

- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES, THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF BELLEVARE CONSTRUCTIONS PTY LTD.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (db 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
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- THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
REGISTERED SURVEYOR BOSSI NUMBER 1462.....

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 6902
R.L. 51.412 (CLASS LB)
SOURCE: S.C.I.M.S. (25/02/2022)

1	FIRST ISSUE	4/05/2022
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CLIENT:
BELLEVARE CONSTRUCTIONS PTY LTD
No.PO BOX 4320
MANUKA, NSW, 2603

BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 248 IN DP16362
No.337 WHALE BEACH ROAD
PALM BEACH, NSW, 2108

C.M.S. Surveyors
Pty Limited

ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

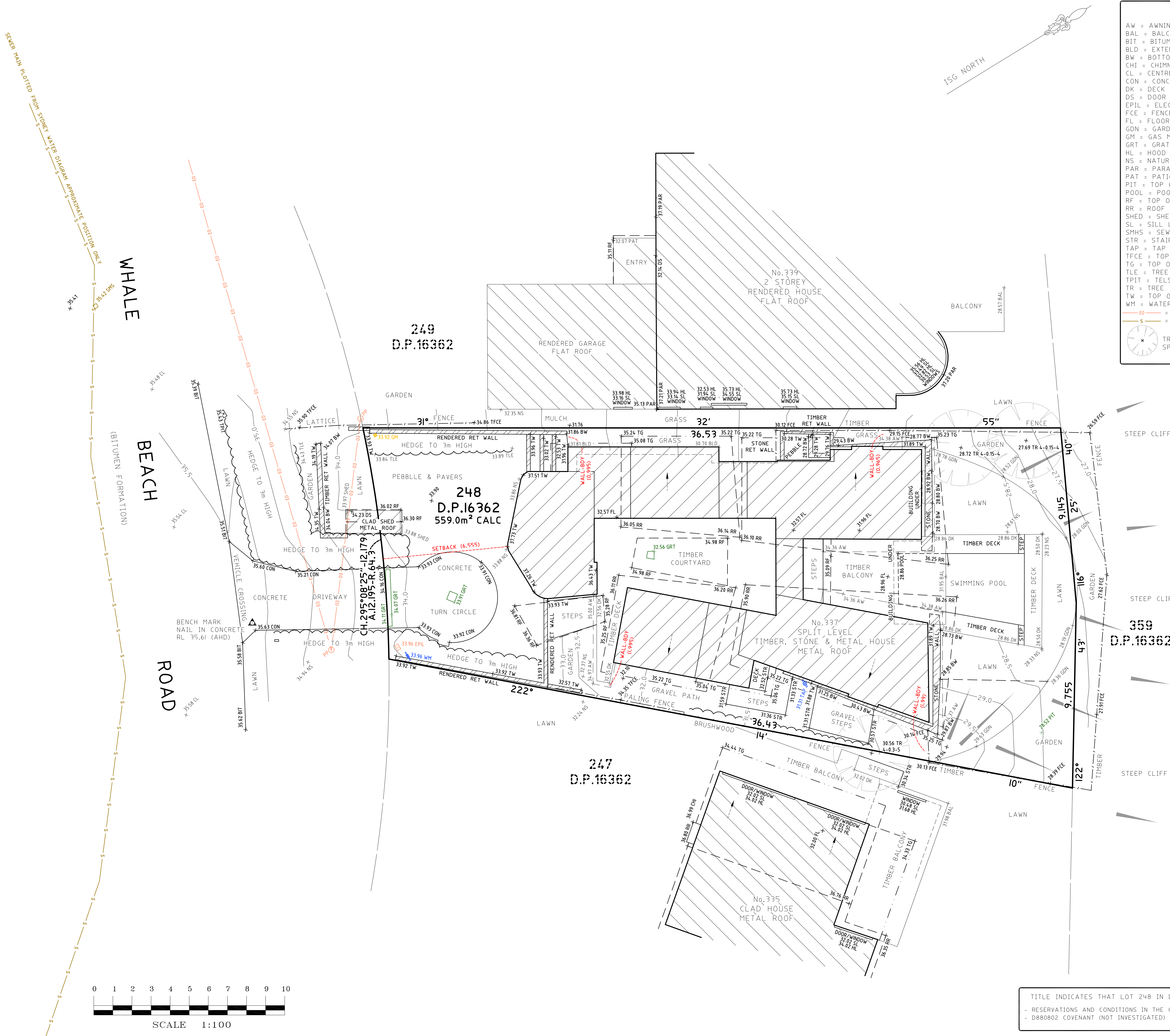
SURVEYED HH	DRAWN ABS	CHECKED HH	APPROVED MDL
SURVEY INSTRUCTION 21158A	SCALE 1:100 @ A1 1:200 @ A3	DATE OF SURVEY 28/04/2022	
DRAWING NAME 21158Adetail	CAD FILE 21158Adetail 1.dwg	ISSUE 1	

LEGEND:

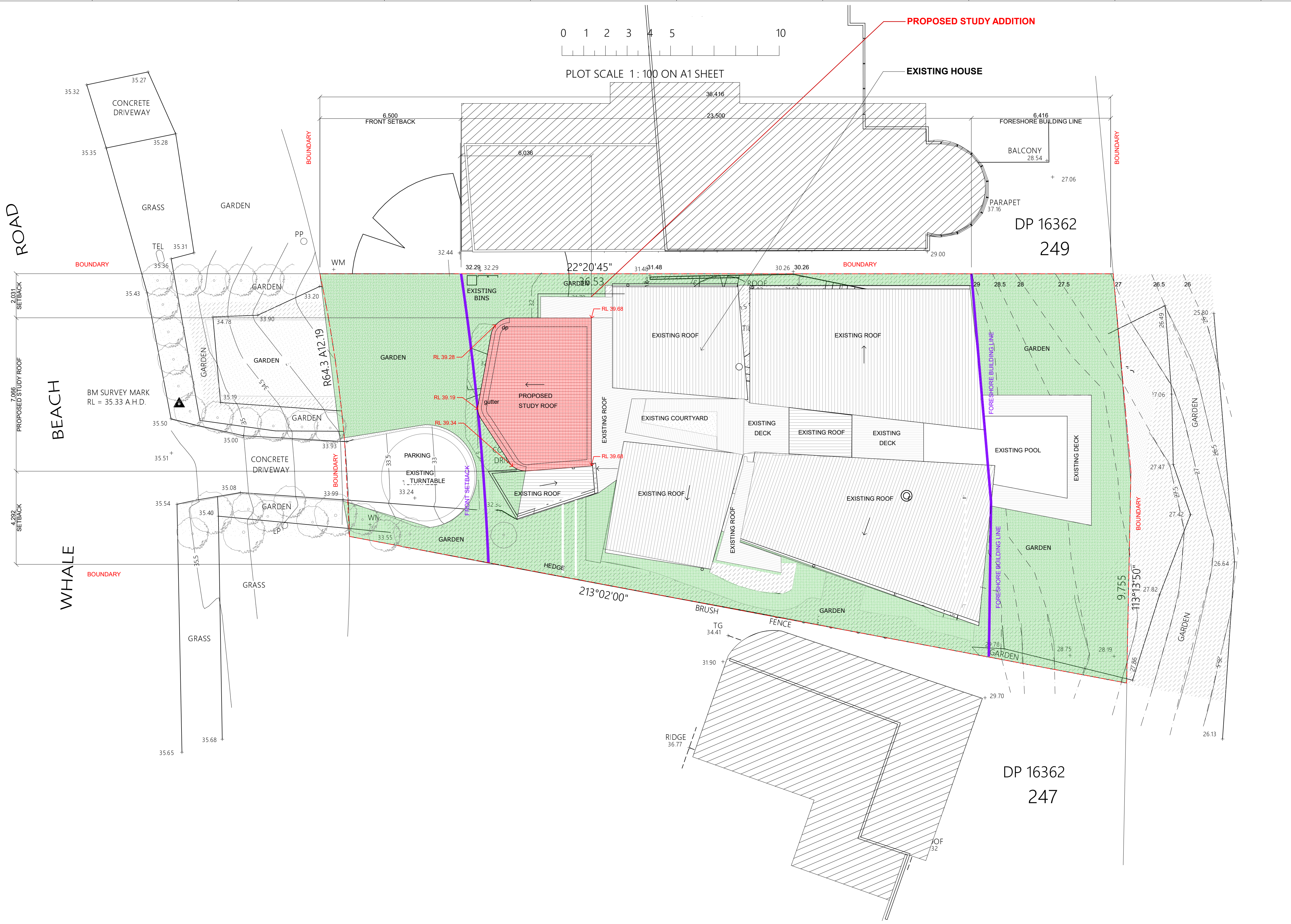
AW = AWNING
BAL = BALCONY
BIT = BITUMEN
BLD = EXTERNAL BUILDING
BW = BOTTOM WALL
CHT = CHIMNEY
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
EPIL = ELECTRICITY PILLAR
FCE = FENCE
FL = FLOOR LEVEL
GDN = GARDEN
GM = GAS METER
GRT = GRATE
HL = HOOD LEVEL
NS = NATURAL SURFACE
PAR = PARAPET
PAT = PATIO
PIT = TOP OF PIT
POOL = POOL
RF = TOP OF ROOF
RR = ROOF RIDGE
SHED = SHED
SL = SILL LEVEL
SMHS = SEWER MAN HOLE SQUARE
STR = STAIRS
TAP = TAP
TFCE = TOP OF FENCE
TG = TOP OF GUTTER
TLE = TREE LINE
TPIT = TELSTRA PIT
TR = TREE
TW = TOP OF WALL
WM = WATER METER

— E0 — = ELECTRICITY OVERHEAD
— S — = SEWER UNDERGROUND

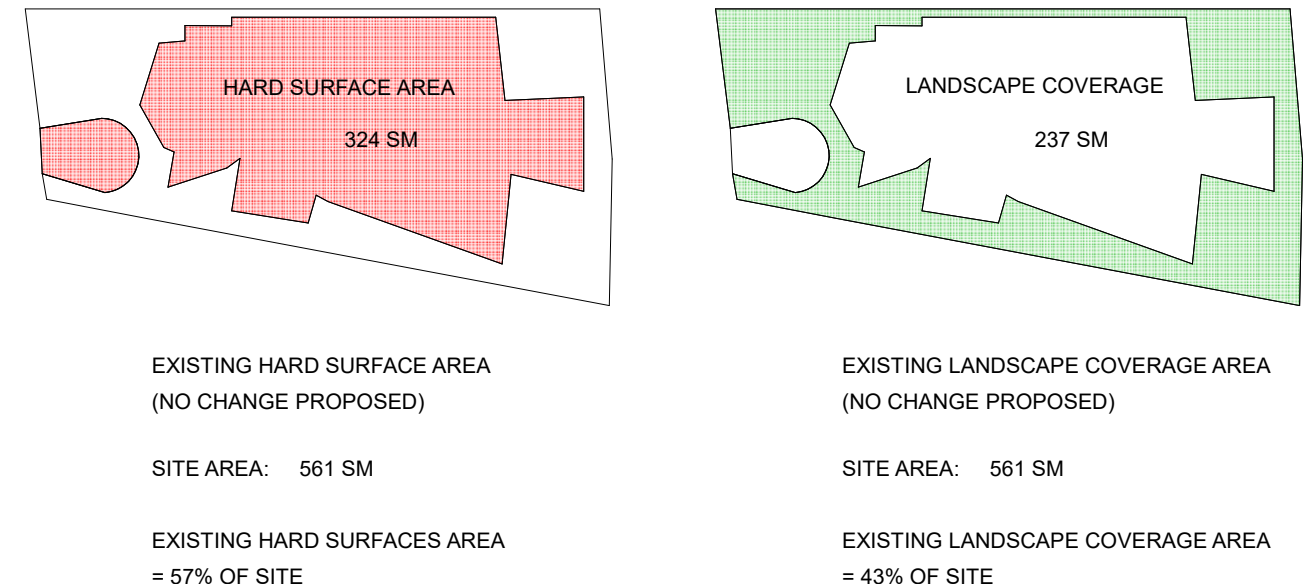
TREE
SPREAD-DIAMETER-HEIGHT



TITLE INDICATES THAT LOT 248 IN D.P.16362 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- D880802 COVENANT (NOT INVESTIGATED)



1 ROOF / SITE PLAN 1:100



PROJECT LOCATION

SITE INFORMATION:

GROSS SITE AREA: 561 SM
AREA OF EXISTING BUILDING: 270 SM
LANDSCAPED AREA: 237 SM
AREA OF PROPOSED STUDY: 23 SM

PROPOSED NEW WORKS

STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM

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architecture

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East Sydney NSW 2010
Tel: 61 2 9360 7977
Fax: 61 2 9360 2123
Email: cb@caseybrown.com.au

Project

STUDY ADDITION

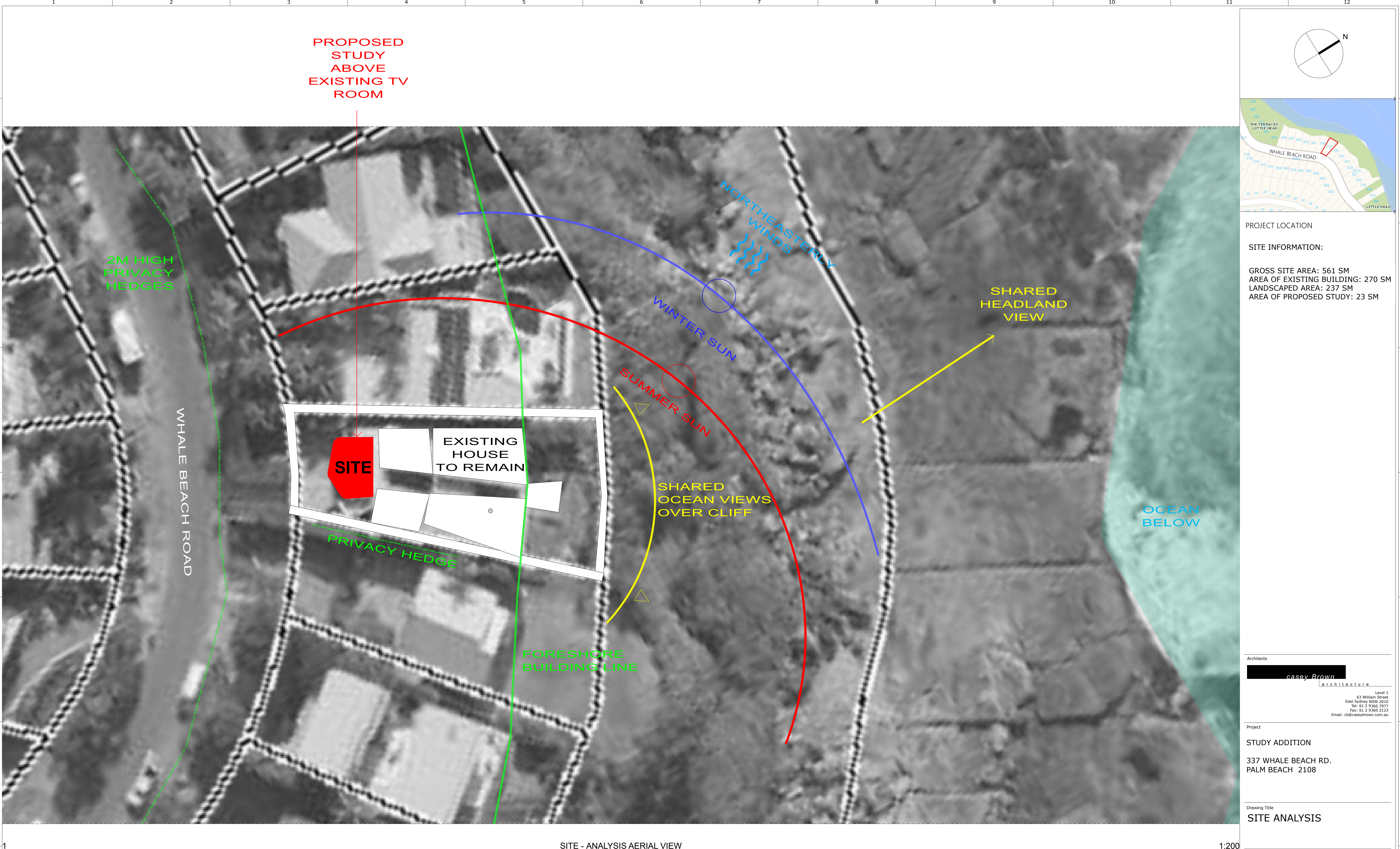
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title

SITE / ROOF PLAN

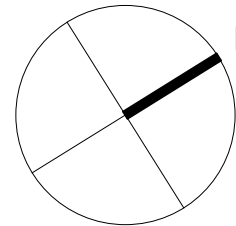
Drawing No.	Revision No.
DA2	
Plot Date	Project No.
10/05/2022	C6608
Scale	
Reviewed	Approved

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SITE - ANALYSIS AERIAL VIEW

1:200



PROJECT LOCATION

SITE INFORMATION:

GROSS SITE AREA: 561 SM
AREA OF EXISTING BUILDING: 270 SM
LANDSCAPED AREA: 237 SM
AREA OF PROPOSED STUDY: 23 SM

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STUDY ADDITION

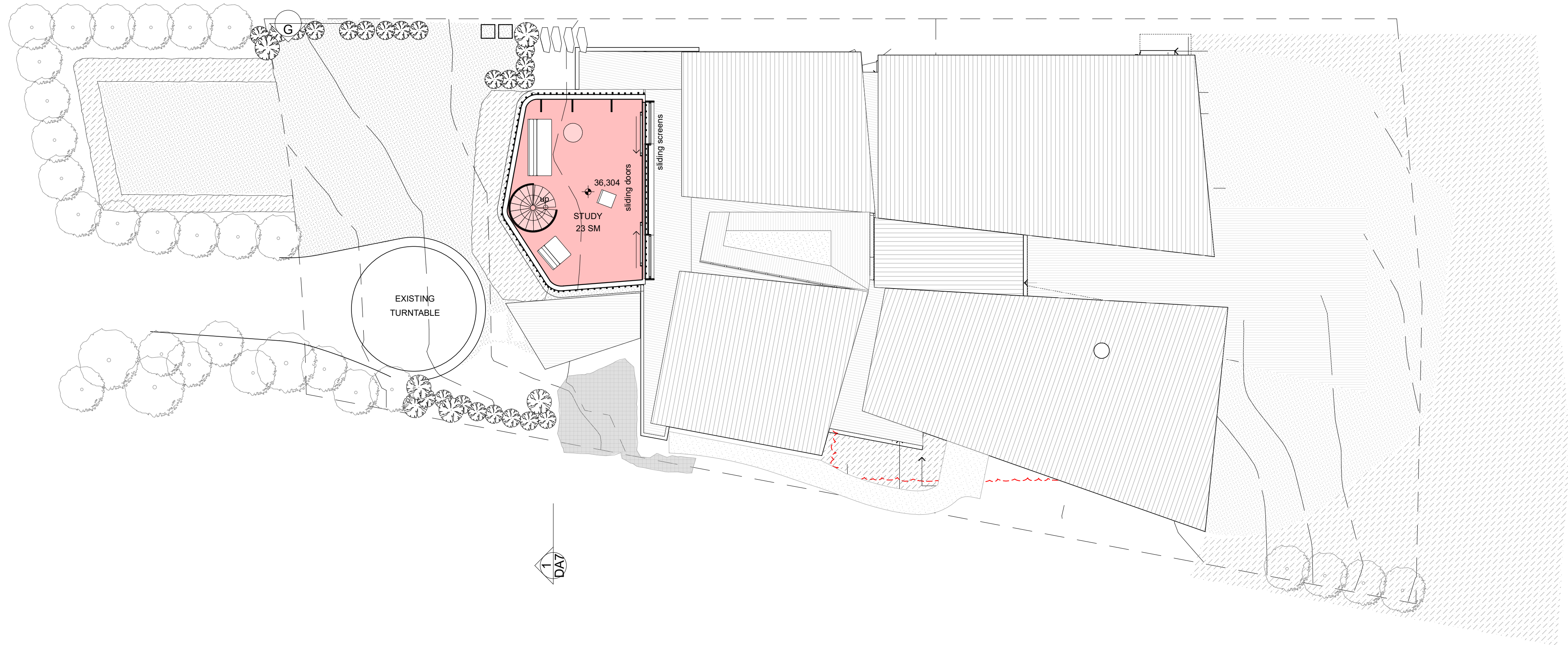
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title

SITE ANALYSIS

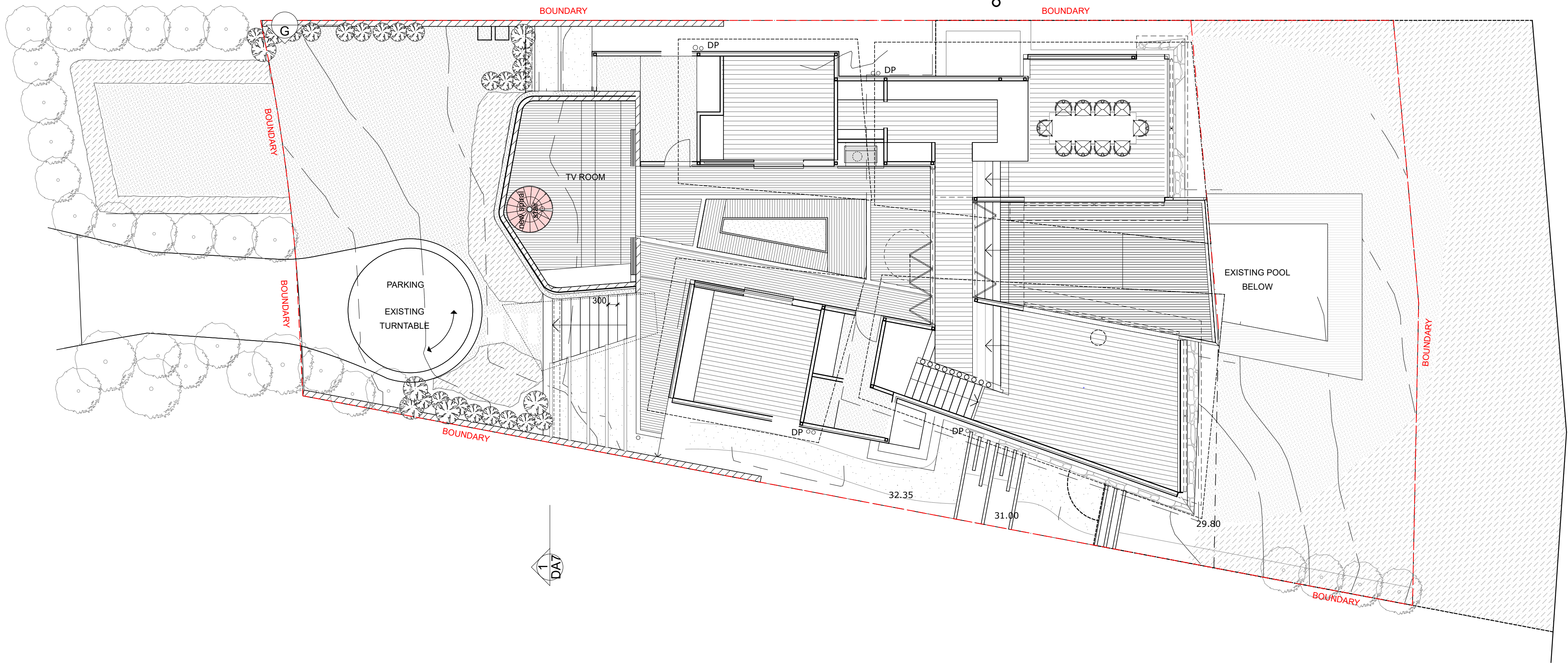
Drawing No. DA3	Revision No.
Plot Date 10/05/2022	Project No. C6608
Scale	
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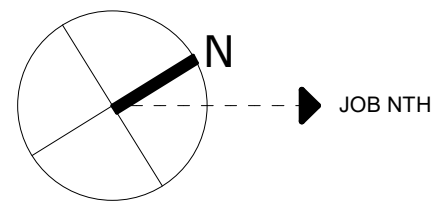
ROOF / SITE PLAN

1:100

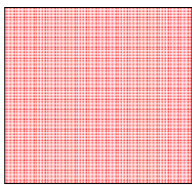


ROOF / SITE PLAN

1:100



PROJECT LOCATION



PROPOSED NEW WORKS
STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM

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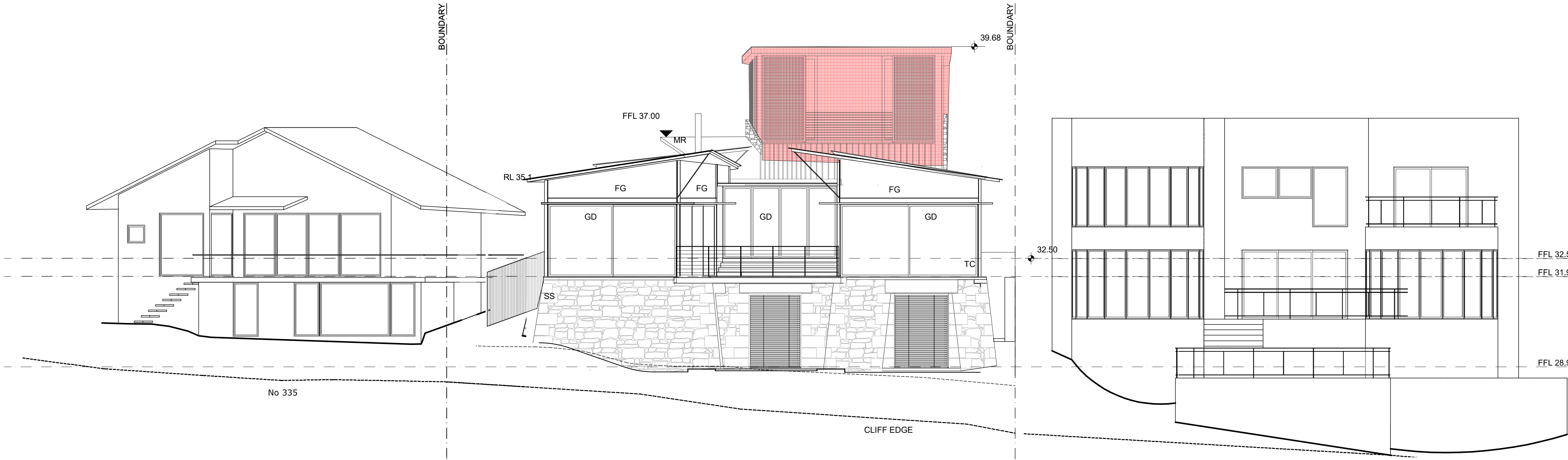
Project
STUDY ADDITION
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title
FLOOR PLANS

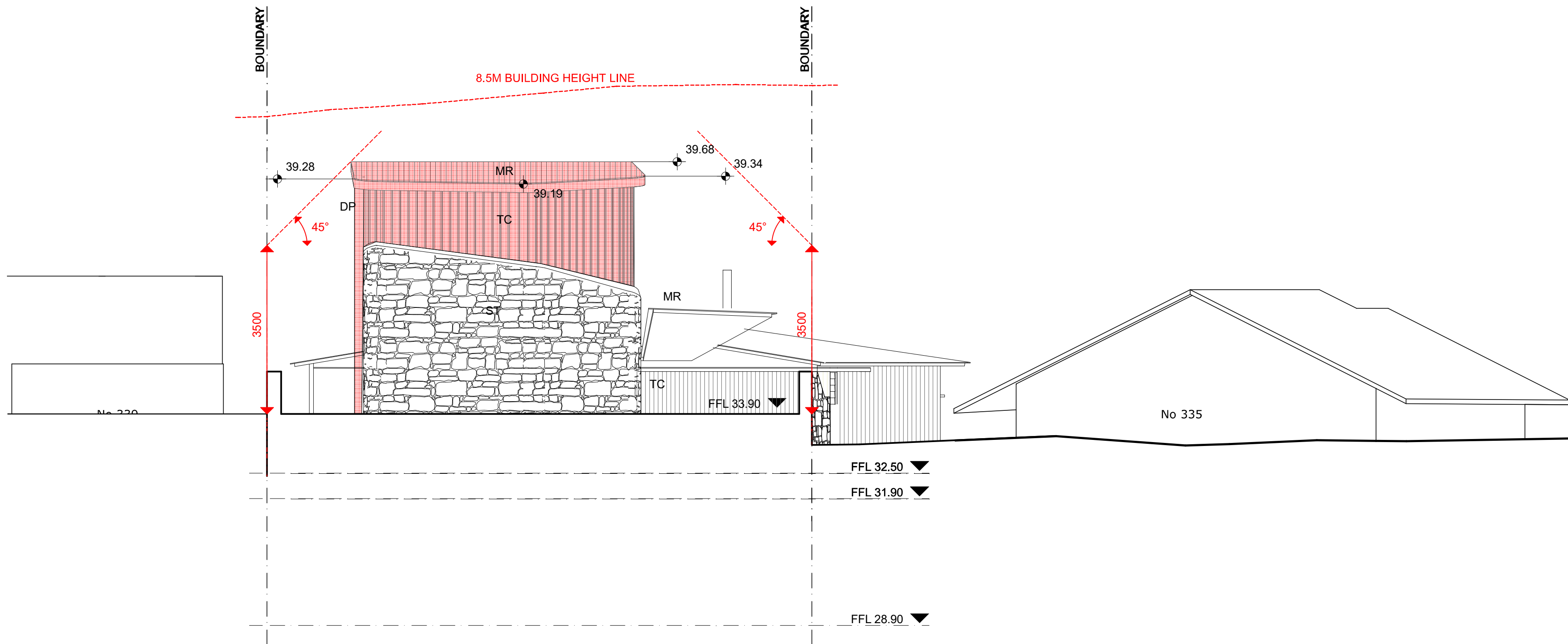
Drawing No. DA4	Revision No. J
Plot Date 10/05/2022	Project No. C6608

Scale	
Reviewed	Approved

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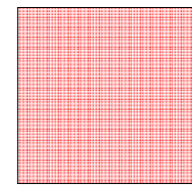
NORTH ELEVATION



SOUTH ELEVATION



PROJECT LOCATION



PROPOSED NEW WORKS

STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM

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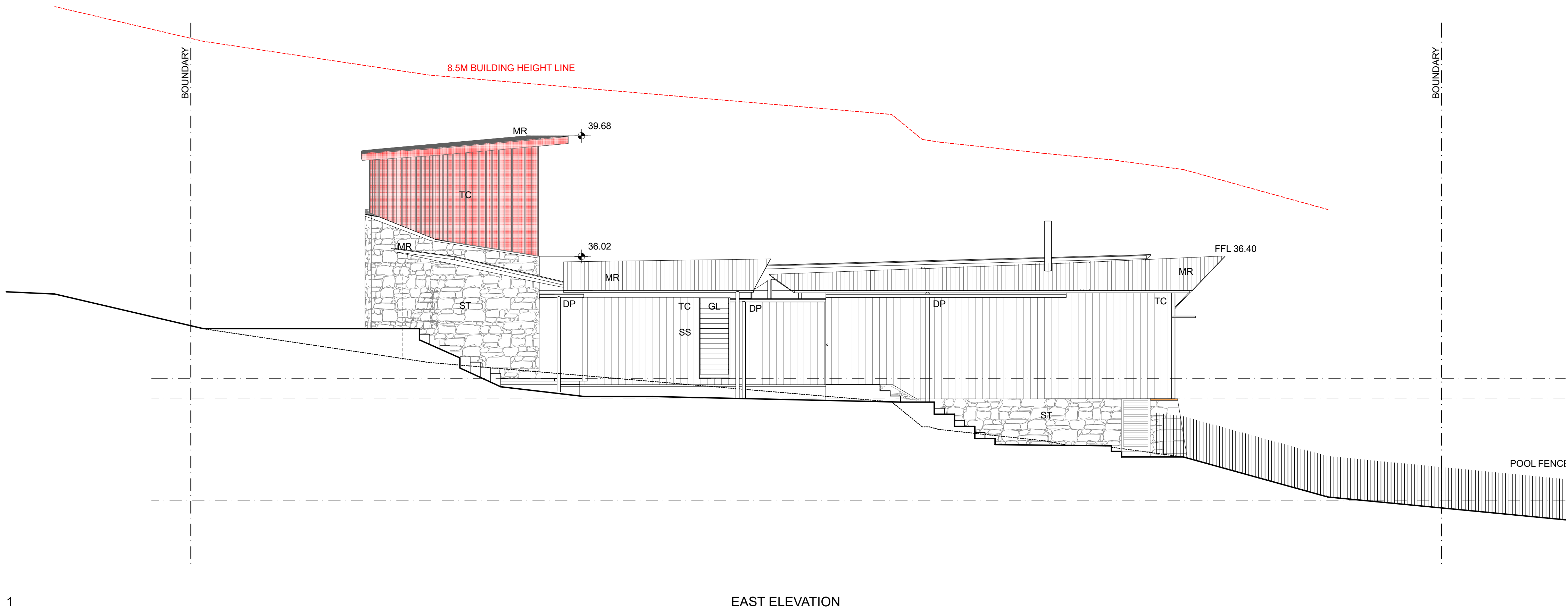
Project
STUDY ADDITION
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title
ELEVATIONS

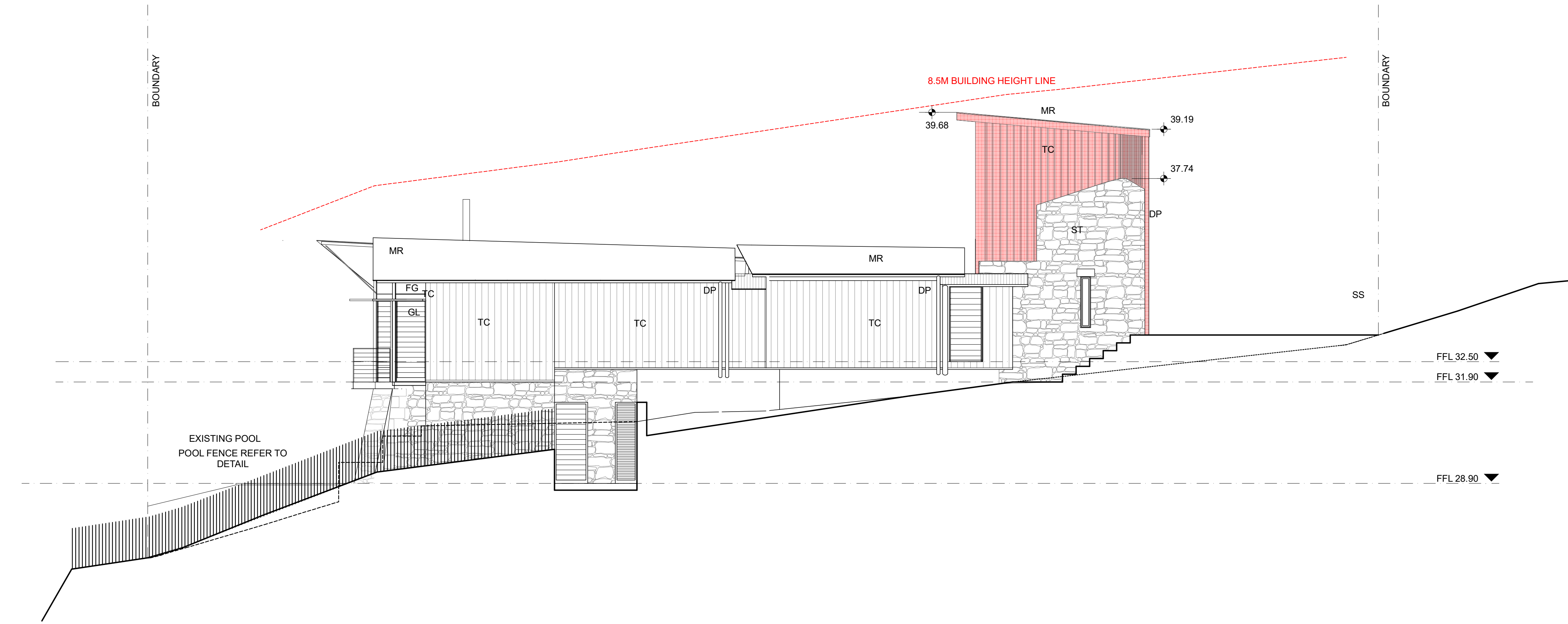
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Plot Date 10/05/2022	Project No. C6608

Scale	
Reviewed	Approved

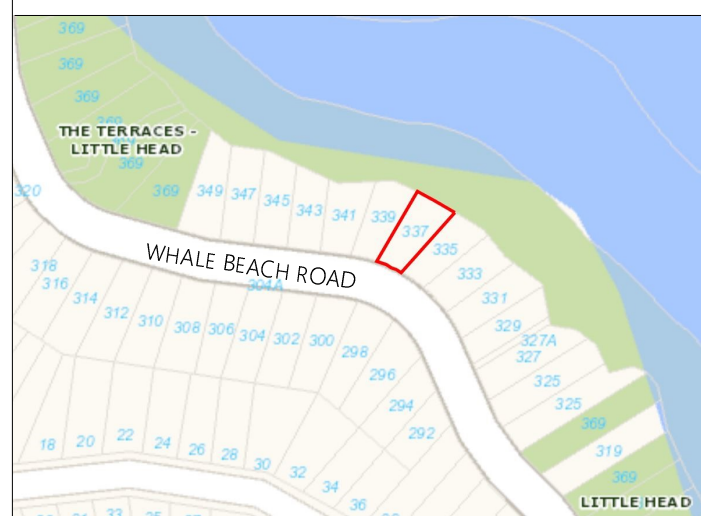
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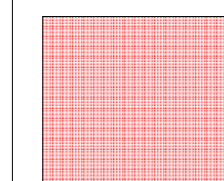
EAST ELEVATION



WEST ELEVATION



PROJECT LOCATION



PROPOSED NEW WORKS
STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM

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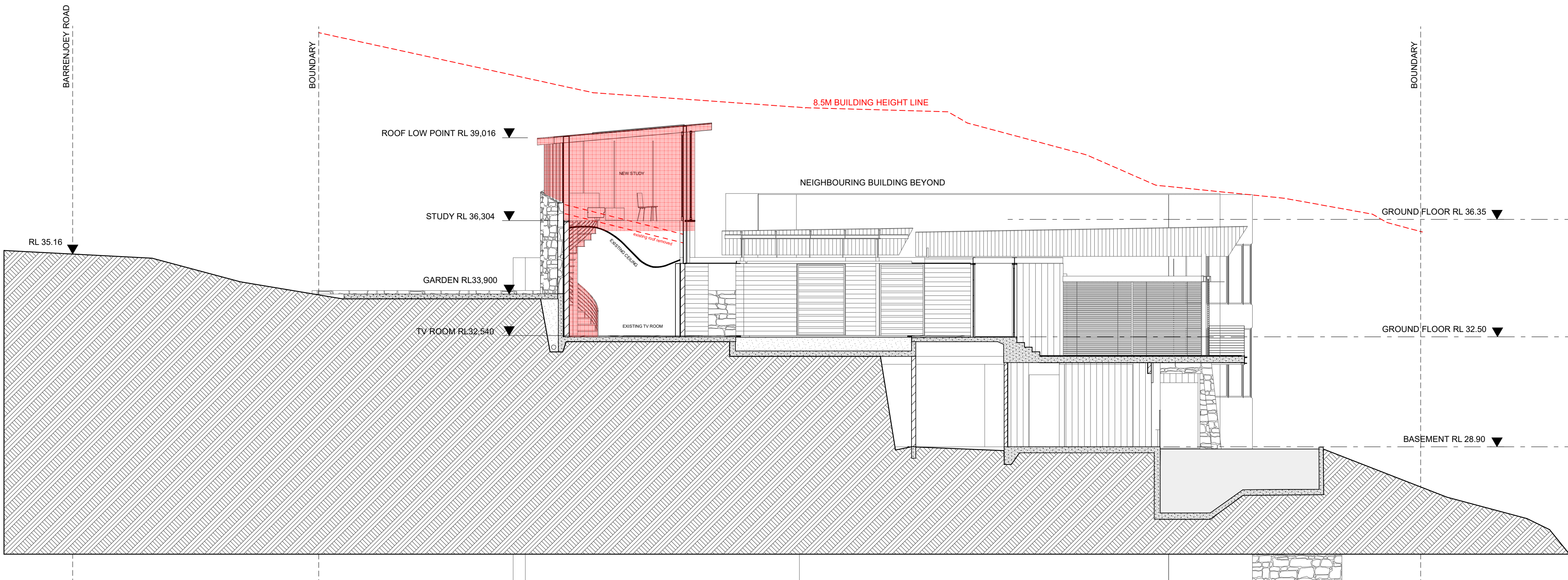
Project
STUDY ADDITION
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title
ELEVATIONS

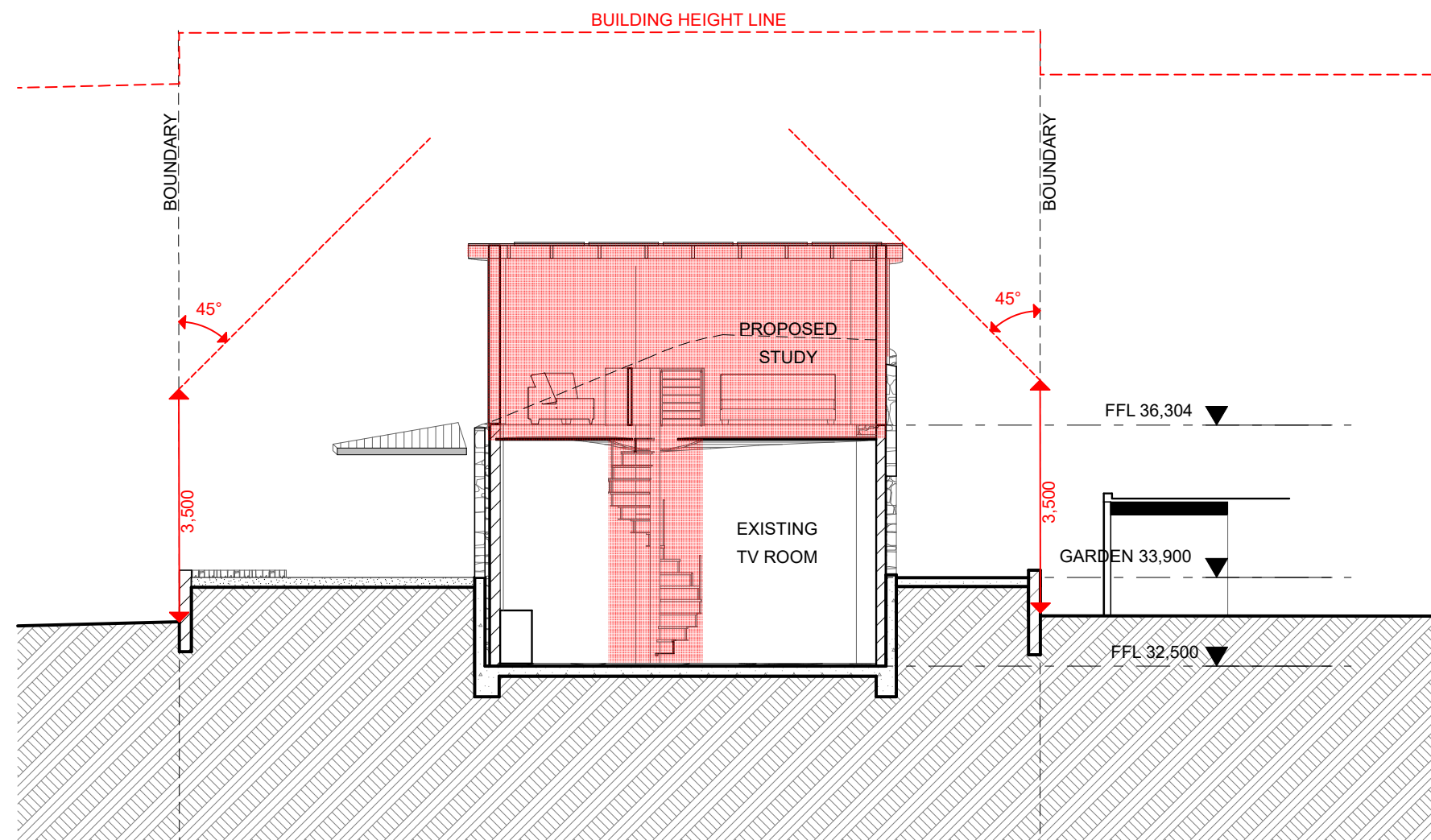
Drawing No. DA6	Revision No. G
Plot Date 10/05/2022	Project No. C6608

Scale	
Reviewed	Approved

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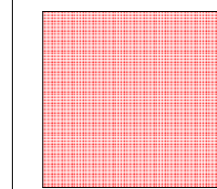
2 LONGITUDINAL SECTION LOOKING EAST 1:100



1 CROSS SECTION LOOKING SOUTH 1:100



PROJECT LOCATION



PROPOSED NEW WORKS
STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM

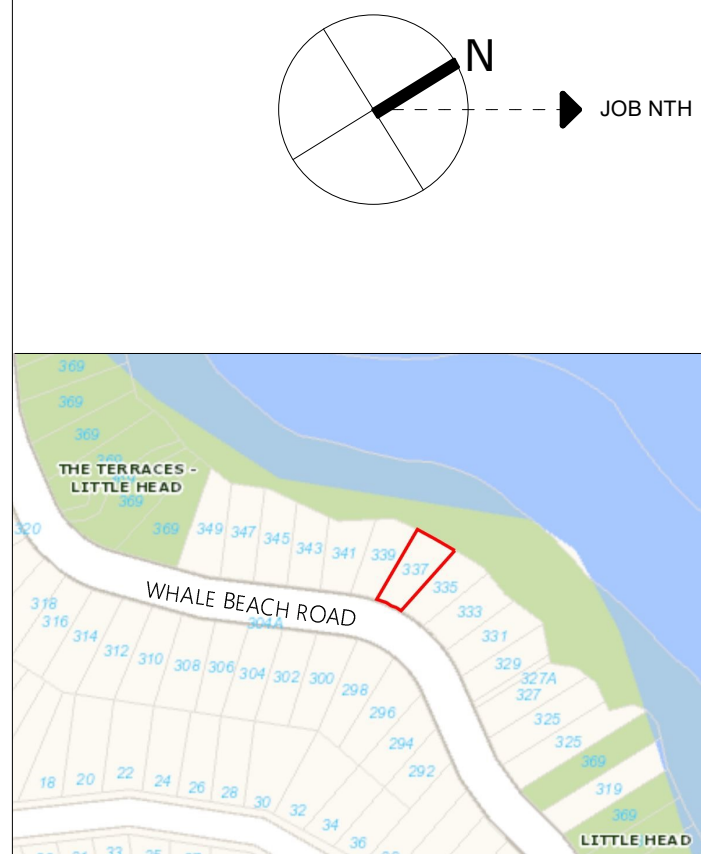
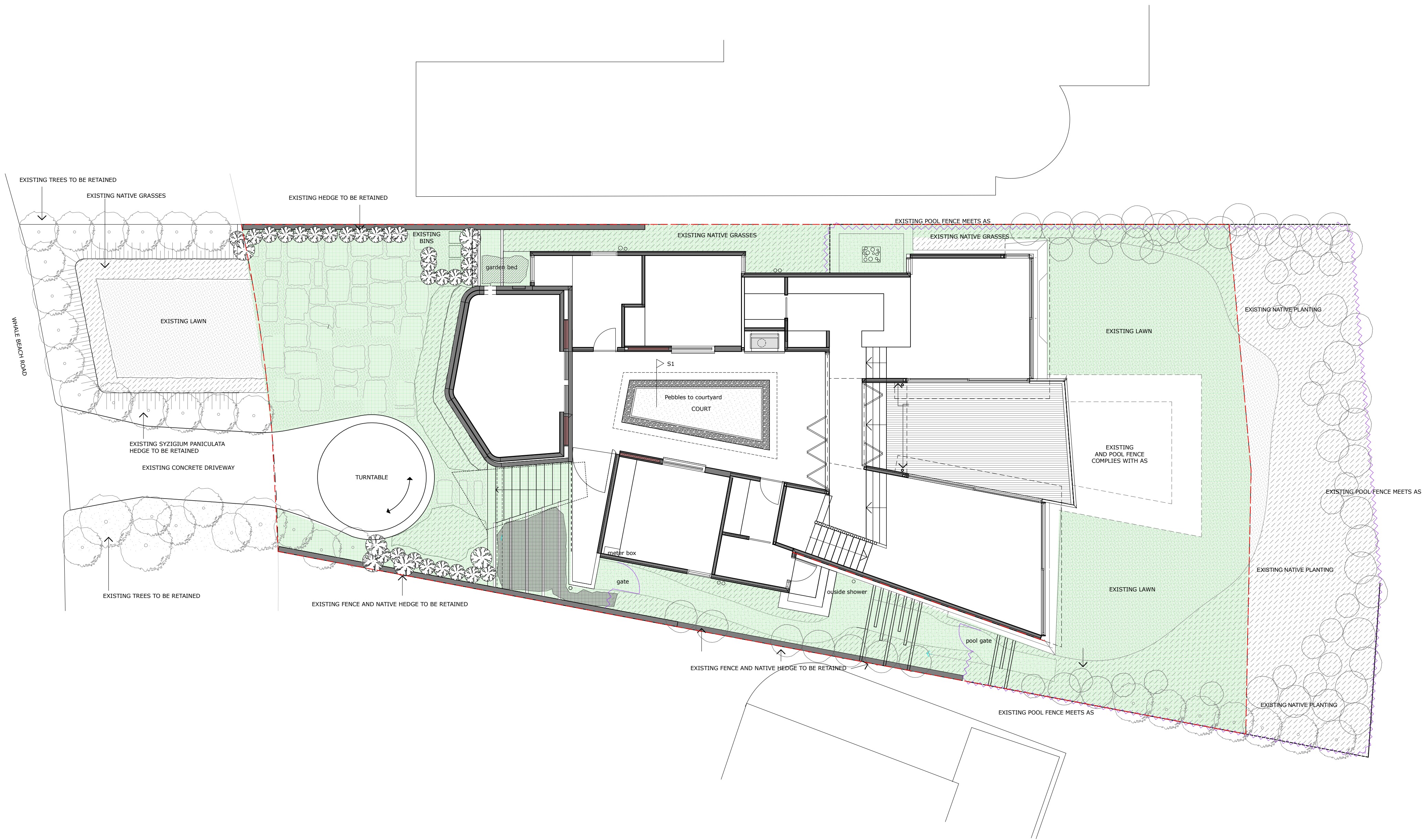
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Project
STUDY ADDITION
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title
SECTIONS A & B

Drawing No. DA7	Revision No. C
Plot Date 10/05/2022	Project No. C6608

Scale	
Reviewed	Approved



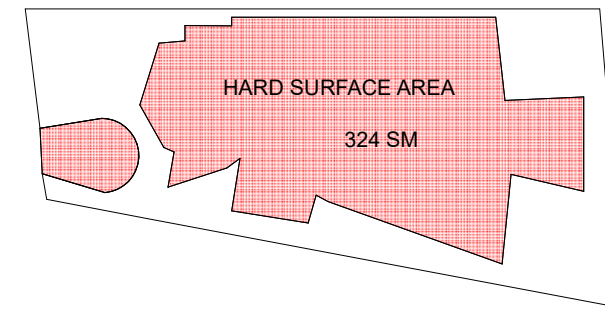
PROJECT LOCATION

EXISTING NATIVE LANDSCAPING TO REMAIN - NO GROUND WORKS PROPOSED

1

LANDSCAPE PLAN AT GROUND FLOOR

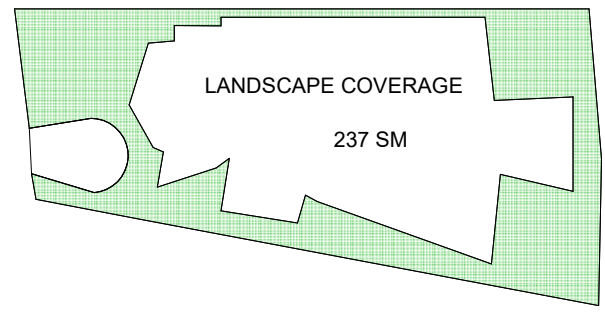
1:100



EXISTING HARD SURFACE AREA
(NO CHANGE PROPOSED)

SITE AREA: 561 SM

EXISTING HARD SURFACES AREA
= 57% OF SITE



EXISTING LANDSCAPE COVERAGE AREA
(NO CHANGE PROPOSED)

SITE AREA: 561 SM

EXISTING LANDSCAPE COVERAGE AREA
= 43% OF SITE

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Project
STUDY ADDITION
337 WHALE BEACH RD.
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Drawing Title
LANDSCAPE PLAN

Drawing No. DA8	Revision No. D
Plot Date 10/05/2022	Project No. C6608
Scale	
Reviewed	Approved

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Construction Notes

- Construct sediment fence as close as possible to parallel to the contours of the site.
- Drive 1.5 metre long star pickets into ground, 2.5 metres apart (max.).
- Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
- Fit self-supporting geotextile to outside side of posts with wire ties or as recommended by geotextile manufacturer.
- Join sections of fabric at a support post with a 150 mm overlap.
- Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE **SD 6-8**

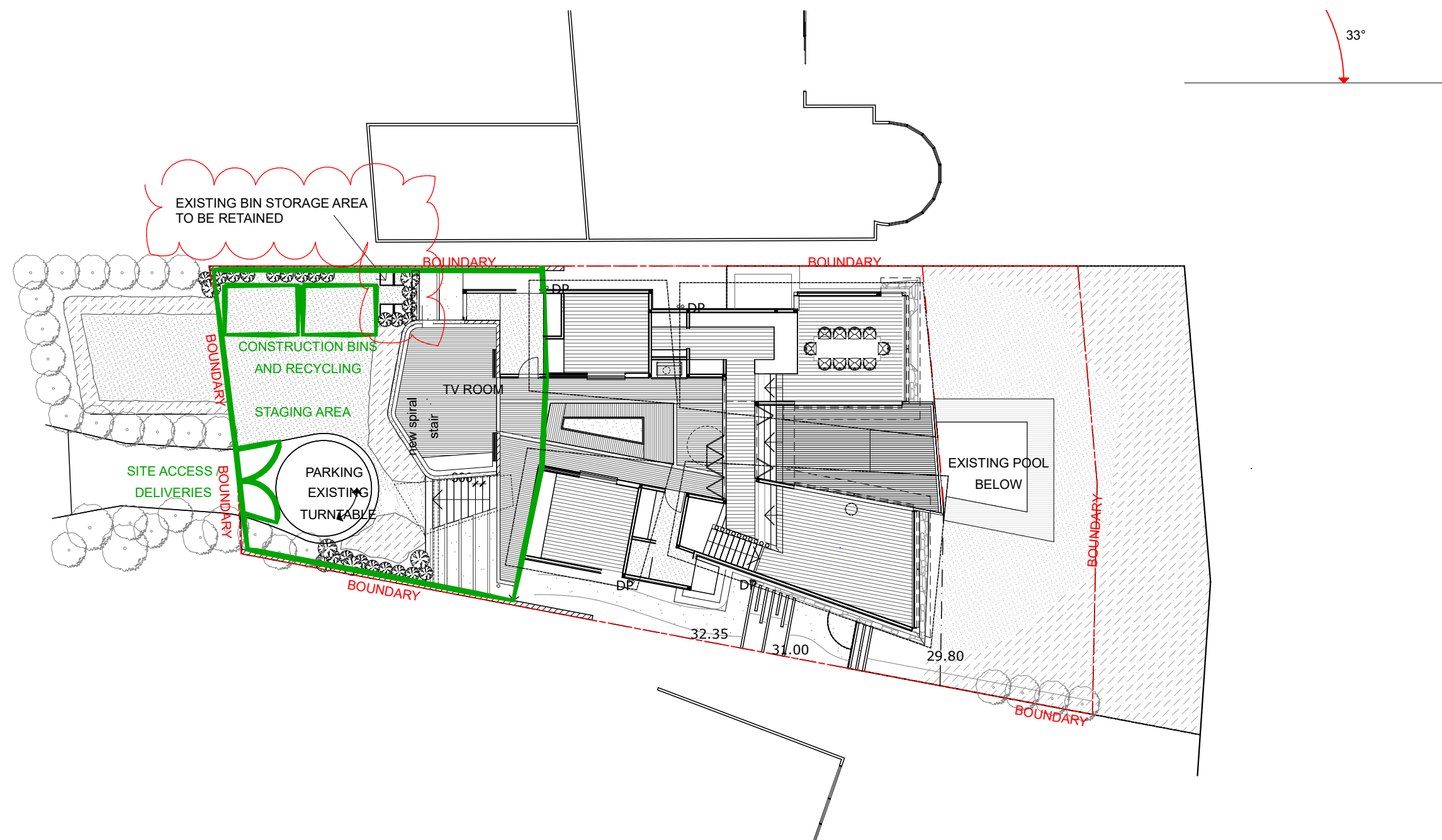
Construction Notes

- Strip topsoil and level site.
- Compact subgrade.
- Cover area with needle-punched geotextile.
- Construct 200 mm thick pad over geotextile using roadbase or 30 mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
- Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

STABILISED SITE ACCESS **SD 6-14**

1 SEDIMENT CONTROL PLAN 1:200

NOTE: NO CUT OR FILL PROPOSED. PROPOSED WORKS ENTIRELY ABOVE A PORTION OF THE EXISTING TV ROOM STRUCTURE



2 WASTE MANAGEMENT PLAN 1:200

PROJECT LOCATION

SITE INFORMATION:

GROSS SITE AREA: 561 SM
AREA OF EXISTING BUILDING: 270 SM
LANDSCAPED AREA: 237 SM
AREA OF PROPOSED STUDY: 23 SM

LEGEND

CHANGES TO DA ISSUE

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Project

STUDY ADDITION

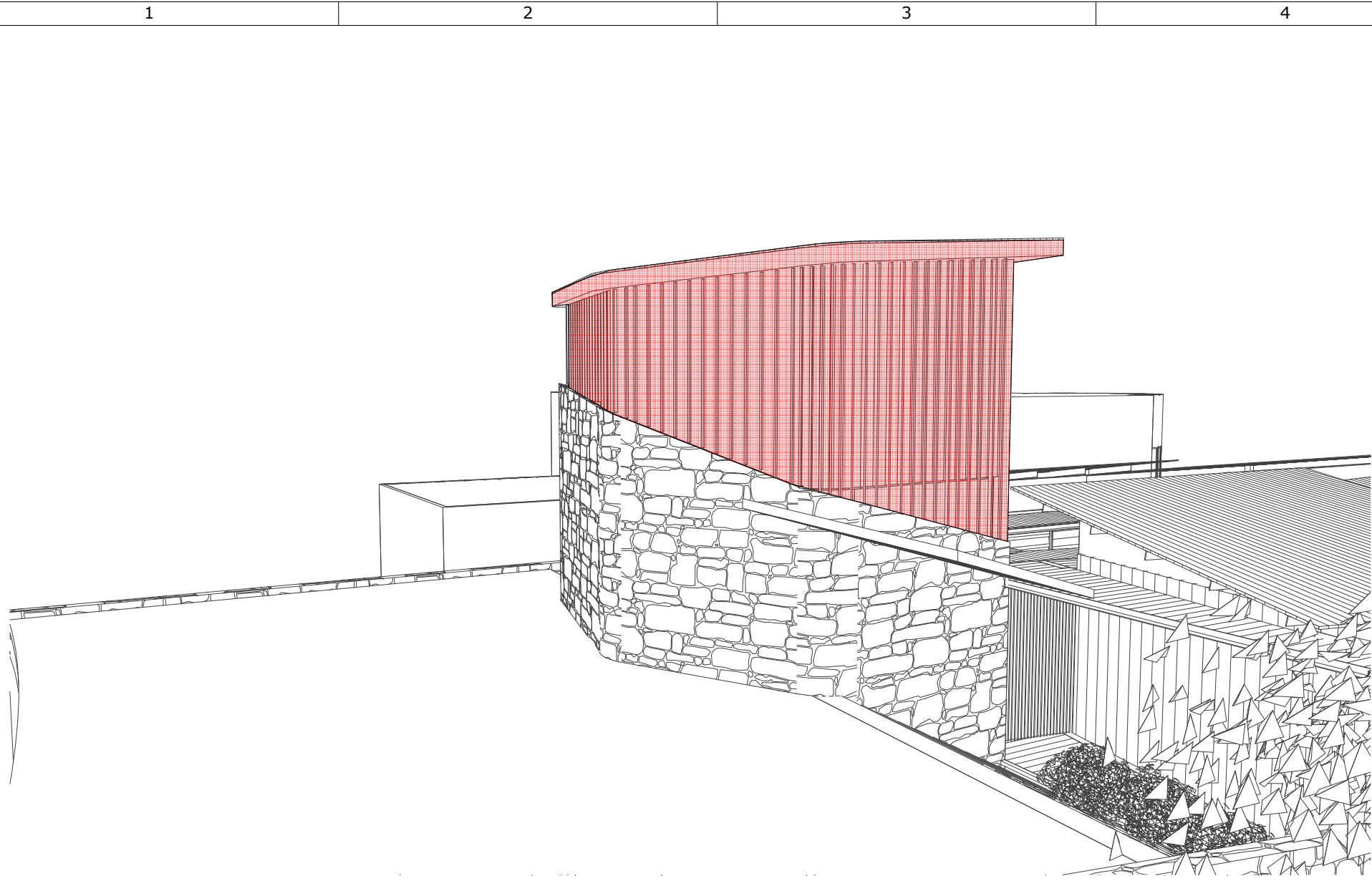
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title

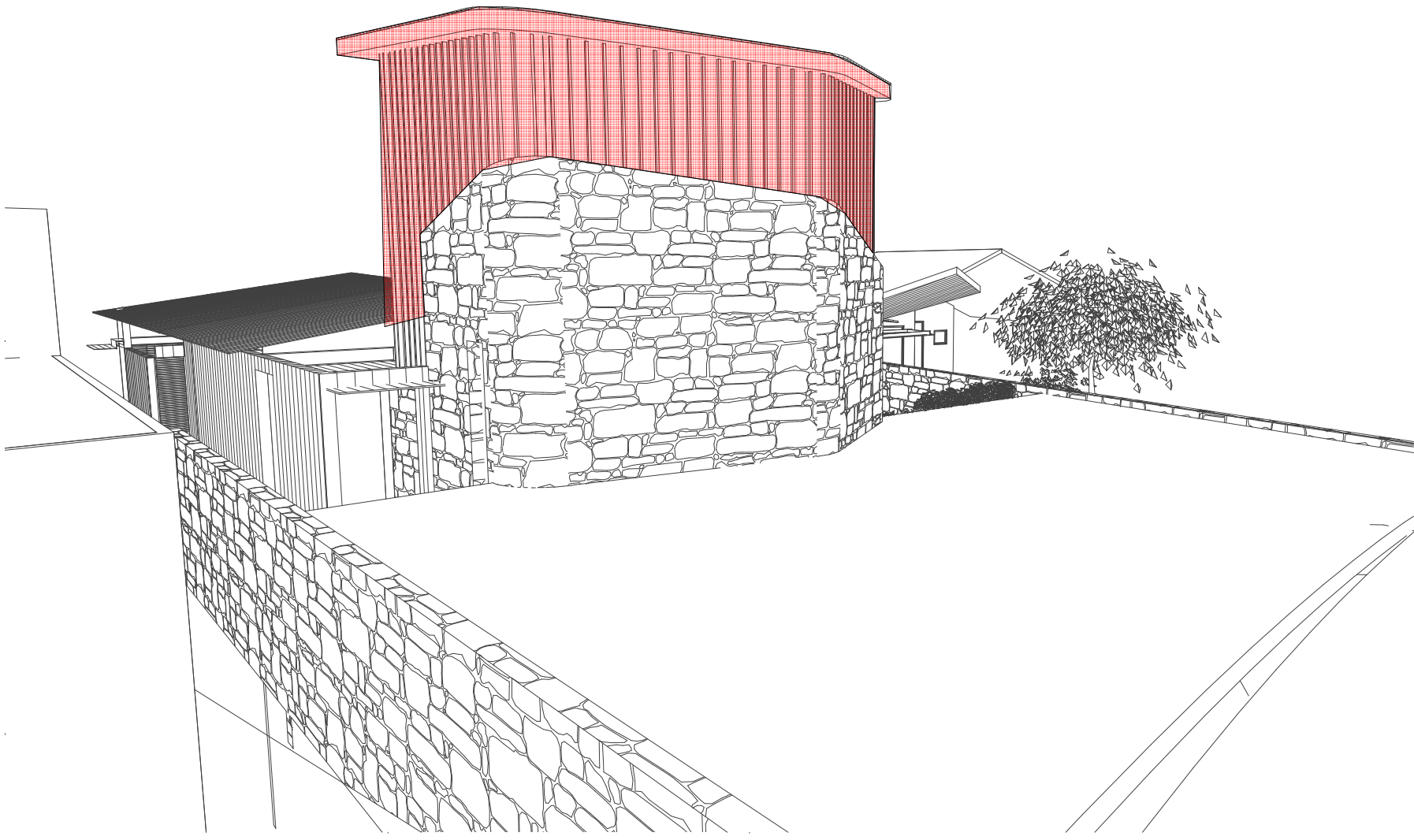
**SEDIMENT CONTROL AND
WASTE MANAGMENT PLANS**

Drawing No.	Revision No.
DA9	A
Plot Date	Project No.
3/06/2022	C6608
Scale	
Reviewed	Approved

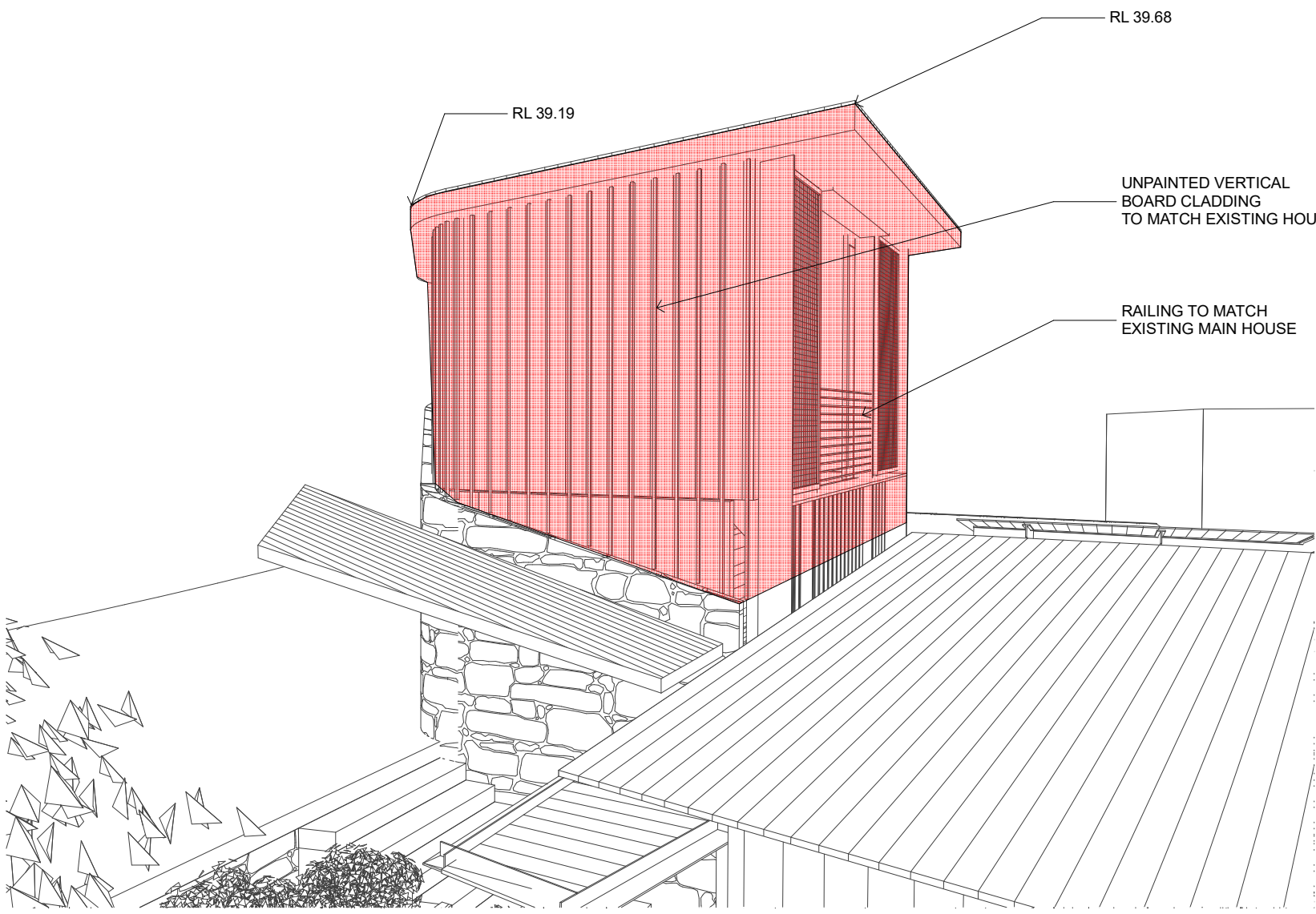
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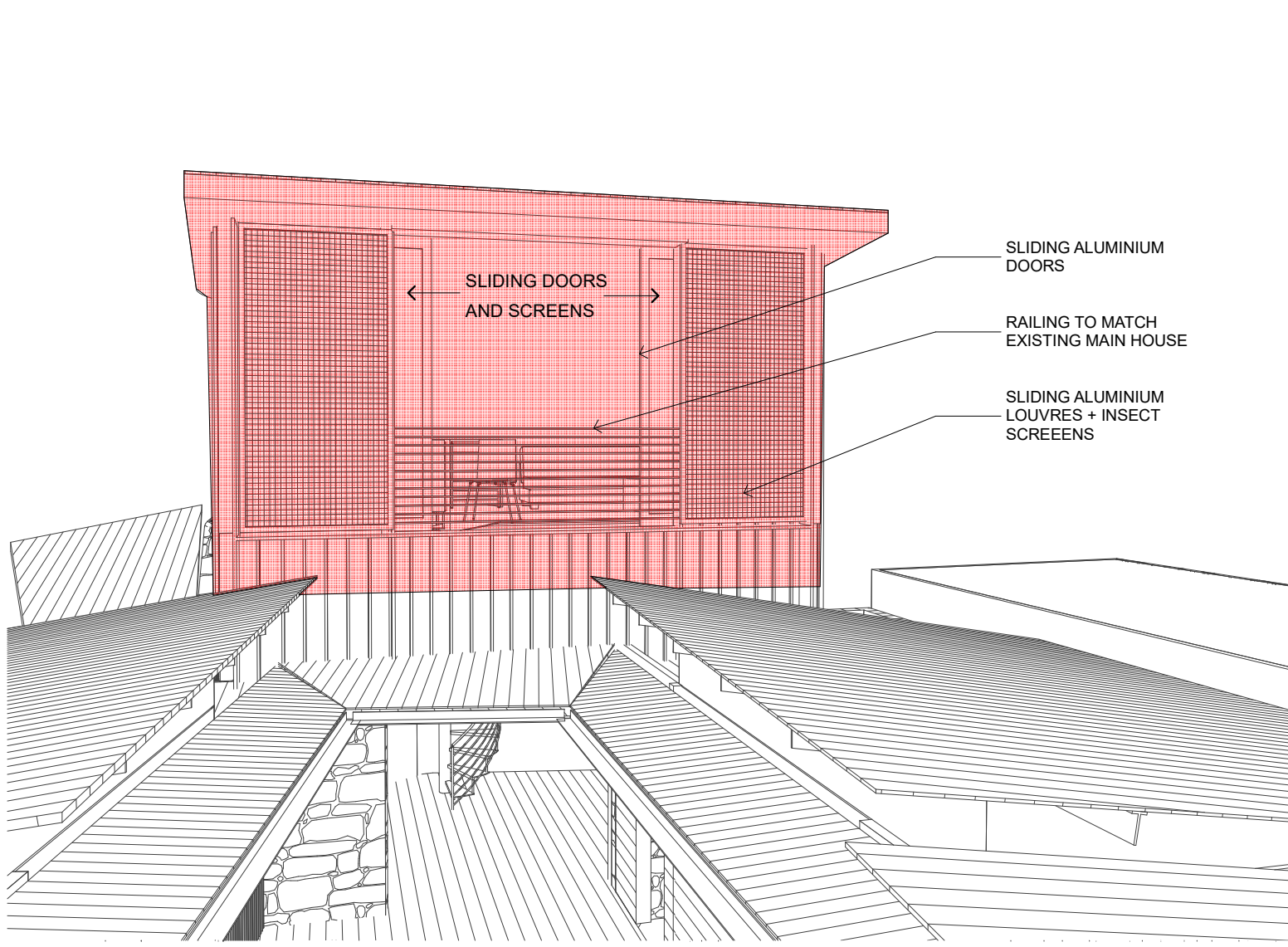
2 CARPORT ENTRY



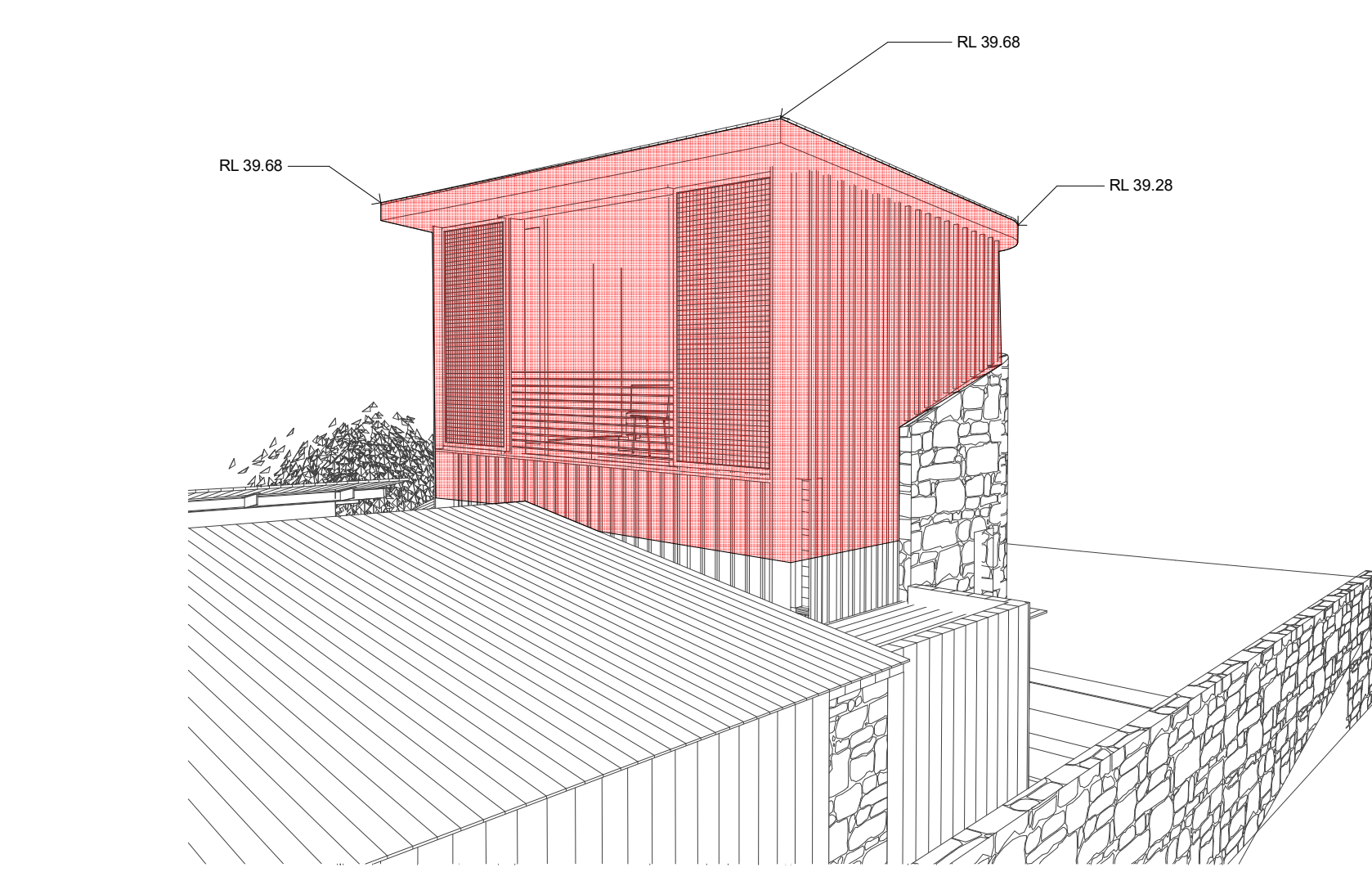
4 DRIVEWAY / ENTRY / STUDY ADDTIION



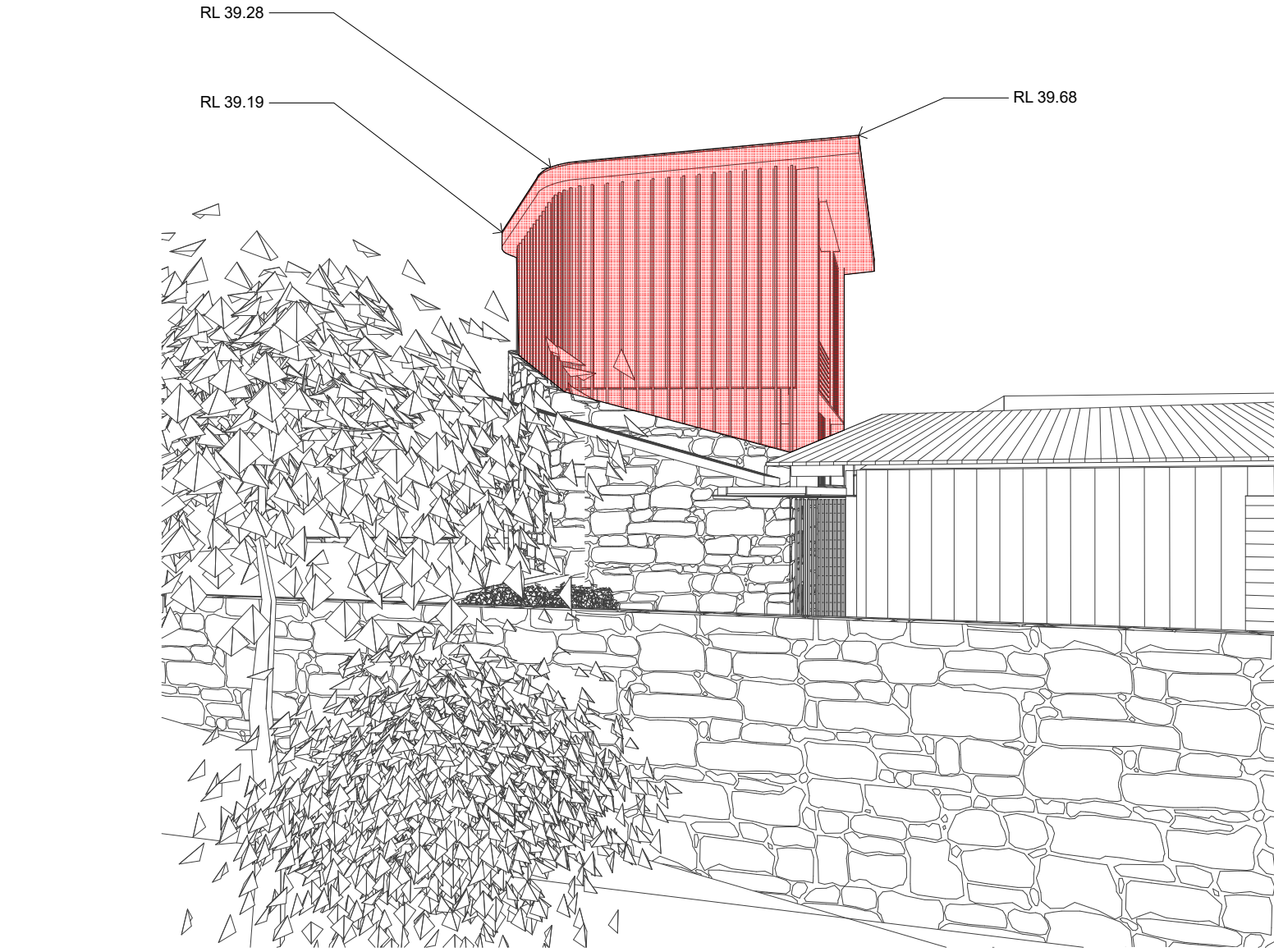
1 STUDY 1



3 STUDY 2



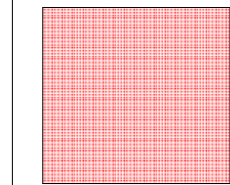
5 STUDY CORNER



6 NEIGHBOUR VIEW TO STUDY



PROJECT LOCATION



PROPOSED NEW WORKS
STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM

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STUDY ADDITION
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Drawing Title
**MATERIALS PALETTE AND
PERSPECTIVES**

Drawing No. DA10
Plot Date 10/05/2022
Scale
Revision No.
Project No. C6608

Reviewed Approved

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CLEAR ANODISED ALUMINIUM
SLIDING DOORS AND SCREENS
TO MATCH EXISTING



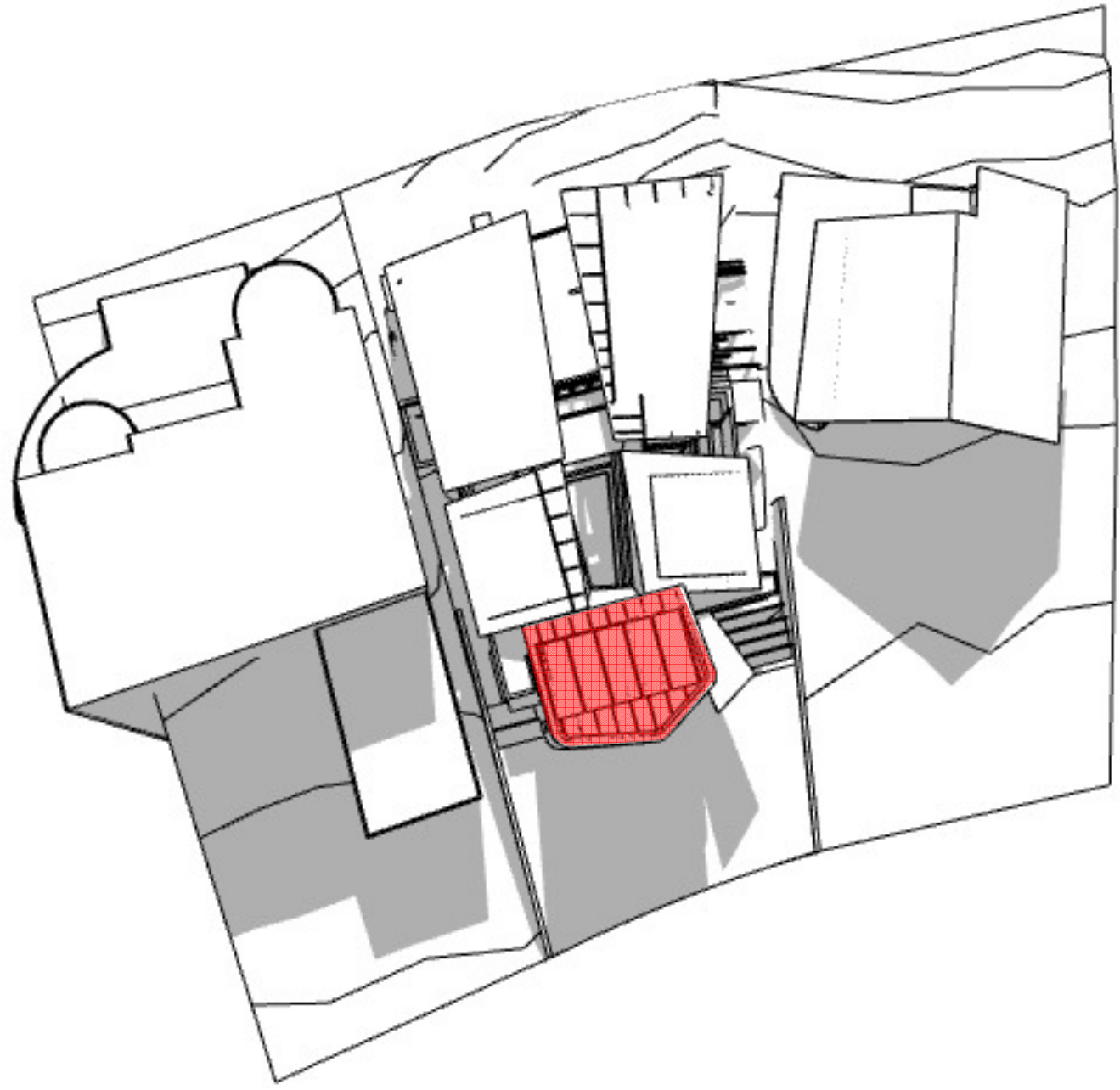
COLOURBOND "DUNE" MINI ORB ROOFING TO MATCH EXISTING



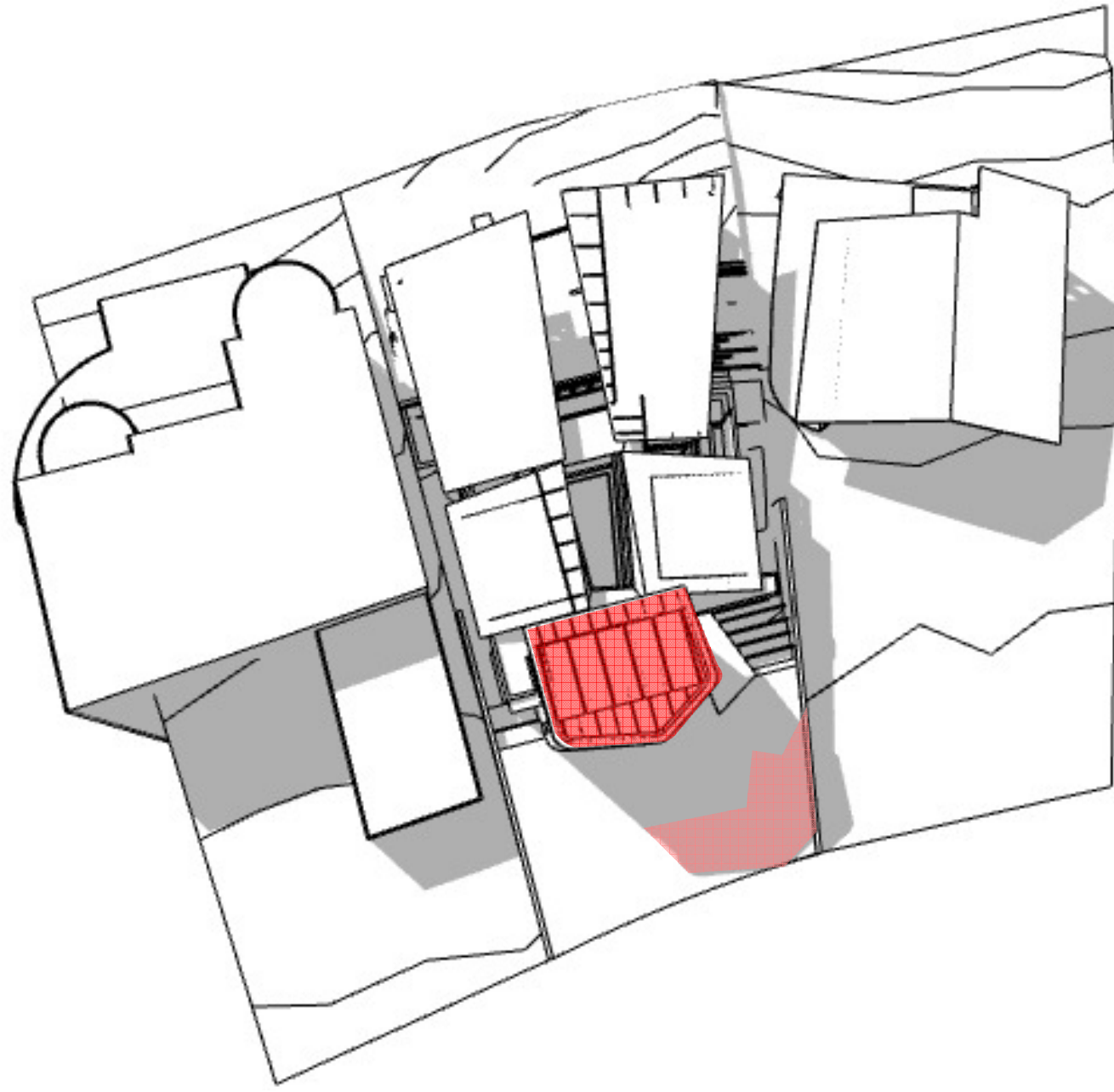
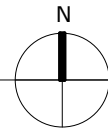
TIMBER CLADDING TO MATCH EXISTING



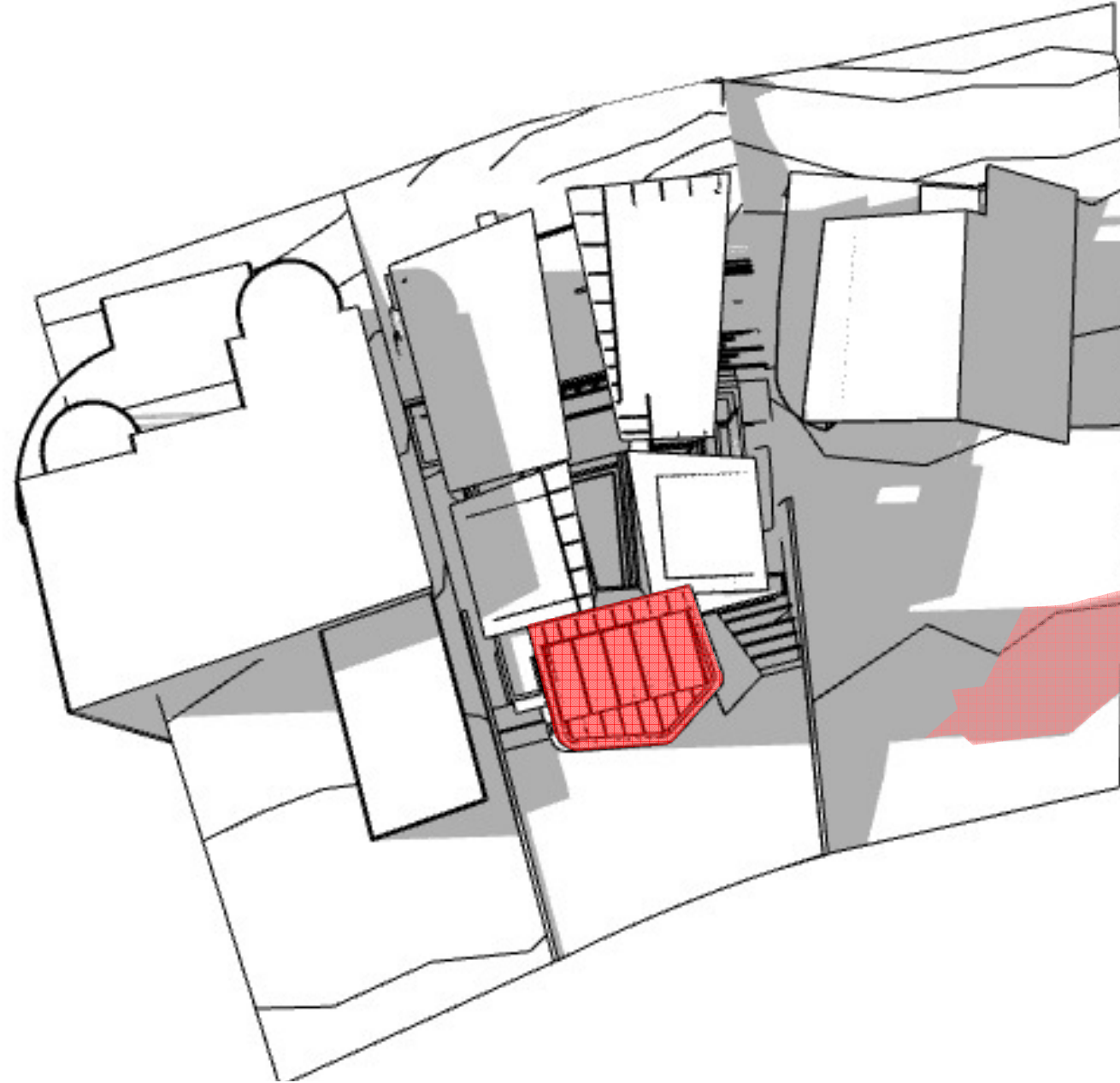
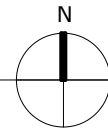
EXISTING HOUSE AT ENTRY



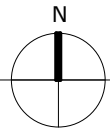
1 9AM JUNE 1 1:200



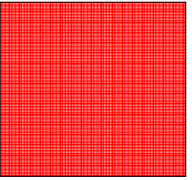
2 12 NOON JUNE 1 1:200



3 3PM JUNE 1 1:200



PROJECT LOCATION



PROPOSED NEW WORKS

STUDY ROOM ABOVE EXISTING
SUBGRADE TV ROOM



ADDITIONAL SHADOWING
DUE TO NEW ADDITION

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Project
STUDY ADDITION
337 WHALE BEACH RD.
PALM BEACH 2108

Drawing Title
SHADOW DIAGRAMS

Drawing No. DA11	Revision No.
Plot Date 10/05/2022	Project No. C6608
Scale	
Reviewed	Approved

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