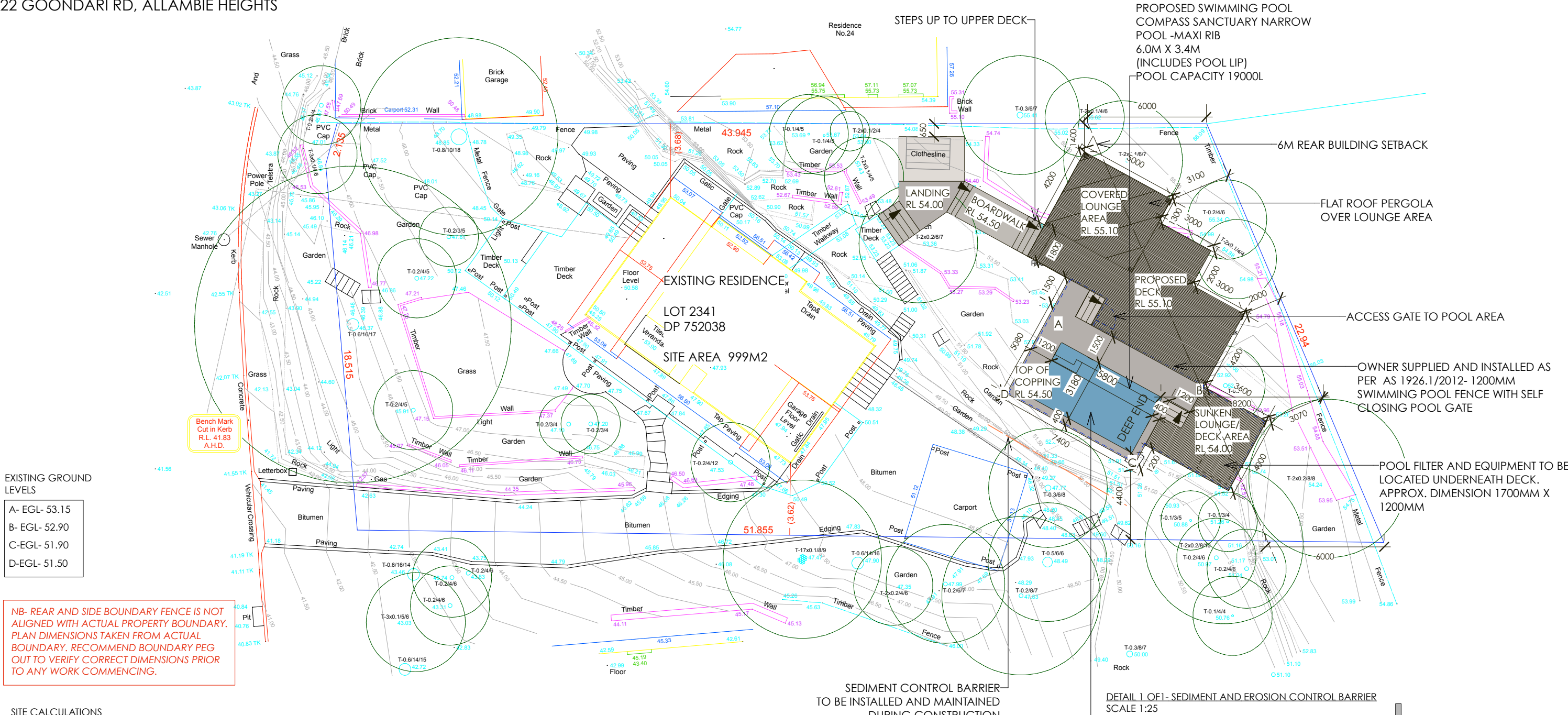


SITE PLAN
22 GOONDARI RD, ALLAMBIE HEIGHTS



SITE CALCULATIONS

Total site area= 999m2
(Landscaped requirement- 40% of lot size=399.60m2)

Total existing hard space = 367.30m2
(includes house, driveway, deck, carport, paths,)

Percentage (%) of existing hard space= 36.70 %

Existing hard surface to be removed= nil

Proposed new (hard surface) works=138m2
(including pool, surrounds and area less than 1.0m wide)

Total new hard space
(including proposed works)=505m2 (50.50%)

Total landscape area=494m2 (49.50%)

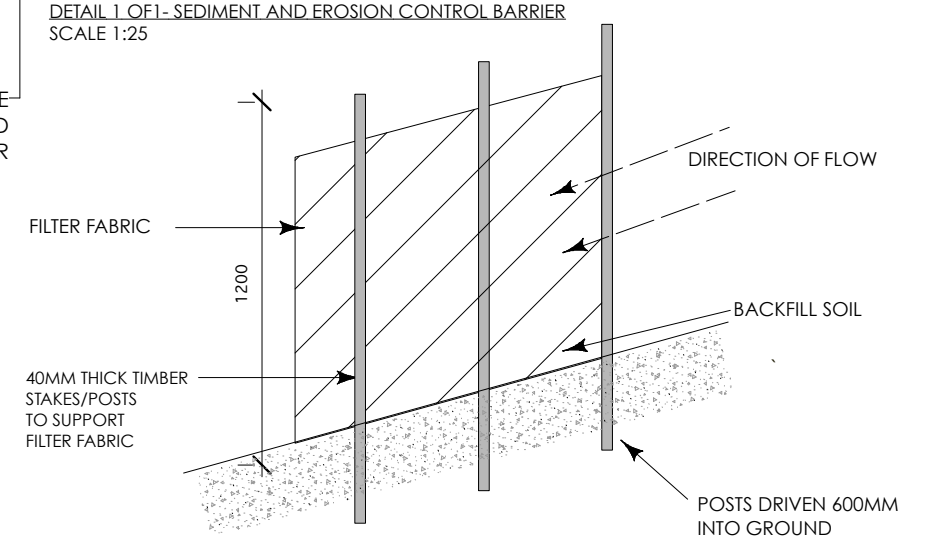
NOTES AND SPECIFICATIONS

POOL AND POOL FENCING
Installation of pool shell and surrounds to be done in accordance with manufacturers specifications and details
Installation of pool fencing to be in accordance with The Swimming Pools Act 1992 and AS 1926- the pool fence shall be not less than 1.2m all the way around with a self closing gate.
No ancillary structures not immediately associated with the swimming pool, must be kept within the pool fenced area
It is the property owner's responsibility to ensure the fence is maintained and the self closing pool gate is in good working order

SITE NOTES

DIMENSIONS AND LEVELS- UNLESS A CURRENT FULL SITE SURVEY HAS BEEN PROVIDED, DIMENSIONS AND MEASUREMENTS ARE INDICATIVE ONLY, AND MUST BE CONFIRMED ON SITE. MINOR ALTERATIONS MAY BE REQUIRED DEPENDING ON SITE VARIATIONS

POOL FILTER EQUIPMENT- MUST BE LOCATED WITHIN SIX (6) METRES OF THE SWIMMING POOL AND MUST BE COVERED IN A SOUND PROOF BOX

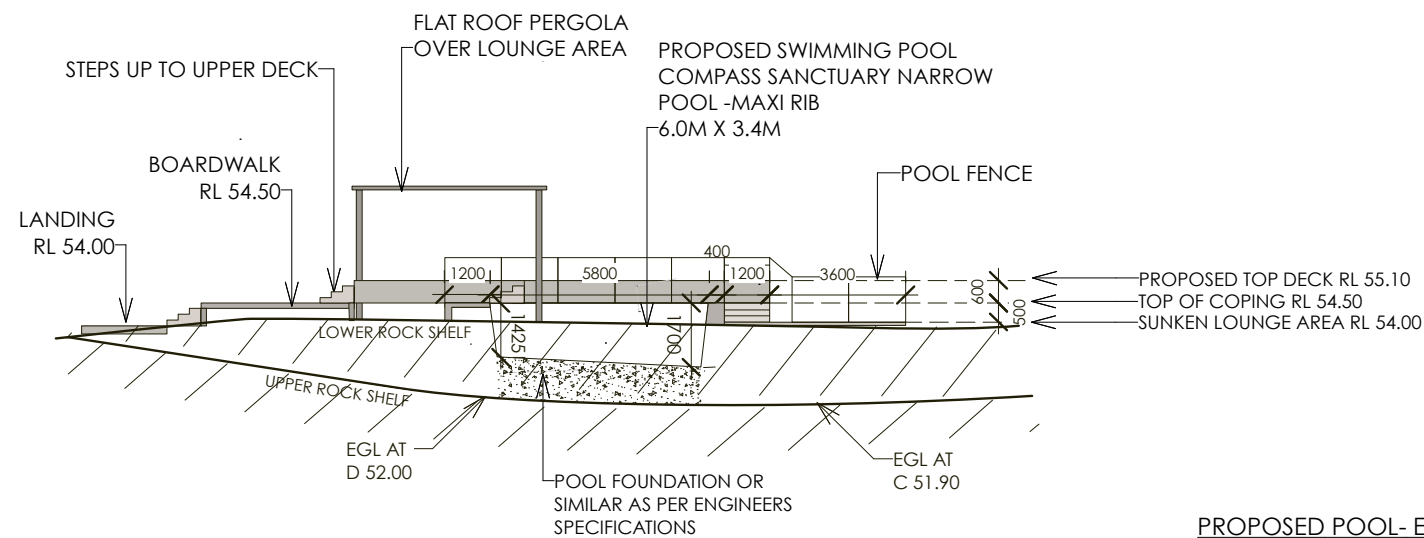


LANDSCAPER DESIGNER LANDSCAPE DESIGN BY JACQUI RAY PO Box 844, ST IVES, 2075 M: 0417680228 F: 43771433 E: jacqui@jacquiray.com.au		NOTES 1. Drawing not suitable for construction purposes. 2. Do not scale from drawings- use written dimensions only. 3. Contractor to verify location of all pipes and services prior to starting Works. 4. All Works to carried out in accordance with the BCA. 5. DA approved plans are required to be constructed as approved to obtain occupancy certificate. 6. Plans are protected by Copyright Laws. No plan or part thereof may be used, copied or reproduced in any way without the prior written permission of Dig This	PROJECT SWIMMING POOL AND SURROUNDS LOCATION OLIVER RESIDENCE 22 GOONDARI RD ALLAMBIE HEIGHTS	DRAWN JR	SCALE 1:200@A3	DATE 25/8/20	DWG NO 1 of 2	REV B
				TITLE SITE PLAN				

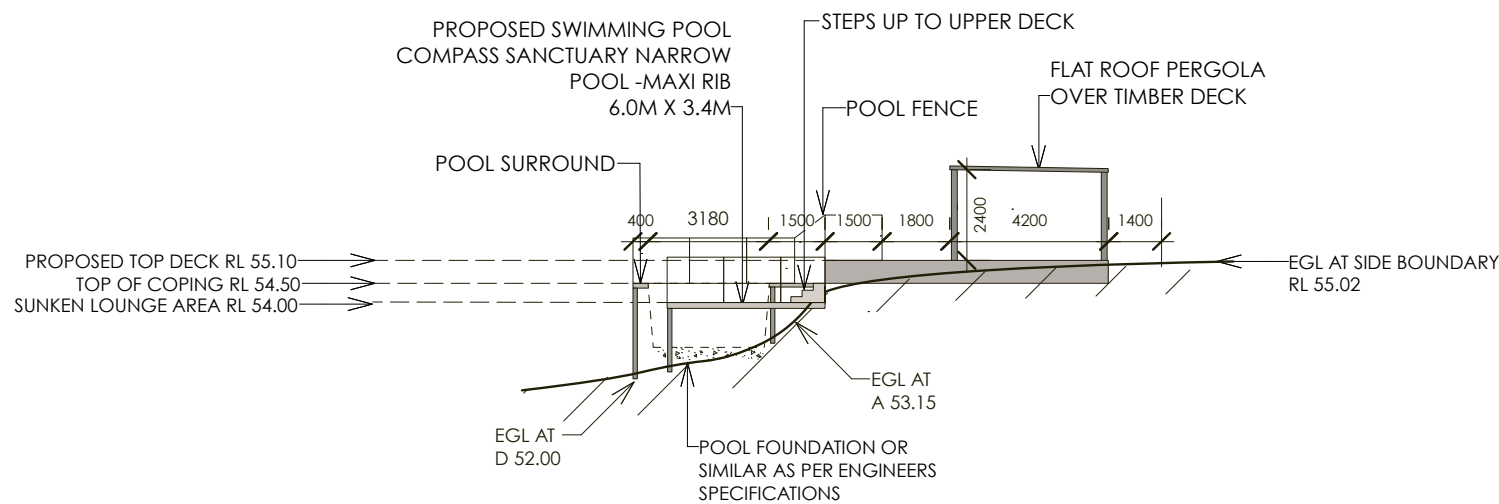
SECTION-ELEVATION PLAN

22 GOONDARI RD, ALLAMBIE HEIGHTS

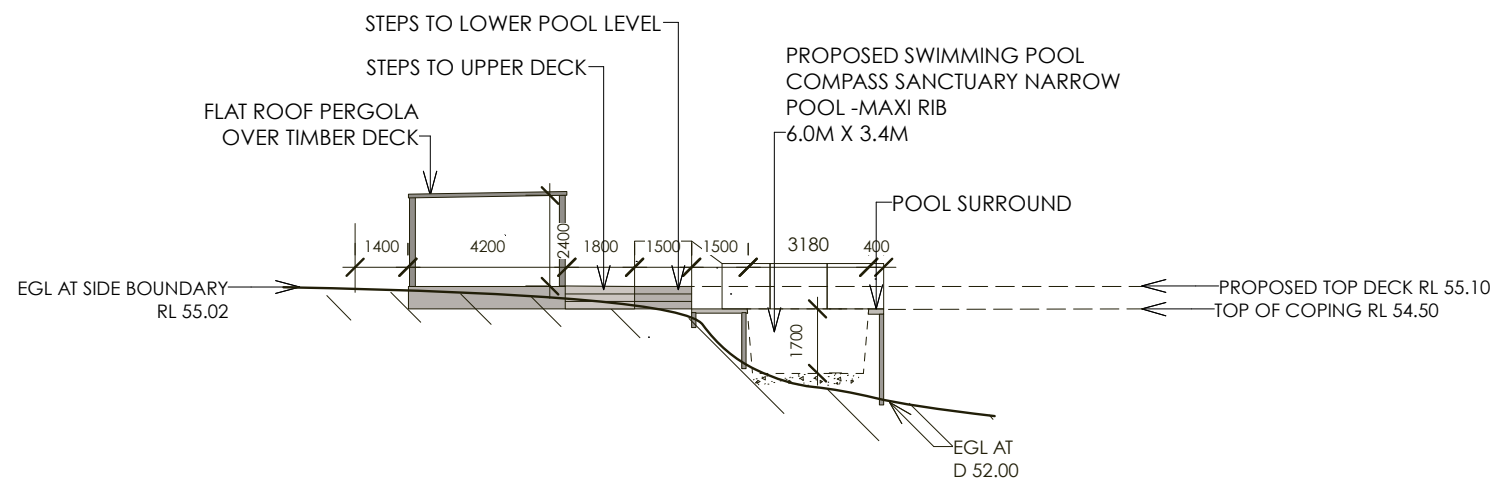
SOUTHERN SECTION/ELEVATION



PROPOSED POOL- EASTERN SECTION/ELEVATION



PROPOSED POOL WESTERN SECTION/ELEVATION



LANDSCAPER DESIGNER LANDSCAPE DESIGN BY JACQUI RAY PO Box 844, ST IVES, 2075 M: 0417680228 F: 43771433 E: jacqui@jacquiray.com.au	NOTES 1. Drawing not suitable for construction purposes. 2. Do not scale from drawings- use written dimensions only. 3. Contractor to verify location of all pipes and services prior to starting Works. 4. All Works to be carried out in accordance with the BCA. 5. DA approved plans are required to be constructed as approved to obtain occupancy certificate. 6. Plans are protected by Copyright Laws. No plan or part thereof may be used, copied or reproduced in any way without the prior written permission of Dig This	PROJECT SWIMMING POOL AND SURROUNDS LOCATION OLIVER RESIDENCE 22 GOONDARI RD ALLAMBIE HEIGHTS	DRAWN JR	SCALE 1:200@A3	DATE 23/7/20	DWG NO 2 of 2	REV A
			TITLE SECTION-ELEVATION PLAN				