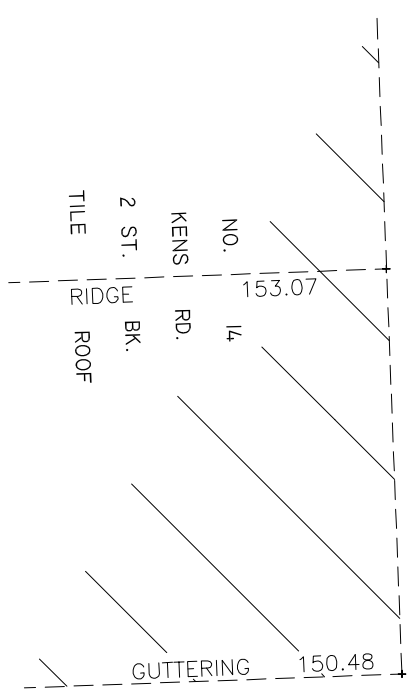
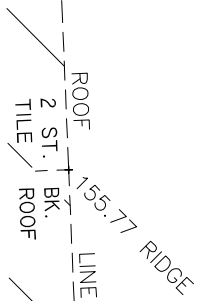
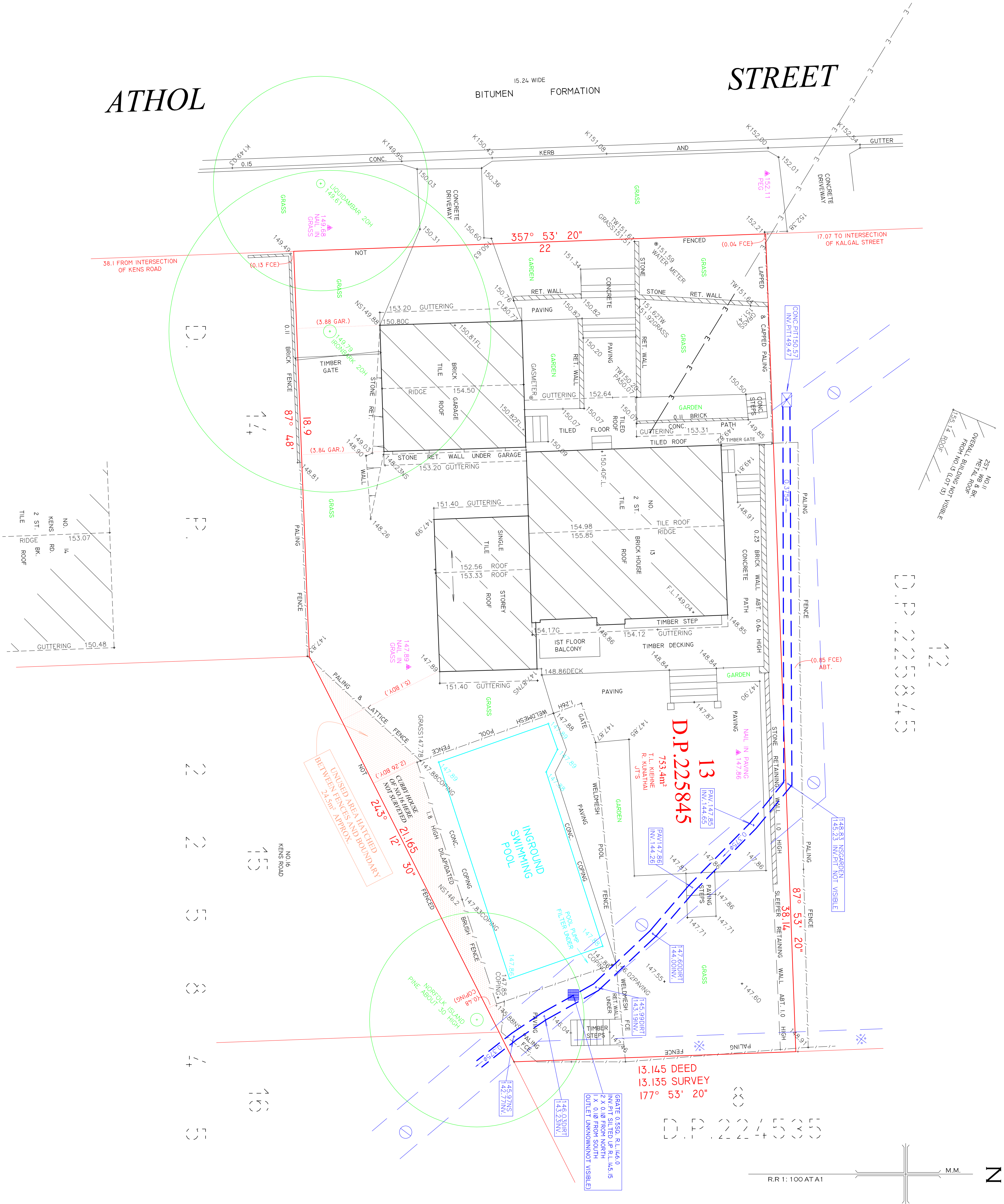




PLAN SHOWING DETAIL AND LEVELS OVER LOT 13 IN D.P. 225845, 13 ATHOL STREET, BELROSE IN THE L.G.A OF WARRINGAH.

REF NO. 1418

DATE OF SURVEY: 6/5/14

DWG NO. 1418-I

DATE OF SURVEY: 6/5/14

SHEET 1 OF 1

DATE OF SURVEY: 6/5/14

REVISION A - 19.5.14 - BOUNDARY LOCATION, BOUNDARY OFFSETS AND UN-USED AREA AMENDED.

REVISION B - 4.8.17 - 0.375 DIAM. PIPE AND GROUND LEVELS ABOVE ADDED WITH INVERTS & LOCATION PROVIDED BY PIPESURE ON 1.8.17. PIPE LOCATION APPROXIMATE ONLY.

1 2 3 4 5 6 7 8 9 10

METRES

186 FISHER ROAD MARAYLA 2765

PH: 0245 736697 FAX: 0245 736698 MOBILE: 0428 648602

EMAIL: almartin@bigpond.com WEB: http://www.rwmartin.com.au

REGISTERED SURVEYOR

186 FISHER ROAD MARAYLA 2765

PH: 0245 736697 FAX: 0245 736698 MOBILE: 0428 648602

EMAIL: almartin@bigpond.com WEB: http://www.rwmartin.com.au

REAR ELEVATION LOOKING WEST

PART OF SOUTHERN ELEVATION LOOKING NORTH

FRONT ELEVATION LOOKING EAST

NOTES:

THESE NOTES AND THE TITLE BLOCK ARE AN INTEGRAL PART OF THE SURVEY PLAN AND ARE TO BE INCLUDED WITH ANY ELECTRONIC OR HARD COPIES CREATED FOR FURTHER DISTRIBUTION.

IT IS RECOMMENDED THAT BOUNDARIES BE MARKED BY A REGISTERED SURVEYOR PRIOR TO ANY CONSTRUCTION NEAR THE BOUNDARIES.

THE EXISTENCE AND POSITION OF UNDERGROUND SERVICES HAS NOT BEEN INVESTIGATED. THE EXISTENCE AND POSITION OF UNDERGROUND SERVICES SHOULD BE VERIFIED BY THE RELEVANT AUTHORITY AND OR DIAL BEFORE ANY CONSTRUCTION.

LEVEL AND DETAIL INFORMATION SHOWN ON THIS PLAN HAS BEEN OBTAINED FROM DESIGN DRAWINGS ONLY, WHERE DETAIL AND LEVELS ARE CRITICAL TO THE DESIGN PROPOSED, THEY SHOULD BE VERIFIED IN THE FIELD FROM THE SITE BENCH MARKS SHOWN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

LEVELS SHOWN AS "KERB" ARE TAKEN ALONG THE FACE OF THE KERB.

TREE HEIGHTS AND SPREAD HAVE BEEN ESTIMATED AT THE DATE OF SURVEY.

PITS SIZES ARE SHOWN AT GROUND LEVEL. PITS MAY BE LARGER OR SMALLER BELOW THE SURFACE.

RIDGE AND GUTTER LEVELS HAVE BEEN DETERMINED BY REMOTE METHODS AND ARE APPROXIMATE ONLY.

BOY - DENOTES BOUNDARY

C - DENOTES CONCRETE

G - DENOTES ROOF GUTTERING

PA - DENOTES PAVING

NS - DENOTES NATURAL SURFACE

TW - DENOTES TOP OF WALL

⊕ - EASEMENT TO DRAIN WATER 1.83 WIDE (D.P. 225845).

⊗ - EASEMENT TO DRAIN WATER 0.98 WIDE (D.P. 225845).