Plan 2009
Pittwater Locality Statement Warriewood Valley Land Release

2.5 Context and Streetscape

The house is situated in a street that is characterized by medium trees and recently built homes due to the Warriewood Valley Land Release. The street presents as typical of the garden suburb characterised by property trees small shrubs and street trees.

The property is a two storey dwelling with housing directly opposite. Houses in the street are mainly single and double storey and of a similar period.

The locality is considered a medium density area. An important characteristic and element of Warriewood significance as a garden suburb is the garden setting of its houses, and the flow of garden space around and between its houses.

2.6 Existing Areas of the Dwelling

The site has an existing two storey dwelling with a double garage to the western side of the house.

2.7 Existing off street parking

There is parking available for multiple cars in the existing garage as well as on the existing drive. There is no necessity for street parking

2.8 Existing Landscaping

The landscaping to the existing property is minimal. There are small strip gardens along the front & side boundaries with a grassed area to the rear. The existing landscaping is to be maintained for this development.

3 THE PROPOSAL

Visual character of the street will remain consistent with the local dwellings as one that maintains the garden suburb. The building will remain a double storey building with an existing garage. The appearance & bulk of the building is to be maintained throughout the development. The proposed works provide replacement part of the paved area to the western side of the house with a roofed timber deck.

The proposal is in sympathy with the existing residence maintaining the scale and character of a house and the garden suburb.

3.1 Features of the Proposal

Externally the proposal encompasses:

- New Metal Roofed Timber Deck

3.2 Present and Future uses of the Residence

The present use of the residence is as a detached private residence on its own title and this will **not** change with the proposal.

3.3 Purpose for the additions

The new proposal provides better provision for an outdoor living & entertaining area for the residents whilst maintaining the bulk of the dwelling that is fitting for the subdivision. The roofed area provides a shaded area that also shelters the house from the westerly sun by improving the lifestyle for the resident as well as making the residence much more energy efficient and environmentally friendly.

3.4 Materials and finishes proposed to be used

Materials proposed to be used externally, are new, weatherproof, durable and aesthetically pleasing, reflecting and fitting in general with the existing built environment and surrounding materials and reflecting the existing materials and design of the existing residence.

External materials used and colours selected for finishing to new works are generally matching existing or sympathetic to the existing materials, comprising of:

Timber decking painted or stained

Roofing in colour bond custom orb in medium to dark colour

Timber posts painted

3.5 Height

The height of the new development will not exceed the building envelope

3.6 Site Controls

Proposed Development	Proposed	Allowable
Site Area	646.4 sq m	-
GFA (Gross Floor Area)	Existing	-
Height	8.34m	8.5m
Built upon area	Existing	-
Landscaping	Existing	-

3.7 Setbacks and Siting

Proposed Development	Proposed	Allowable
Front Set Back	Existing	6.5m
Side Set Back	Existing	0.9m

The setbacks of the residence will remain consistent with the new deck built in line with the western garage wall.

3.8 Access and Traffic

Access & traffic will be maintained for this development. The proposal shows that the existing access to Warriewood Road is to be maintained with the existing drive. It is anticipated that the proposed development will have no detrimental impact on traffic flow. The proposed development maintains the provision of garaged car space for 2 vehicles.

3.9 Privacy, Views and Outlook

Privacy, views & outlook will be maintained for this development with the deck replacing part of the existing paved entertaining area. The siting and design of the proposed addition makes no change to overlooking into neighbours' living areas and recreation space.

3.10 Solar Access and Overshadowing

The site slopes from the North to South. The location of the proposed addition has been designed to maintain the northerly solar aspect with minimal impact on neighbour's properties. Shadowing is blocked from the existing dwelling & garage roofs. 9am would be casting a shadow towards the south west corner of property which has no detrimental effect on neighbouring properties.

3.11 Acoustic Privacy

Acoustic privacy has been maintained across the development. It is considered that this development imposes minimal noise impact to neighbours.

3.12 Water Management

Water management measures will be maintained for this development. Stormwater from the new roofed area over the deck is to be connected into the existing system that collects the existing paved surface runoff. The property has an existing stormwater system that will have no increase or decrease in runoff and piped to the street gutter.

4 ENERGY EFFICIENCY

Energy conservation is an important feature in the design of this development. Careful consideration has been given to promote sustainable design.

4.1 Orientation

The roofed deck have been designed to make maximum use of the northerly & westerly aspect.

4.2 Passive Solar Heating

The deck has timber floorboards to promote heating during the winter months. This is to reduce the need to use active systems for the heating of the living spaces.

4.3 Passive Cooling

The roofed area has been designed to prevent the sun from entering the ground floor, western side of the house during the summer months which will aid cross ventilation cooling for the lower floor of the house by maximizing the north-easterly breezes.

4.4 Natural light

Natural light will be maintained for this development with all doors & windows to be incorporated for this development.

4.5 Insulation and Thermal Mass

Insulation & thermal mass will be maintained for this development with the existing dwelling constructed from a brick veneer, timber floor and concrete slab. As well as providing for acoustic and fire requirements this construction provides a good thermal mass for the house. The floor of the deck will be timber decking will provide good thermal mass with the roof above to be thermally insulated in the ceiling with R1.5 foil backed blanket.

4.6 Waste Management

This proposal promotes waste minimization and would have minimal impact on existing waste management strategies. Ample space for the separation and temporary storage of waste and recycling has been allowed for in the back yard. Household effluent will be disposed of to Sydney Water requirements. During

construction onsite sedimentary controls, including hay bales and filter barriers, will be used to prevent stormwater pollution. On site sorting of construction waste will ensure maximum recycling occurs.

4.7 Siting and Setback

Warriewood valley land release is noted for the uniformity and consistent site coverage. Most houses are free standing with the car access down one side or to the front which cancels the need for resident street car parking. 2 Valley View Circuit is a good example of this in that it has all its car carparking to the western side of the property minimizing cars parked on the street. The siting of the house is relevant to the shape of the block, the driveway and entry are to be maintained. The new roofed deck to the western side of the house follows the existing design concept by replacing part of the existing paved area with the deck. There exists generous areas of ground dedicated to the planting of landscaped areas in both the front and the rear areas of the house.

4.8 Building Form

Residential buildings in Warriewood are uniformly single and double storey and similar in bulk. They are similar in shape but remain individually designed. All facades have been entirely maintained through out the development as has the roof form not been altered. The build form will be maintained for this development with the existing dwelling & garage remaining & integrated into the roofed deck design.

4.9 Roof Form

Roofs of the terrace federation period are usually quite simple and accentuate the single and double storey scale of the house. The roof of the house & garage will be maintained for this development. A new metal roof over the deck at the western side of the house will compliment the existing works & new deck.

4.10 Walls

A distinctive feature of the Warriewood house is that the walls are constructed from brick. All walls will be maintained for this development.

4.11 Windows and Doors

A variety of window shapes and sizes can be found in the Warriewood area. These individualize each of the homes giving each a unique character. Windows are typically rectangular in shape and are of a vertical proportion. Windows and doors are always made from alloy or timber and are invariably painted.

The existing windows and doors to the house at 2 Valley View Circuit will be maintained for this development.

4.12 Garages and Carports

The existing brick garage will be maintained for this development.

4.13 Colour Scheme

The colour scheme of the proposed addition will be in sympathy with the period of the original house.

Please refer to Appendix 1 for the Colour Scheme schedule

4.14 Fences and Gates

Fences & gates will be maintained for this development.

4.15 Garden Elements

The landscaped area has been maintained to provide as much garden area as possible.

5 CONCLUSION

5.1 Summary

This proposal is considered suitable for the site and provides a balance between medium density living, amenity and outdoor space. The proposed changes to 2 Valley View Circuit are sympathetic and consistent with the existing character of the surrounding streetscape and residential density of Warriewood. The proposed design solution provides a private residence that is both architecturally and environmentally responsive to the needs of the site and local community. The timber deck, metal deck roof, natural daylight and ventilation combine to greatly improve the immediate and future amenity of this residence. These factors work together to minimize the impact of the proposed development on adjoining properties and enhance the amenity of the surrounding area. We consider that the proposal will impose minimal impact and request that council support the Development Application.

6 APPENDIX 1 – Schedules

6.1 Schedule of finishes

Schedule of Exterior Materials, Finish and Colours

EXTERIOR ELEMENT	MATERIAL	FINISH	AS 2700 1996 COLOUR
6.1.1 Gutter	Colorbond	Match existing	
6.1.2 Deck Posts	Timber	Paint	
6.1.3 Deck boards	Timber	Paint	
6.1.4 Roofing	Colour Bond	Custom Orb	

PROPOSED ADDITIONS

at: 2 Valley View Circuit, Warriewood

for: P. & S. Whitfield

Architect: Rapid Plans

Prepared By:



NORTHERN BEACHES
Consulting Engineers P/L.

A.C.N. 076 121 616 A.B.N. 24 076 121 616

Suite 207, 30 FISHER ROAD

DEE WHY N.S.W. 2099

Ph: (02) 9984 7000 Fax: (02) 9984 7444

e-mail : nb@nbconsulting.com.au

web page : www.nbconsulting.com.au

DRAWING SCHEDULE:

- S01 - GENERAL NOTES
- S02 - SLAB PLAN
- S03 - ROOF FRAMING PLAN
- S04 - SLAB SECTIONS
- S05 - FRAMING SECTIONS SHEET 1
- S06 - FRAMING SECTIONS SHEET 2



Northern Beaches Consulting Engineers Pty Ltd.

120905

REV. - - - - -

GENERAL NOTES:

GENERAL

- G1. The drawings are to be read together with all Architects drawings and specifications.
- G2. Dimensions shall not be obtained by scaling from the drawings. All setting out dimensions shall be verified and discrepancies shall be referred to the Engineer prior to commencement of work.
- G3. Care is required during construction so that structural elements are not over stressed and that the works and excavations required therefore are kept stable at all times.
- G4. Design, materials and workmanship are to be in accordance with current S.A.A standards and statutory authority regulations except where varied by these documents.
- G5. Design live loads are in accordance with AS 1170.1
- G6. Builder to ensure stability of existing structures in the vicinity of excavation works.

FOOTINGS

- C5. Sizes of concrete elements do not include thickness of applied finishes.
- C6. All Construction Joints locations shall be approved by the Structural Engineer.
- C7. Beam depths are written first and include slab thickness, if any.
- C8. No holes or chases other than those shown on the structural drawings shall be made in concrete elements without the prior approval of the engineer.
- C9. Shrinkage reducing admixtures such as 'Eclipse' or approved equivalent, if specified, must be added to mix prior to added.
- C10. Water reducing agents, if specified, must be added to mix prior to pour. No extra water is to be added to increase slump.
- C11. Where vertical slab/beam surfaces are formed against a masonry (or other) wall, provide 10 mm styrene separation material.
- C12. Water must not be added to concrete mix prior to placement of concrete.

F1. FOUNDATION STRATA IS ASSUMED FOR DESIGN PURPOSES IN ACCORDANCE WITH AASHTO 1993

- FOOTNOTES/CLASSIFICATION TO BE VERIFIED BY A GEOTECHNICAL ENGINEER COMMISSIONED BY THE CLIENT FOR CERTIFICATION OF FOUNDATIONS.
- F2. Footings to be constructed and back filled as soon as possible following excavation to avoid softening by rain or drying out by exposure.
- F3. Footings must bear into undisturbed natural ground clear of organic material. Refer to details.
- F4. If rock or variable bearing strata is encountered during excavation of the footings all footings/piers are to be excavated to similar material of greater bearing capacity.
- The Engineer is to be contacted at that time for approval or review.
- F5. Footings to be cast in approved material having an allowable capacity as follows:
- Sand Foundations:
- S41. Required bearing capacity 100 kPa
- S42. Trenches must be cleared of all debris and hand compacted prior to placement of reinforcement.

Clay Foundations:

- CL1. Required bearing capacity 150 kPa.
CL2. Trenches must be cleared of all debris. Soft spots must be cut out and filled as per compacted fill notes, prior to placement of reinforcement.
Shale Foundations:

Shale Foundations:

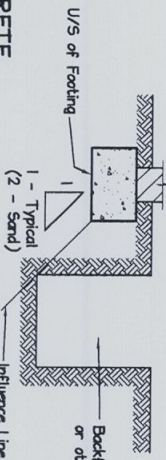
- SH1. Required bearing capacity 400 kPa.
SH2. Excavation for footings into shale must be cast or capped with plain concrete on the same day as excavation.

Sandstone Foundations:

551. Required bearing capacity 600 kPa.
552. Scrape weathered surface to remove cleaved sandstone under footings.
Refer adjacent for assumed Design bearing strata.

6. Future development of neighboring properties may affect ground water conditions on this site. Consequently, proactively in subsurface beneath footings may be locally altered therefore putting footing at risk of differential settlement. We recommend that, particularly in clay subgrades, agricultural drainage is installed to the upstream perimeter of the building at a distance from the building which is outside the zone of influence of the footings. The agricultural drain must be installed below the fluctuating seasonal zone which should be identified by geotechnical investigation.

F7. UNLESS OTHERWISE APPROVED. Excavations near new or existing footings shall not be within the footing influence line.



CONCRETE

- C1. All workmanship and materials shall be in accordance with AS 3600.
C2. Concrete quality shall be as follows and shall be verified by tests.
C3. All concrete unless otherwise noted shall have a slump of 80mm at point of placement, a max. aggregate size of 20 mm.
No water shall be added to the mix prior to or during placement of concrete. Strength as specified on plans.

4. Clear concrete cover to reinforcement shall be as follows unless otherwise shown-

ELEMENT	INTERIOR	EXTERIOR	EXTERIOR CAST AGAINST GROUND
FOOTINGS	-	-	50
COLUMNS/PEDESTALS	30 UNO	REFER TO PLAN	-
SLABS/WALLS	25	REFER TO PLAN	40 ON MEMBRANE
BEAMS	25 UNO	REFER TO PLAN	50
BLOCKWORK	55	FROM APPROPRIATE FACE	

BLOCKWORK

- BL1. Concrete blocks shall have a minimum compressive strength of 15 MPa and conform to AS 1500. Masonry to be constructed to AS 3700.
- BL2. Where cores of hollow blocks are to be filled, properly compacted 20MPa concrete with 10 mm aggregate and 250 mm slump shall be used. Clean out openings must be utilized for all cores.
- BL3. Location of actual starters is critical to suit block cores, allow 55 mm cover from the outside face of blockwork. All reinforcement lap lengths to conform to AS 3600.
- BL4. Control joints to be placed at a maximum of 8 m centres or in accordance with AS 3700.
- BL5. Vertical control joint material where specified on plan between slabs and brick walls shall be: 10 mm Spandex External UNO.
Bituminastic Fibreboard Internal UNO.

to be of Double "U" Block Construction.

- BL7. No blockwork shall be constructed on suspended slabs until all propping has been removed from the underside of the slab and the concrete has the specified 28 day cylinder strength verified by tests, unless approved by the Structural Engineer.

STEEL

51. All Structural steelwork to be Grade 300 or greater.
52. Design, fabrication and erection to be in accordance with AS 4100.
53. Materials and workmanship shall comply with AS 1250 - 1981, SAA Steel Structures Code and the specification for Structural Steel.
54. Rolled steel sections including steel plates shall comply with AS 3678-1990
55. Cold formed steel sections shall be Grade 450 Zinc coated in accordance with AS 1538-1990
56. Welded and seamless steel hollow sections shall comply with AS 1163 Grade 350

- 4.8S – Commercial bolts grade 4.6, snug tightened.
8.6S – High Strength structural bolts grade 8.8, snug tightened.
8.6TB – High Strength structural bolts grade 8.8, fully tightened to AS 1511
and acting as a Bearing Joint.
8.6TF – High Strength structural bolts grade 8.8, fully tensioned to AS 1511
and acting as a Bearing Joint.
Unless shown otherwise, all bolts will be 8.8S.
57. Unless shown otherwise, minimum connection shall be 2116 bolts, 10 thick
gusset plates, 6mm continuous fillet welds.
58. Load indicating washers shall be used in all fully tensioned joints.
(8.6TF & 8.6TB)

- S10. Structural Steel Welding Code.
S10. Welding shall be performed in accordance with AS 1554 SAA
Structural Steel Welding Code.
S10. All bolts welded otherwise all welds shall be category SP using E49X electrodes.
S11. Unless noted shall be complete penetration butt welds category SP.
S11. Gouging of anchor bolt sleeves and base plates shall be completed by the contractor using High Strength, Non-Strick joint.
S12. Fabrication and erection tolerances for Structural Steelwork shall be in accordance with AS 4100
S13. Purlin bolts shall be M12 – 4.6S galvanised.
S14. Steel work shall have one of the following grades of corrosion protection:-
INTERNAL

- d. Thoroughly cleaned wire brushing, followed by two coats of zinc phosphite primer equivalent to Dulux Luxaprimed applied by hand using brushes to achieve a total dry film thickness of 70 microns.
- EXTERNAL ELEMENTS, & ELEMENTS WITHIN SKIN OF EXTERNAL CAVITY WALLS GREATER THAN 2 km FROM SEA WATER:
- b. Preparation Blast clean to a minimum standard Class 2.5 in accordance with AS 1627 Part 4.

- c. Hot dipped galvanized to AS 4680.
Where the galvanic (Hot Dip Galvanized) coating is compromised by welding, bolting or damage, two pack zinc rich epoxy primer (Dulux Zincoxide 202) is to be applied after wire brushing affected area (Use 3 coats minimum) or Hot Metal Spray in accordance with AS 4680.
- PAINTING OVER HOT DIP GALVANISED STEEL:**
Degrease and preparation whip blast. Application of a general purpose epoxy (Dulux Duremax GPE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns EXTERNAL ELEMENTS, & ELEMENTS WITHIN EITHER SKIN OF EXTERNAL CAVITY SHALLS LESS THAN 2 km AND GREATER THAN 200m FROM SEA WATER.

- Application of a two part zinc rich epoxy primer (Dulux Zincmate 402) thickness 75 microns. Application of a general purpose epoxy (Dulux Duramex GPE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns

- e. Hot dipped galvanised (Hot Dip Galvanised) coating is galvanised by welding, where the galvanic (Hot Dip Galvanised) coating is galvanised by welding, bolting or damage, two pack zinc rich epoxy primer (Dulux Zincoride 202) is to be applied after wire brushing affected area (use 3 coats minimum) or Hot Metal spray in accordance with AS 4680.
- PAINTING OVER HOT DIP GALVANISED STEEL:
- Degrease and preparation whip blast. Application of a general purpose epoxy (Dulux Duramax GPE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HER) thickness 100 microns
515. Workshop drawings shall be prepared and two copies submitted to the engineer for review prior to fabrication commencement.

TIMBER

- T. All wearstripping and materials to be in accordance with AS 1684, AS 1720 and as 3964. All soft wood to be Grade F7 unless noted otherwise. All hardwood to be minimum Grade F14 unless otherwise noted. Exposed timber to be CCA treated (to AS 1604) redried after full impregnation, or durability class 1, 2 or 3.
- ALL SOFTWOOD TIMBER FRAMING TO HAVE A MINIMUM TREATMENT PROTECTION OF H2 OR T2 TREATED FOR TERMITE PROTECTION UNLESS NOTED OTHERWISE.

- T2. All joists deeper than 150 to have blocking over supports and a maximum 3000 centres.
- T3. Roof trusses to be designed by the manufacturer to the relevant standards. Pire camber to be an amount equal to dead load deflection unless otherwise noted..
- T4. All holes for bolts to be exact size. Washers to be used under all heads and nuts and to be at least 2.5 times the bolt diameter. Bolts to be M16 grade 4.6 unless noted otherwise.

15. Treat all exposed cut ends with Reseal by Proform to manufacturers specification to achieve required Hazard Level Exposure Classification.
16. Batdens for T & G to be Kln Dried to 12 %, 39mm minimum, deep treated pine or as recommended by supplier. Flooring to be installed no sooner than 28 days after slab pour.

- T10. Treated at 450 °C/s and moggings to AS 1684.

COMPACTED FILL

- CF2. Clear organic material, topsoil and any uncontrolled existing fill under proposed slabs/footings.

- C3. Filling shall be granular material compacted in not more than 200 mm layers to a minimum dry density ratio (A5 1299/E4.2 1982) of 98 percent standard maximum dry density.

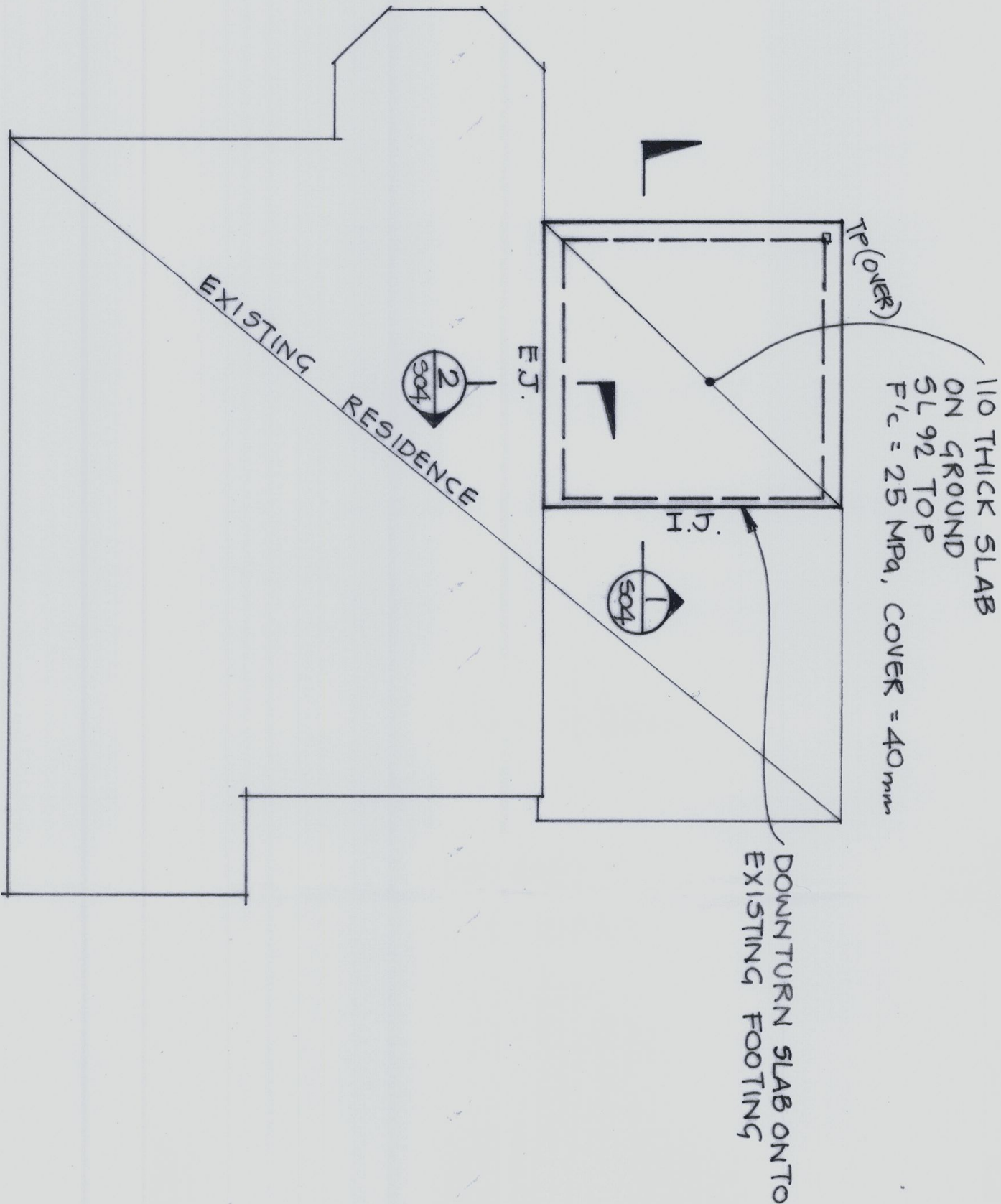
INSPECTIONS BY ENGINEER

1. Bearing struts of all footings prior to concrete pour by Geotechnical Engineer.
 2. Any reinforcement framing prior to concrete pour.
 3. Timber and Steel framing prior to cladding or lining.
 4. Steel lintels after installation.
 5. CONTACT YOUR PCA (Principal Certifying Authority) AS TO REQUIREMENTS FOR MANDATORY CRITICAL SPACE INSPECTIONS IN ACCORDANCE WITH REVISED EPA ACT REGULATIONS EFFECTIVE JULY 1, 2004.
- Inspection by Geotechnical Engineer over 1.5m of vertical cut through Sandstone bed rock to permit identification of defects and remedial measures initiated.

ASSUMED FOUNDATION CLASSIFICATION FOR DESIGN PURPOSES - 1st ASSUMED BEARING STRATA FOR DESIGN PURPOSES - CLAY, 150 kPa. CONTRACTOR TO ENGAGE GEOTECHNICAL CONSULTANT TO VERIFY FOUNDATION CLASSIFICATION FOUNDATION CLASSIFICATION AND BEARING CAPACITY VERIFICATION TO BE OBTAINED IF CERTIFICATION OF THESE ITEMS IS REQUIRED.

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- NOTES:**
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SLAB PLAN

1:100

A3

DOCUMENT CERTIFICATION

Date: Sept 12
Rick G. Wray
BE(Civil)/CPENG/MEAus., NPER
(Director Northern Beaches Consulting Engineers P/L)

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Architect: RAPID PLANS

Client:
P. & S. WHITFIELD

Project: 2 VALLEY VIEW CT, WARRIEWOOD

Drawing Title:
SLAB PLAN

Date:
SEPT. '12

Design:
B.S.

Drawn:
LFC

Checked:
[Signature]

Job No:

12 0905

Drawing No:

502

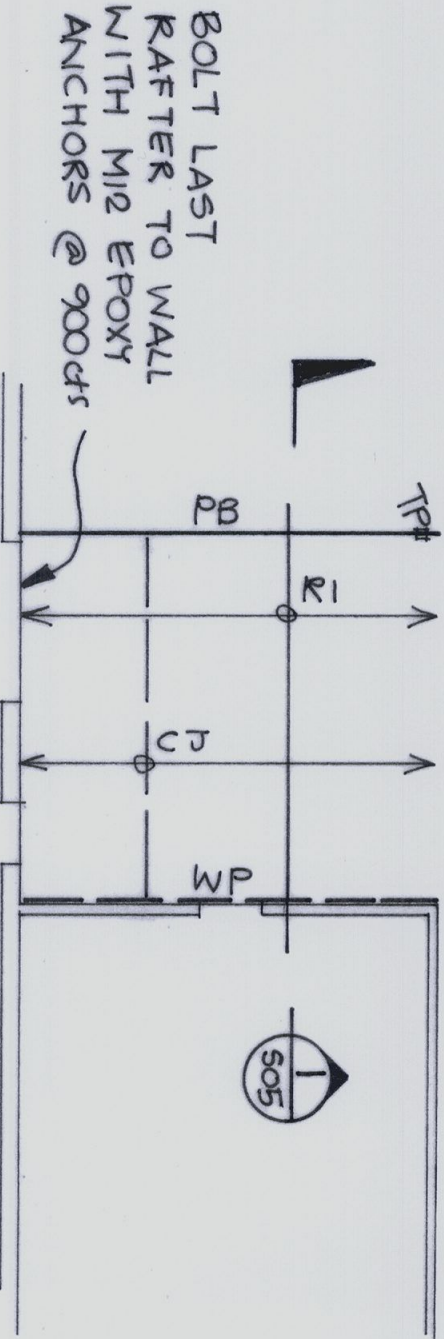
Rev:

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ROOF FRAMING PLAN

1:100

REFER DRGS 505 & 506 FOR CONNECTION DETAILS.

R1 : 190 x 45 MGP 10 RAFTERS @ 450c/s
OR 240 x 45 MGP 10 RAFTERS @ 600c/s
(H3 TREATED IF EXPOSED)

R2 : 300 x 75 LVL H3 TREATED & PAINTED
OR LINED OR 180 PFC HOT DIP GALVANISED

CJ : 90 x 45 MGP 10 CEILING JOISTS @ SAME
SPACING AS RAFTERS, HUNG AT MIDSPAN
FROM RAFTERS

WP : 90 x 45 MGP 10 WALL PLATE +
M12 EPOXY ANCHORS @ 900c/s

TP : 90 x 90 F17 HW POST
(NATURAL DURABILITY CLASS 2)

IF IN DOUBT ASK

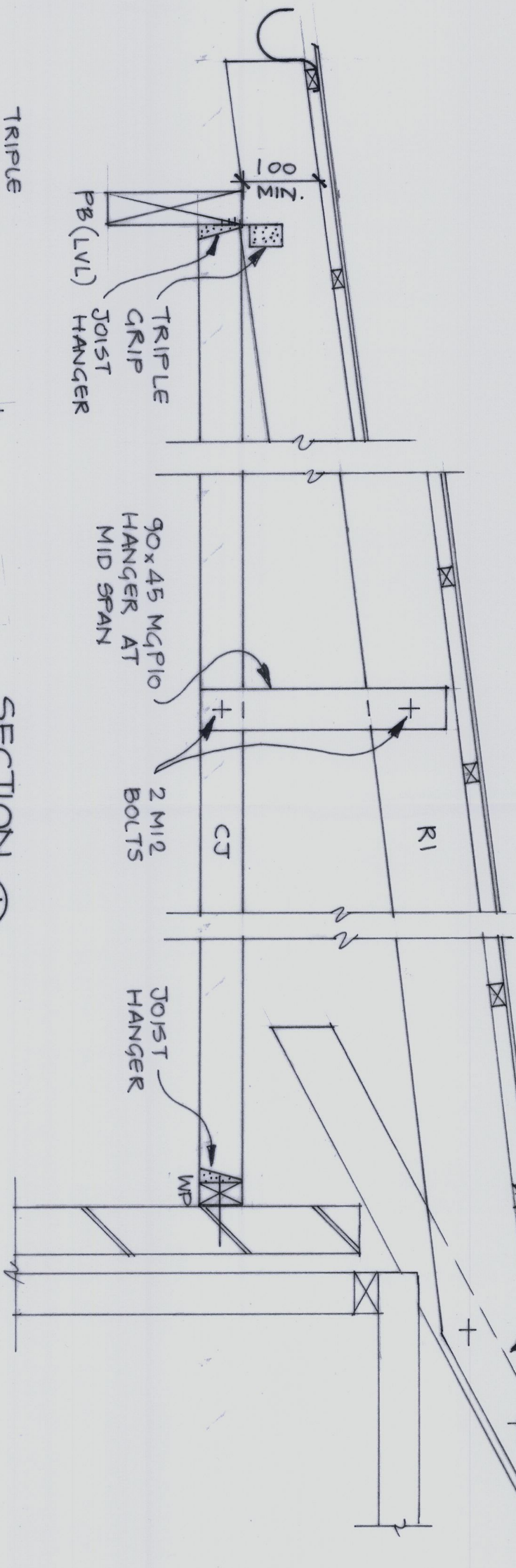


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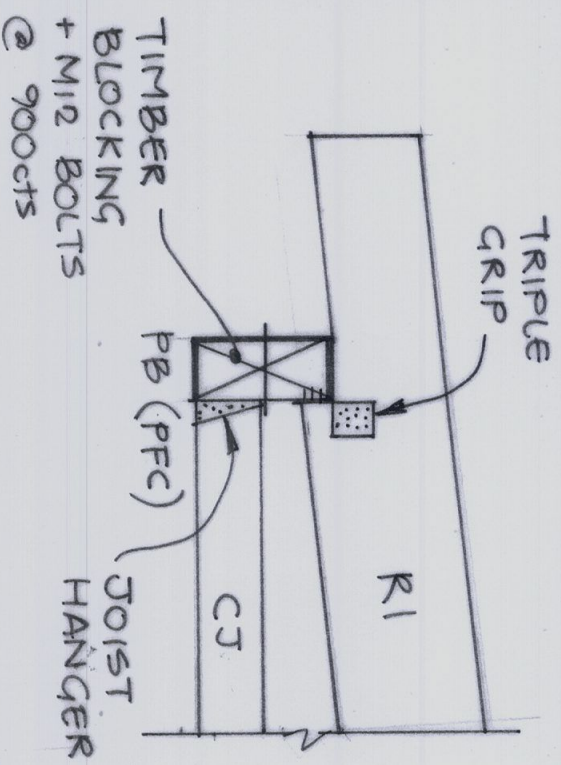
A3		DOCUMENT CERTIFICATION		NORTHERN BEACHES Consulting Engineers P/L		Architect		Project		Date		Design		Drawn		Checked	
		Date : <i>Sept 12</i>		ACN 076 121 616 ABN 24 076 121 616		RAPID PLANS		2 VALLEYVIEW CT, WARRIEWOOD		SEPT. 12		B.S.		LFC		<i>RL</i>	
		By: <i>Rick G. Mory</i>		Suite 207, 30 FISHER ROAD		P. & S. WHITEFIELD		ROOF FRAMING PLAN		Job No:		120905		503			
		Rev:		DEE WHY N.S.W. 2099													
		Amendment		Ph: (02) 9984 7000 Fax: (02) 9984 7444													
				e-mail: nb@nbconsulting.com.au													
				web page: www.nbconsulting.com.au													
				The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L													

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SECTION 1
1:10
S03



IF IN DOUBT ASK

A3		DOCUMENT CERTIFICATION		NORTHERN BEACHES Consulting Engineers P/L.		Architect: RAPID PLANS		Project: 2 VALLEYVIEW CT, WARRIEWOOD		Date: SEPT. 12		Design: B.S.		Drawn: LFC		Checked: R/W	
Date:	Rev:	Amendment:	By:	The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L.		Client: P. & S. WHITEFIELD		Drawing Title: FRAMING SECTIONS SHEET 1.		Job No: 120905		Drawing No: 505		Rev:			
		Date: Sept 12		Rick G. Whoy		A.C.N. 078 121 616 A.B.N. 24 076 121 616		Suite 207, 30 FISHER ROAD		DEE WHIT N.S.W. 2099		Ph: (02) 9984 7000 Fax: (02) 9984 7444		e-mail: nb@nbconsulting.com.au		web page: www.nbconsulting.com.au	
		BE(Civil), CPENG, MEAust., NPER.		(Director Northern Beaches Consulting Engineers)													

