



COUNCIL COPY

Comcert

Building Certifiers

6 May, 2013

Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

Property Address: 1 Waratah Street, Mona Vale
Construction Certificate No: CC2013/030

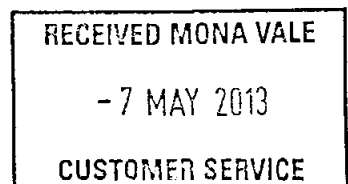
In accordance with clause 142(2) of the EP&A Regulation 2000 (the Regulation), notice is hereby given of the determination of the application of a Construction Certificate and appointment of Principal Certifying Authority (PCA) on the above mentioned allotment.

Please find attached a copy of the construction certificate including the plans and specifications, a Fire safety schedule, record of inspection made under clause 143B of the Regulation and other documents lodged with the application for the certificate.

Should you require any additional information in this regard please do not hesitate to contact our office on (02) 9980 0300 during normal office hours.

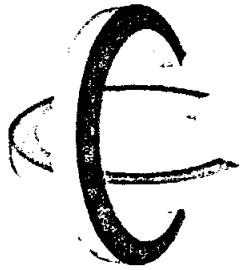
Yours faithfully,

James Somerville JP
A1 Accredited Certifier
Comcert Building Certifiers Pty Ltd



336 REC: 340217 7/5/13

Comcert Building Certifiers Pty Ltd
Suite 15, 7 Sefton Road, Thornleigh NSW 2120
Phone: (02) 9980 0300
ABN 82 160 120 016



Comcert

Building Certifiers

CONSTRUCTION CERTIFICATE

Pursuant to the Environmental Planning and Assessment Act 1979
Sections 85 and 85A

Certificate No: CC2013/030

Applicant Details: JAK Pollivesc Pty Ltd
C/- Level 1, The Pavilion, 280 New Line Road
Dural NSW 2158

Property Address: Lot 1, DP 562736, No. 1 Waratah Street, Mona Vale

Description of Work: Change of use & fit-out of the first floor of the existing building for a health & fitness studio

Determination Status: Approved

Determination Date: 6 May, 2013

Building Code of Australia: BCA 2012

BCA Classification: Class 9b

Date Application Received: 26 April, 2013

Council Area: Pittwater

Development Consent No: N0267/12

Development Consent Date: 18 February, 2013

Certifying Authority: James Somerville

Accreditation No: 0759

Accreditation Body: Building Professional's Board

PLANS AND SPECIFICATION LIST

Architectural plans prepared by Provincial Planning as follows:

Drawing No.	Issue	Date	Drawing Name
CC01	B	8/4/13	Site Plan
CC02	B	8/4/13	Floor Plan & Section

Engineering details prepared by Taylors Consulting as follows:

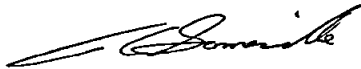
Drawing No.	Issue	Date	Drawing Name
-	-	30/1/12	Structural Details – Alterations

Comcert Building Certifiers Pty Ltd
Suite 15, 7 Sefton Road, Thornleigh NSW 2120
Phone: (02) 9980 0300
ABN 82 160 120 016

DOCUMENTS

- Completed Concert Building Certifiers Application form.
- Concert Building Certifiers site inspection form, dated 2 May, 2013.
- Disabled Access/Compliance Certification by Peter Simpson from PSE Access Consulting, dated 15/3/13.
- Receipt for payment of the Long Service Levy, reference No. 5043194, dated 30/4/13.
- Sydney Water Quick Check approval, reference No. 8401175, dated 10/4/13.
- Fire Safety Schedule of proposed fire safety measures, project No. 4414 by Greg Murrow from AE&D, dated, 2/5/13.
- Hydraulic Engineer Certification advising compliance with AS 2419.1-2005, including hydrant coverage by Neil Gittoes from Olsen Infrastructure, dated 22/4/13.

Work completed in accordance with documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulations, 2000, as amended and as referred to in section 81A (5) of the Environmental Planning & Assessment Act, 1979, as amended.



James Somerville JP
A1 Accredited Certifier
Concert Building Certifiers Pty Ltd

Critical Stage Inspections

Pursuant to section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act, 1979 and Clause 103A of the Environmental Planning and Assessment Regulation, 2000 as amended, the following critical stage inspections and other inspections are to be carried out in respect of the building work:

- (a) after the building work has been completed and prior to any occupation certificate being issued in relation to the building.

Any additional inspection that may be required by the PCA throughout the course of construction, in order to issue the Occupation Certificate.

To arrange an inspection, please phone (02) 9980 0300.

Certificates and Information

In addition Comcert Building Certifiers Pty Ltd will require the following certificates and/or information to be submitted prior to the issue of an occupation certificate.

Completed Occupation Certificate Application Form

Wet Area Waterproofing – Certified by an accredited installer, after its application, as complying with AS3740-2004 "Waterproofing of Wet Areas in Residential Buildings".

Fire Hazard Properties – A report from the supplier of any combustible materials used in the building confirming compliance with Specification C1.10 of the *Building Code of Australia*. Fire Hazard Properties are required for the following linings, materials and assemblies:

- (a) Floor linings and floor coverings.
- (b) Wall linings and ceiling linings.
- (c) Air-handling ductwork.
- (d) Lift cars.
- (e) Material used to cover closed back upholstered seats in an *entertainment venue*.
- (f) A required proscenium curtain in a public hall or the like.
- (g) Escalators and public walkways.
- (h) Sarking-Type materials.
- (i) Attachments to floors, ceilings, internal walls and the internal linings of external walls.
- (j) Other materials including insulation (other than sarking-type materials).

Note: This does not apply to plaster, cement, ceramic tiles, timber framed windows, solid timber handrails or skirting, timber faced solid core/fire doors, electrical switches/outlets, a cupboard/shelving, a curtain/blind and other items as listed in BCA C1.10.

Structural Certificate (Building) – A certificate from an appropriate qualified structural engineer certifying the structural adequacy of the completed building.

Fire Rating – certification from a structural engineer, licenced contractor or fire services consultant that the required fire resistance levels have been achieved. This certification is to include the following:

- (a) Details of the method of compliance with the Australian Standards or Tested Prototype.
- (b) The date of installation/application.
- (c) The name and address of the person/s who carried out the work.
- (d) The achieved fire resistance level (FRL).
- (e) A copy of the Test Report from a Registered Testing Authority.

Electrical Installation – A statement or certificate from the electrical contractor that all electrical installations are installed in accordance with AS3000.

Certification for Essential Services - Certified by the design/installation consultants that all the essential services comply with the relevant provisions of the BCA and Australian Standards, including the following:

- (a) Details of the method of compliance with the Australian Standards.
- (b) Inspection, testing and commissioning details - achieved pressures and flow rates (where applicable).
- (c) Date of inspection, testing and commissioning.
- (d) The name and address of the person who carried out the test.

Slip Resistance Certification - Certified by the manufacturer/supplier as complying with AS/NZS4586-2004 "Slip resistance classification of new pedestrian surface materials".

Final Fire Safety Certificate (form 15) - completed by a suitable person as to each fire safety measure in accordance with the fire safety schedule.

Plumbing Certificate of Compliance - a certificate from the licensed plumber and/or Civil Design Engineer for all hydraulic, stormwater and sewerage installations, including stormwater and plumbing drainage, shower installations, w.c.'s and cisterns, hand wash basins, floor wastes and the like.

Path of Travel to an Exit - There is to be a minimum unobstructed width of 1m from all areas to the exit door/s so as to comply with D1.6 of the BCA.

Disability (Access to Premises - Buildings) Standards 2010 and AS1428.1-2009 Design for Access and Mobility

Entry Door Width - The entrance doorway is to be modified/replaced so as to have a minimum clear width of 850mm, where two doors are used the active leaf must have a minimum clear width of 850mm.

Door Width - All new doorways or openings are to have a minimum clear width of 850mm, where two doors are used the active leaf must have a minimum clear width of 850mm.

Door Handles - All door handles are to be "D" shaped lever action, having a clearance between the handles and the backing plate/door face at the centre grip section of between 35mm and 45mm and a return on the handle of 20mm.

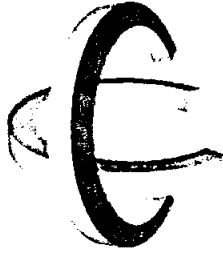
Hallway width - The hallway serving the accessible bathroom is to have a minimum unobstructed width of 1240mm to provide adequate circulation space at the door to the accessible bathroom.

Width of a continuous accessible path of travel - the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- (b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- (c) Door handles less than 900 mm above the finished floor level.

Carpets and other soft flexible materials - Where carpets or any soft flexible materials are used on the ground or floor surface:

- (a) the pile height or pile thickness shall not exceed 11mm and the carpet backing thickness shall not exceed 4mm;
- (b) exposed edges of floor covering shall be fastened to the floor surface and shall have a trim along the entire length of any exposed edge; and
- (c) at the leading edges, carpet trims and any soft flexible materials shall have a vertical face no higher than 3 mm or a rounded bevelled edge no higher than 5 mm or above that height a gradient of 1 in 8 up to a total maximum height of 10 mm.



Comcert

Building Certifiers

FIRE SAFETY SCHEDULE

Prepared in accordance with Part 9, Divisions 1 and 2 of the Environmental Planning & Assessment Regulation, 2000 to accompany the subject Construction Certificate.

Property Address: 1 Waratah Street, Mona Vale
Construction Certificate No: CC2013/030
Determination Status: Approved
Determination Date: 6 May, 2013
Certifying Authority: James Somerville
Accreditation No: 0759
Accreditation Body: Building Professional's Board

Basis of FSS (existing): Supplied by applicant

Fire Safety & Other Measures	Existing Measure	Proposed Measure	Minimum Standards of Performance
Emergency Lighting	<input type="checkbox"/>	x	BCA Clause E4.2 & E4.4 AS 2293.1-2005
Exit Signs	<input type="checkbox"/>	x	BCA Clause E4.5, E4.6 & E4.8 AS 2293.1-2005
Fire Door (self-closing fire door with FRL -/60/30 to First Floor north- western doorway exposed to north-western allotment boundary)	<input type="checkbox"/>	x	BCA clauses C3.4, C3.11 AS1905.1-2005
Fire Hydrant Systems	<input type="checkbox"/>	x	BCA Clause E1.3 AS2419.1 – 2005
Fire Hazard Properties of all new floor materials, floor coverings, wall and ceiling lining materials	<input type="checkbox"/>	x	BCA Clause C1.10, BCA Specification C1.10
Fire Shutter (-/60/- to First Floor north- western window exposed to south-western allotment boundary)	<input type="checkbox"/>	x	BCA Spec C3.4 AS 1905.2-2005
Hose Reel Systems	<input type="checkbox"/>	x	BCA Clause E1.4 AS2441.1-2005
Paths of Travel, stairways, passageways or ramps	<input type="checkbox"/>	x	BCA Section D, EP&A Regulation, 2000, Clause 184, 185 & 186
Portable Fire Extinguishers	<input type="checkbox"/>	x	BCA Clause E1.6 AS 2444-2001

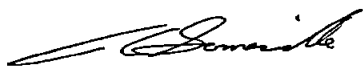
Comcert Building Certifiers Pty Ltd
Suite 15, 7 Sefton Road, Thornleigh NSW 2120
Phone: (02) 9980 0300
ABN 82 160 120 016

This schedule specifies the proposed fire safety measures that should be implemented in the building. As soon as practicable after the Final Fire Safety Certificate is issued, the owner of the building must forward a copy of the Final Fire Safety Certificate (and a copy of the fire safety schedule) to the Commissioner of NSW Fire & Rescue and must display a copy of the schedule displayed prominently in the building in accordance with Clause 172 of the Environmental Planning & Assessment Regulation, 2000.

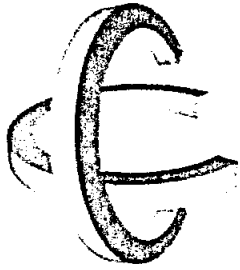
An annual Fire Safety Statement is to be provided to the Consent Authority (Council) and NSW Fire & Rescue every 12 months, commencing within 12 months after the date of issue of the initial Fire Safety Certificate for the building. The initial Fire Safety Certificate and subsequent Annual Fire Safety Statements are to provide certification that the Fire Safety Measures listed in the Fire Safety Schedule above, have been maintained.

NSW FIRE AND RESCUE

No referral to the NSW Fire & Rescue is required under Clause 144 or Clause 188 of the Environmental Planning & Assessment Regulation 2000. There are no Alternate Solutions involving Category 2 Fire Safety Provisions.



James Somerville
Dip (Hlth & Bld Surveying) Grad Dip (Bld Surveying) JP
A1 Accredited Certifier
Comcert Building Certifiers Pty Ltd



COUNCIL COPY
Comcert
Building Certifiers

RECORD OF SITE INSPECTION

Pursuant to the Environmental Planning and Assessment Regulation 2000,
Sections 143B and 143C

Date of Inspection: 2/5/13

Construction Certificate No. CC2013/030

Name of Applicant: JAK Pollivesc Pty Ltd

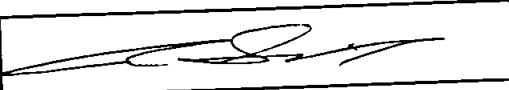
Property Address: No. 1 Waratah Street, Mona Vale

Date Application Received: 26/4/13

Development Application No: N0267/12

Type of Inspection: Pre CC Site Inspection

Inspection Result	
What are the fire safety measures in the existing building?	
<input checked="" type="checkbox"/>	Refer to the submitted Annual Fire Safety Statement.
Do the plans and specifications accompanying the application for the construction certificate adequately and accurately depict the existing site conditions?	
<input checked="" type="checkbox"/>	Yes
<input type="checkbox"/>	No, give detail: <input type="text"/>
Has any building works authorised by the relevant development consent commenced on the site?	
<input checked="" type="checkbox"/>	No
<input type="checkbox"/>	Yes, give detail: <input type="text"/>
Other Comments: <input type="text"/>	

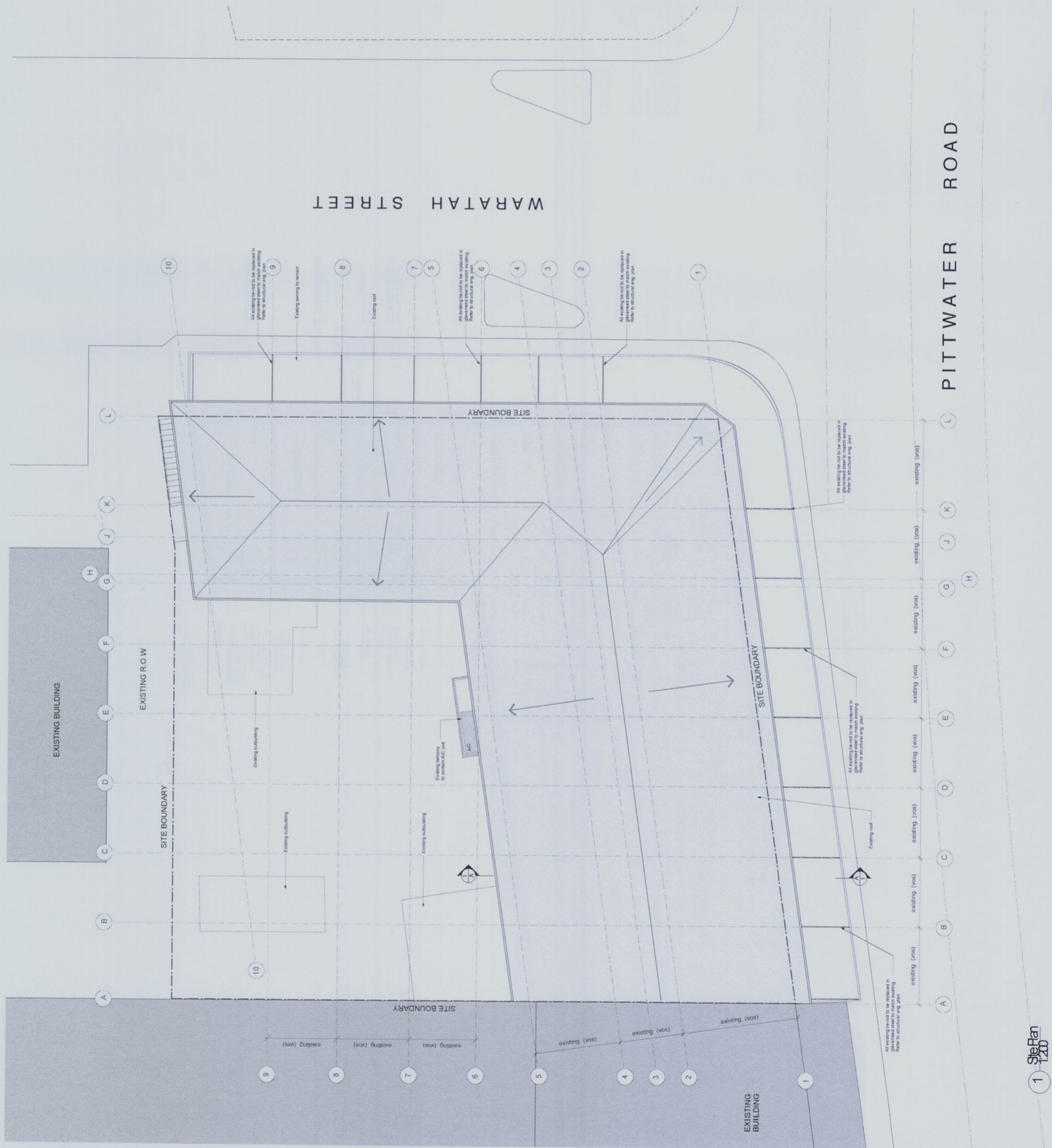
Certifying Authority / Accreditation No:	<input type="checkbox"/> Paul Prestidge BPB1800	<input checked="" type="checkbox"/> James Somerville BPB0759
	<input type="checkbox"/> Other - Name	<input type="text"/>
Accreditation No:		<input type="text" value="BPB"/>
Signature: 	Date: <input type="text" value="2/5/13"/>	

CONSTRUCTION CERTIFICATE

1 Waratah Street, Mona Vale

(Lot 1 D.P. 562736)

CO01 Site Plan and Notes 1:200
CO02 First Floor Plan (Upper Level) and Section A-A 1:100



1 Site Plan 1:200

BCA - Class 9a Building

These drawings are to be referred to and read in conjunction with all structural and other consultants drawings & specifications.

Do not scale dimensions. All dimensions to be verified on site. Dimensions in millimeters. Confirm all dimensions prior to commencing work.

If discrepancy exists notify architect / project manager.

Window dimensions and locations to be verified on site.

Repair all interior wall and ceiling linings and floor finishes.

All workmanship and materials in accordance with the Building Code of Australia, Australian Standards and manufacturers.

In addition, the following modifications are required, in accordance with the BCA Report:

- Portable Fire Extinguishers must be installed within the subject tenancy in accordance with AS 2444.
- Compliant emergency lighting must be provided to the subject tenancy in accordance with AS/NZS 2293.1
- Compliant exit signage must be provided to each exit door in accordance with AS/NZS 2293.1
- Compliant directional signage must be provided throughout the new floor area to direct occupants to the exits in accordance with AS/NZS 2293.1
- The egress doors at Ground and first Floor servicing the proposed fitness studio shall swing inward instead of outward and be provided with a hold open device
- The height of the balustrades to the internal and external stairs currently do not comply as the height is less than 1000mm. In addition to this the openings to the external stair balustrade were greater than 125mm. The balustrades to be modified within the building.
- The egress doors at Ground and first Floor servicing the 1st Floor Offices swing inward instead of outward.
- All the door swing to swing in the direction of Egress and be:
- Clearly identified with an AS 2293 compliant Exit sign; and provide the doors with a hold open device
- Latch operation to exit doors should be modified as follows:
 - A door in, forming part of, or in the path of travel to a required exit must open without a key from the side egressing, by a single hand downward or pushing action on a single device between 900 mm - 1.1 m from the floor.

2 Notes

PITTWATER ROAD

ROAD

WARATAH STREET

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

ROAD

NOTES

1. Check dimensions in all drawings are in accordance with the Construction Certificate. Use only metric units. All dimensions are in millimeters unless otherwise stated.

2. Copyright of all documents and drawings is retained by the Designer. All rights reserved. No part of this document may be reproduced without the prior written consent of the Designer.

REV/NO REVISION
A DRAFT CC
B Construction Certificate

DATE 05.04.13
08.04.13

DRAWN M.L./JH
M.L./JH

DESIGNER
PROVINCIAL PLANNING

PROJECT
1 Waratah St, Mona Vale

CONSTRUCTION CERTIFICATE
Health & Fitness Studio

SCALE AS NOTED @ A1
DATE April 2013
REV B
PROJECT 1023
DWG NO. CC01

This plan / document forms part of the approved Certificate as issued by Concept Building Certifiers

CC 2013 / 030



MEMBER SCHEDULE

ROOF BEAMS	QUANTITY
RB2	20
RB3	27
RB4	25
RB5	23
RB6 to RB8, RB13	25
RB9 to RB12	27
POSTS	QUANTITY
P1 to P4	4

NOTES:

- ALL EXPOSED STEEL MEMBERS, FITTINGS AND JOINTS TO BE HOT-DIPPED GALVANISED TO AS 1684.2.
- ALL STEEL BEAMS TO BE GALVANISED EXTERNAL BRICKWORK TO BE SEPARATED FROM BRICKWORK WITH ALCORE OR BEAMS TO BE HOT-DIP GALVANISED SIMILARLY. TIMBER IN CONTACT WITH EXTERNAL BRICKWORK TO BE SEPARATED WITH ALCORE OR BEAMS TO BE PRESERVATIVE TREATED.
- PROVIDE END BEARING TO ALL BEAMS, SUPPORTED ON BRICKWORK.
- PROVIDE WALL BRACING, ROOF BRACING AND TIE-DOWN IN ACCORDANCE WITH AS 1684.2-2006 RESIDENTIAL TIMBER FRAME CONSTRUCTION.
- DESIGN WIND CLASSIFICATION = NZ (B3m/s)

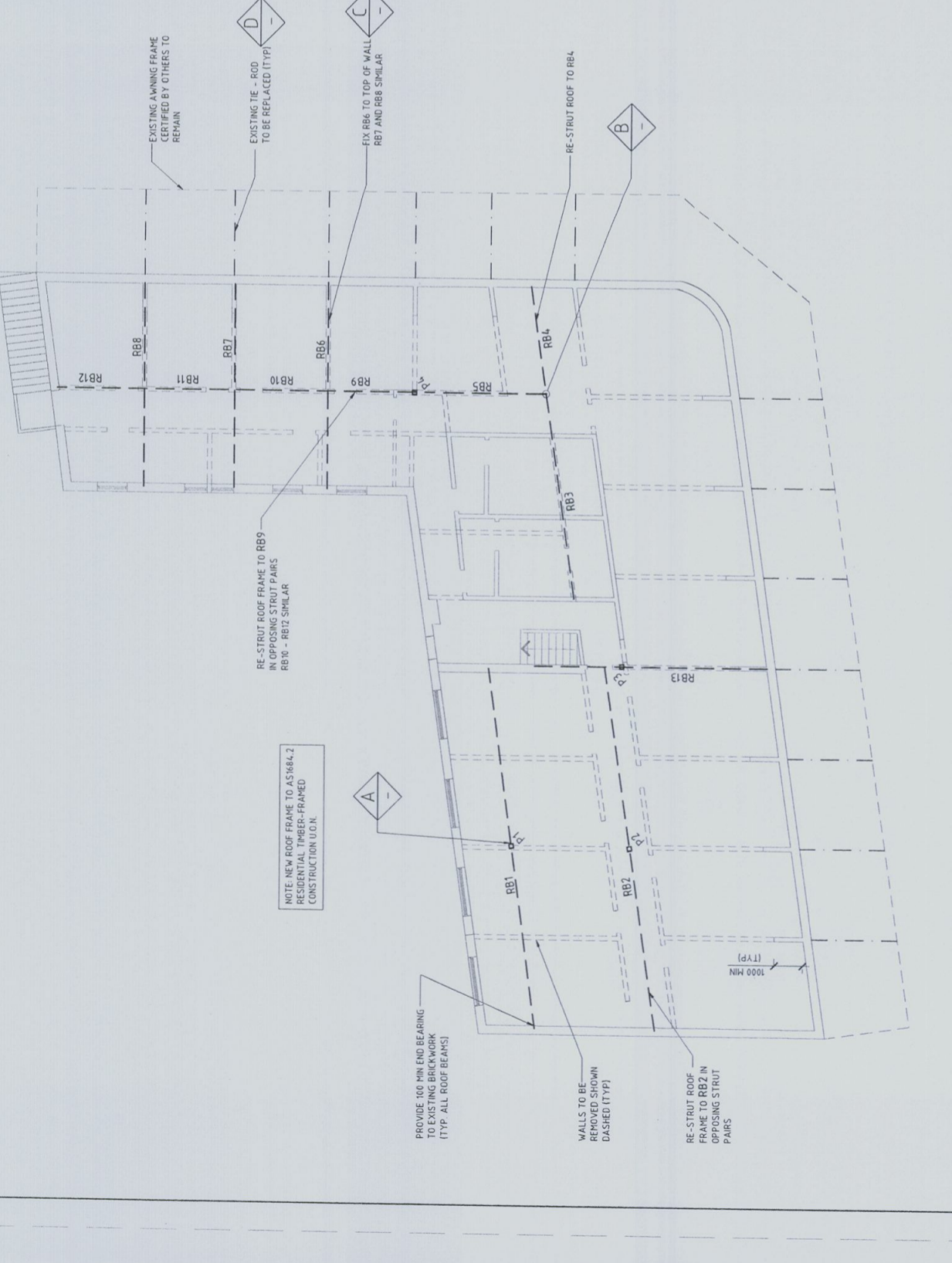
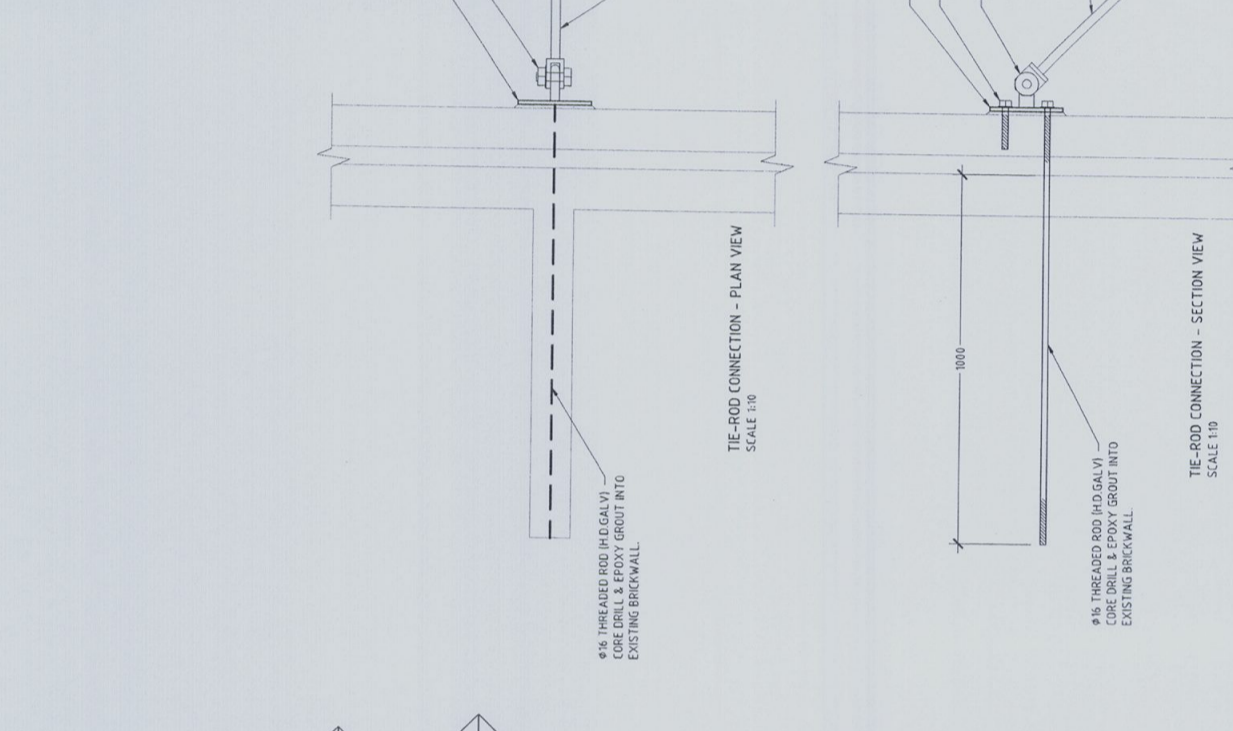
CONSTRUCTION NOTES

- These drawings shall be reviewed by an architectural and structural consultant before construction commences.
- Order for erection before proceeding with the work.
- Dimensions shall not be exceeded by cutting the structural drawings.
- The contractor shall be responsible for maintaining the structure and neighbouring structures in a safe and stable condition during construction. No part shall be over-stressed.
- An adequately and suitably shall be in accordance with the requirements of the Council.

Element	Min. Slab	Min. Slab	Min. Slab	Min. Slab	Special Requirements
Element	Slab	Slab	Slab	Slab	Special Requirements
Strip Footings	-	50	50	50	
Columns and piers	20	45	45	50	
Beams	20	45	45	45	
Slabs and walls	20	45	45	45	

FOUNDATION NOTES

- The structural engineer shall be responsible for providing the design of the foundations.
- Foundation material shall be approved immediately before placing concrete.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.



CONCRETE BLOCK MASONRY

- All workmanship and materials shall be in accordance with AS 1684.2 and AS 1684.3.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.

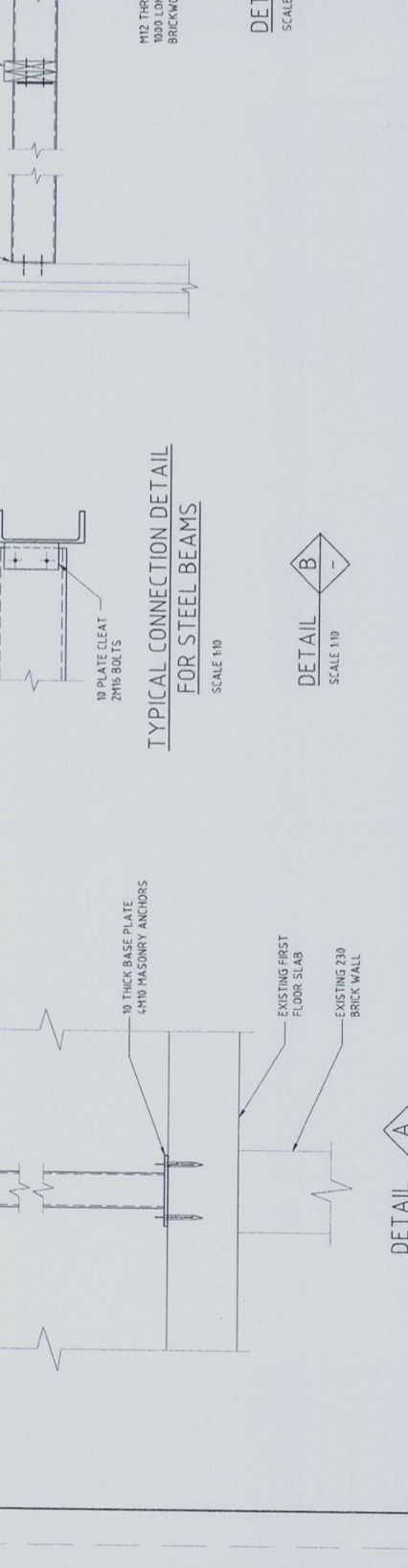
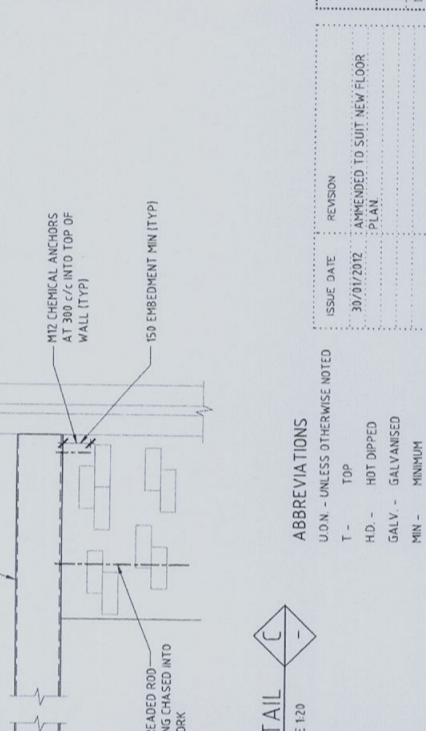


GENERAL

- These drawings shall be reviewed by an architectural and structural consultant before construction commences.
- Order for erection before proceeding with the work.
- Dimensions shall not be exceeded by cutting the structural drawings.
- The contractor shall be responsible for maintaining the structure and neighbouring structures in a safe and stable condition during construction. No part shall be over-stressed.
- An adequately and suitably shall be in accordance with the requirements of the Council.

FOUNDATION NOTES

- The structural engineer shall be responsible for providing the design of the foundations.
- Foundation material shall be approved immediately before placing concrete.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.
- Concrete shall be placed in accordance with the requirements of AS 1684.2.



ABBREVIATIONS

U.O.N. - UNLESS OTHERWISE NOTED

T - TOP

H.D. - HOT DIPPED

GALV. - GALVANISED

MN - MINIMUM

C/C - CENTRE TO CENTRE

SQ - SQUARE

TYP - TYPICAL

REVISION

NO.	DATE	DESCRIPTION
1	30/01/2012	APPROVED TO SUIT NEW FLOOR PLAN

TITLE

STRUCTURAL DETAILS - ALTERATIONS
1 WARATAH ST, MONA VALE

DRAWN YC

CHECKED [Signature]

DATE 5 SEPTEMBER 2011

SCALE 1:100, 1:10, 1:20

TAYLOR CONSULTING
CIVIL & STRUCTURAL ENGINEERING

DRAWING NO 25611/A

PROJECT 1 WARATAH ST, MONA VALE

DATE 5 SEPTEMBER 2011

CHECKED [Signature]

SCALE 1:100, 1:10, 1:20

DRAWN YC

PROJECT 1 WARATAH ST, MONA VALE



PSE ACCESS CONSULTING
Access/Built Environment
Architectural Advice/Training
Adaptation/Certification/B.C.A./DDA
ACAA Accredited.

15th March 2013.

DISABLED ACCESS/COMPLIANCE CERTIFICATION

BUILDING CODES AUSTRALIA (BCA),
NATIONAL CONSTRUCTION CODE (NCC)-2012.
DISABILITY DISCRIMINATION ACT 1992 (DDA),
DISABILITY (ACCESS TO PREMISES-BUILDINGS) STANDARDS 2010.

SUBJECT; CHANGE-OF-USE/FIT OUT.
The lessee; Health and Fitness Studio (24 hour).

SITE ADDRESS; 1 Waratah Street, Mona Vale
First floor.

The report was prepared in accordance with the requirements of the Disability (Access to Premises-Buildings) Standards 2010.

REPORT BY; PETER SIMPSON.
ACAA Accredited Access Consultant.
Accreditation No. 185.

C.C. 2013 / 030

The report by PSE Access Consulting of 15th December has been adopted and approved by Pittwater Council as satisfying the intent and objectives of Clause C2.6 of Pittwater 21 DCP.

The requirements of Building Codes Australia-2012 BCA/NCC-2012 Section D Access and egress, Part D3 Access for people with disability have "as far as is reasonable" in these circumstances have been addressed.

In my, PSE Access Consulting, opinion that the proposal in so far as the "affected" part of the building, satisfies the provisions of Disability (Access to Premises-Buildings) Standard-2010, as applicable and subsequently the Disability Discrimination Act 1992.

Yours sincerely

Peter Simpson
Accredited by,
Association of Consultants in Access Australia

14 Mashman Ave
Wentworthville 2145

Phone: 0419 489158

Disability Awareness Training; Advocacy; BCA/DA/DCP Assessment; Standards/ Codes Compliance; E-mail: psadvice@bigpond.net.au



Long Service
CORPORATION

Levy Online Payment Receipt

Building and Construction

PROVINCIAL PLANNING
LEVEL 1, THE PAVILION,
280 NEW LINE ROAD
DURAL NSW 2158

This receipt is issued as part of the approved
Certificate as issued by Council Building Certifiers

CC 2013 / 031

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

Application Details:

Applicant Name:	PROVINCIAL PLANNING
Levy Number:	5043194
Application Type:	DA
Application Number:	267/12
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	1 WARATAH STREET MONA VALE NSW 2103
Value of work:	\$88,000
Levy Due:	\$308.00

Payment Details:

LSC Receipt Number:	136597
Payment Date:	30/04/2013 9:13:22 PM
Bank Payment Reference:	699053084
Levy Paid:	\$308.00
Credit card surcharge:	\$1.23
Total Payment Received:	\$309.23



Application Lodgement Summary

Reference Number 8401175

Date Requested: Wed April 10 2013

Agent Reece Castle Hill, Unit E/2 Packard Ave Castle Hill
Applicant Provincial Planning, L1/ 280 new line rd dural 2158
Property/Asset 1 Waratah St, Mona Vale 2103 (Jak Pollivesc Pty Ltd) PNum: 3461500
 225 mm VC Sewer Main - (2792772) (WasteWater)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$16.71	\$0.00	\$16.71

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.

2 May 2013

Project No: 4414

Provincial Planning
Level 1, The Pavilion
280 New Line Road
DURAL NSW 2158

Attention: Joe Vescio
By Email: Joe@provincial.com.au

Dear Joe,

Re: Fire Safety Schedule of Proposed Fire Safety Measures – 1 Waratah Street, Mona Vale

1.0 Introduction

This report provides a fire safety schedule as per paragraph 2 of Condition C3 of development consent DA No.N0267/12 (dated 18 February 2013) issued by Pittwater Council for the "change of use and fit out of the first floor of the existing building for a health and fitness studio operating 24 hours a day, 7 days a week at 1 WARATAH STREET MONA VALE NSW 2103".

Paragraph 2 of Condition C3 requires that "a satisfactory and complete schedule of essential fire safety measures required to be installed within and/or in association with the building including the minimum standard for performance of each measure is to be submitted to the Accredited Certifier or Council prior to release of the Construction Certificate. The schedule is to include a signed statement from a suitably qualified person confirming that all essential fire safety measures as required by the Building Code of Australia have been listed so as to ensure the safety of persons in the building in the event of an outbreak of fire".

2.0 Basis of Report

This report is based on a desktop assessment of the following information:

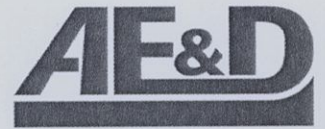
- Architectural plans (Project No. 1023) prepared by Provincial Planning:
 - Dwg No. CC01 (Site Plan), Rev C, dated 10.04.13;
 - Dwg No. CC02 (Floor Plan), Rev C, dated 10.04.13;
- BCA Report dated 4 April 2013, prepared by Provincial Planning;
- The Building Code of Australia 2012, published by the Australian Building Codes Board; and
- The Guide to the Building Code of Australia 2012, published by the Australian Building Codes Board.

3.0 Limitations of the Report

This report excludes any works not outlined above, however specifically excludes the following:

- Is limited to the proposed building works;
- Does not provide a BCA compliance assessment of the proposal or the existing building, other than an assessment of what fire safety measures are required in the building;
- Consideration of any structural elements or geotechnical matters relating to the building, including any structural or other assessment of the existing inherent fire resistance levels (FRLs) of the building;
- OH&S considerations;
- Consideration of any fire services operations (including hydraulic, electrical or other systems);

Page 1 of 5



ABN 15 149 587 495
Suite 3.04, 55 Miller Street Pyrmont NSW 2009
P: 02 9571 8433
F: 02 9571 8466
admin@aedconsulting.com.au
www.aedconsulting.com.au

This plan / document forms part of the approved
Certificate as issued by Comcert Building Certifiers

CC 2013 / 030

- Assessment of plumbing and drainage installations, including stormwater;
- Assessment of mechanical plant operations, electrical systems or security systems;
- Heritage significance;
- Determining compliance with the Disability Discrimination Act 1992;
- Consideration of energy or water authority requirements;
- Consideration of Council's local planning policies;
- Determining compliance of the street hydrants with AS 2419.1-2005 to perform the hydrant protection of the building, as this was not part of our scope;
- An audit of the building's fire services and fire safety measures was not undertaken. If required, this should be undertaken by a qualified fire services contractor. Fire services were assessed on the basis of whether or not they are required by the BCA and does not assess their operating ability.

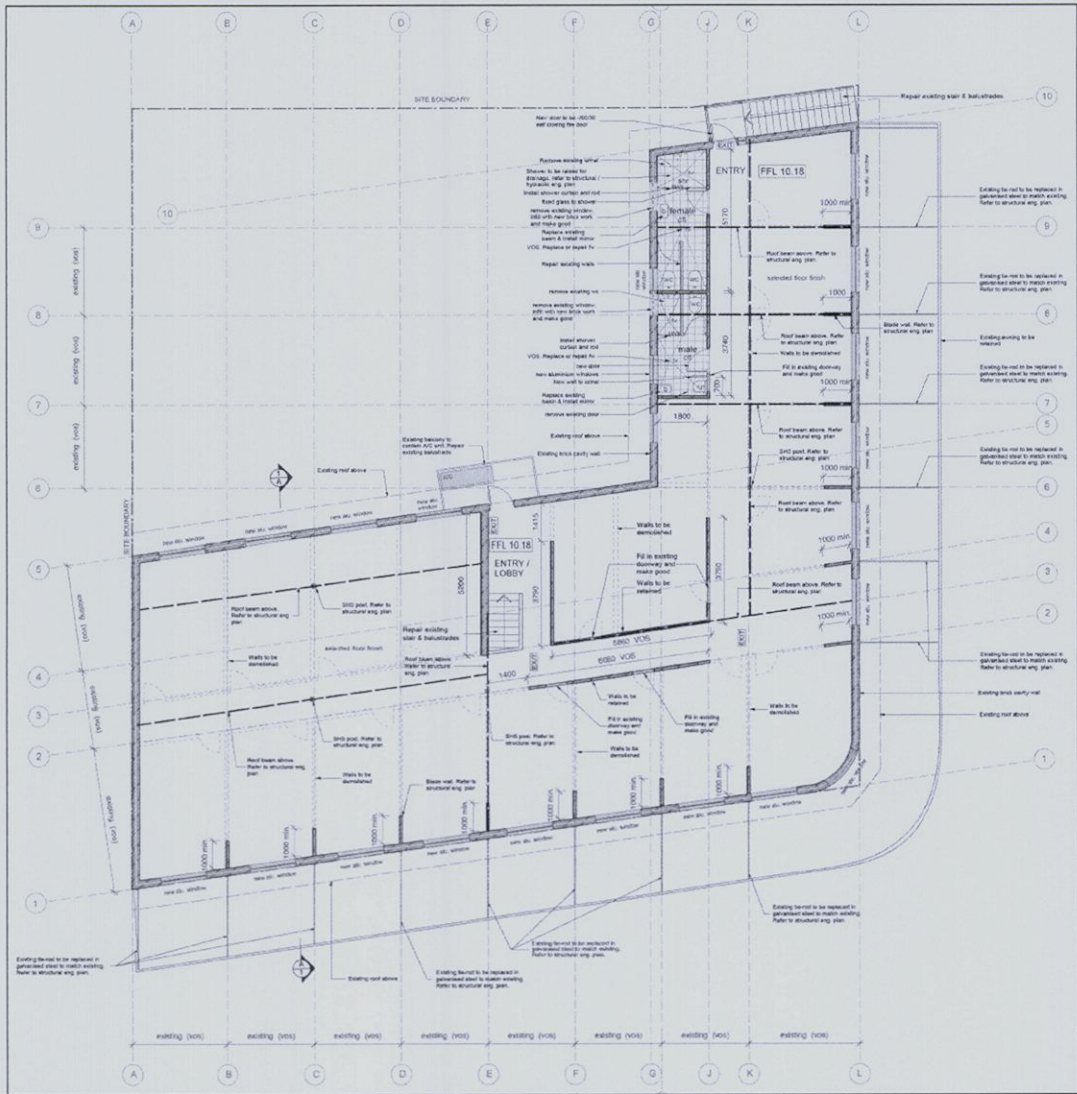
4.0 BCA Assessment Data

The following is a summary of the Building Code of Australia (2012) assessment data in relation to the proposed use of the two storey building at 1 Waratah Street, Mona Vale:

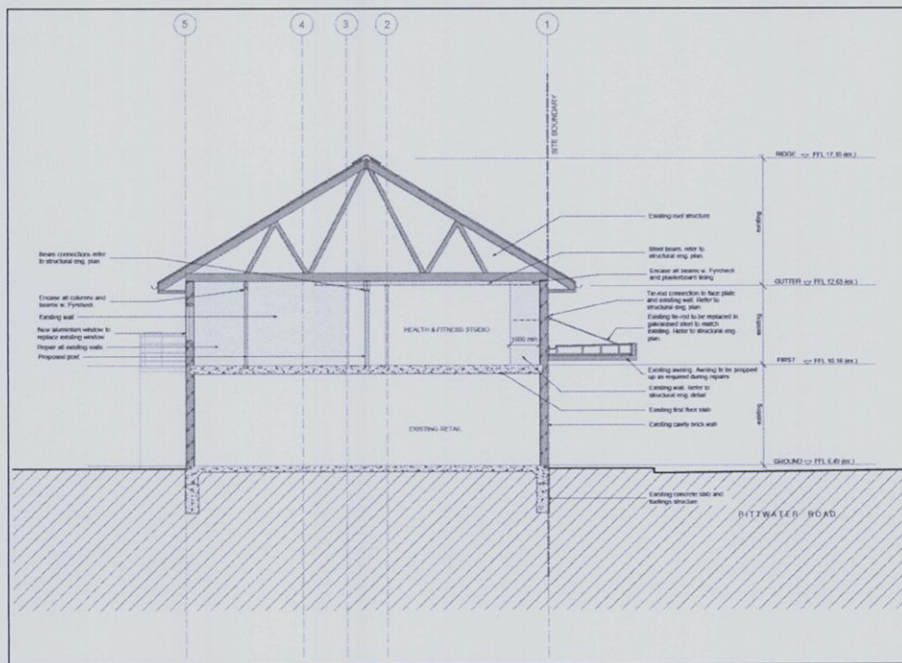
BCA Building Classification:	Ground Floor street level shops – Class 6; First Floor gymnasium – Class 9b (<i>determined in accordance with A3.2, A3.3 and A3.4 of the BCA</i>);
Building rise in storeys:	2 (<i>determined in accordance with C1.2 of the BCA</i>).
Type of Construction (if built today):	Type B (<i>determined in accordance with C1.1 of the BCA</i>);
Floor area limitations:	Class 6 part – 3,500m ² (floor area), 21,000m ³ (Volume) not exceeded Class 9b part – 5,500m ² (floor area), 33,000m ³ (Volume) not exceeded (<i>determined in accordance with C2.2 of the BCA</i>);
Effective height:	Less than 12m (<i>determined in accordance with A1.1 of the BCA</i>);



Google Earth image (2013)



First Floor plan



Section

5.0 Fire Safety Schedule

PROPOSAL: *Change of use and fit out of the first floor of the existing building for a health and fitness studio*

ADDRESS: *1 Waratah Street, Mona Vale*

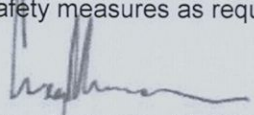
PERFORMANCE BASED ALTERNATIVE SOLUTION: YES NO

RELEVANT BCA VOLUME: BCA 2010

The building assessed under: *BCA 2012*
 The building is classified as: *6 and 9b*
 The building has a rise in storeys of: *2*
 The building is to be constructed of: *Type B Construction*
 The building has an effective height of: *Less than 12m*

FIRE SAFETY MEASURES	INSTALLATION STANDARDS/LEVEL OF PERFORMANCE	NATURE OF INSPECTION OR TEST & FREQUENCY (for information only)
Fire-resistant doorset (self-closing fire door with FRL -/60/30 to First Floor north-western doorway exposed to north-western allotment boundary)	BCA Clause C3.4, BCA Specification C3.4, AS 1905.1-2005	To AS1851-2005
Automatic closing fire shutter with FRL -/60/- to First Floor north-western window exposed to south-western allotment boundary)	BCA Clause C3.4, BCA Specification C3.4, AS 1905.2-2005	To AS1851-2005
Fire Hazard Properties of all new floor materials, floor coverings, wall and ceiling lining materials	BCA Clause C1.10, BCA Specification C1.10	Annual inspection to confirm no materials with potentially non-conforming fire indices occur
Exit doors & paths of travel to exits	BCA Clause D1.6, BCA Clause D2.21, Clause 186 Environmental Planning and Assessment Regulation 2000	Monthly inspections to confirm exit doors are accessible, intact, operational and fitted with conforming hardware
Street hydrants & mains	BCA Clause E1.3, AS 2419.1-2005	Annual receipt of an updated Sydney Water Statement of Available Pressure & Flow from the nominated street hydrant confirming compliance with AS 2419.1-2005
Fire hose reel system	BCA Clause E1.4, AS 2441-2005	To AS1851-2005
Portable fire extinguishers	BCA Clause E1.6, AS 2444-2001	To AS1851-1995
Emergency lighting	BCA Clauses E4.2 & E4.4, AS 2293.1-2005	To AS 2293.2
Exit signs	BCA Clauses E4.5 & E4.6, AS 2293.1-2005	To AS 2293.2

Statement: As per paragraph 2 of Condition C3 of development consent DA No.N0267/12 (dated 18 February 2013) issued by Pittwater Council, it is confirmed that the above fire safety schedule has listed all essential fire safety measures as required by the Building Code of Australia.


Greg Murrow – AE&D Associate

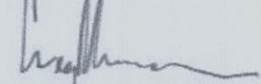
MAIBS,
 B App Sc Env Hlth & Build Surv (UWS)
 Grad Dip Build Surv (UWS)
 Accredited Certifier / Principal Certifying Authority (Building) – Grade A1 (Unrestricted)

6.0 Conclusion

AE&D has prepared a fire safety schedule as per paragraph 2 of Condition C3 of development consent DA No.N0267/12 (dated 18 February 2013) issued by Pittwater Council for the "*change of use and fit out of the first floor of the existing building for a health and fitness studio operating 24 hours a day, 7 days a week at 1 WARATAH STREET MONA VALE NSW 2103*".

If you require any further information, please contact the undersigned.

Yours sincerely



Greg Murrow – AE&D Associate

MAIBS,
B App Sc Env Hlth & Build Surv (UWS)
Grad Dip Build Surv (UWS)
Accredited Certifier / Principal Certifying Authority (Building) – Grade A1 (Unrestricted)

for AE&D

Job Number: 13163

Date: 22nd April, 2013

Steve Macri
Dreambuild Pty Ltd
6/37A King Rd
Hornsby NSW 2077

Dear Sir,

This plan / document forms part of the approved
Certificate as issued by Council Building Certifiers

CC 2013 / 030



**RE: 1 WARATAH ST, MONA VALE
FIRE HYDRANT DESIGN INTERIM CERTIFICATION**

We certify that the fire hydrant coverage at the above property and as shown on the following drawing SK-01A is in accordance with the following standards:

- Fire Hydrants - BCA clause E1.3 & AS2419.1:2005. Coverage provided by a street hydrant on a 200mm CICL water main in Waratah St. located approximately 4m from the intersection of Waratah St and Mona Vale Rd

This certification is interim in nature and subject to final review after receipt of a current water main pressure enquiry statement from Sydney Water for the subject main fronting the property.

If you would like to discuss any part of the certification please do not hesitate to contact us.

Yours faithfully,

Neil Gittoes

Hydraulic Engineer
Olsen Infrastructure Pty Ltd

Olsen Infrastructure Pty
ABN 29 132 641 1

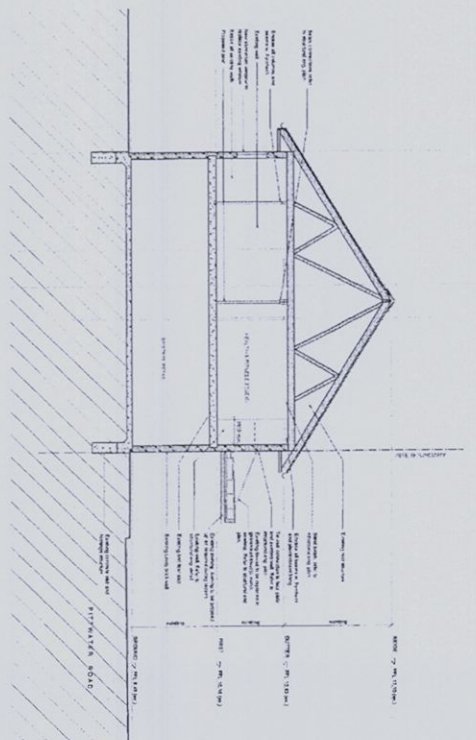
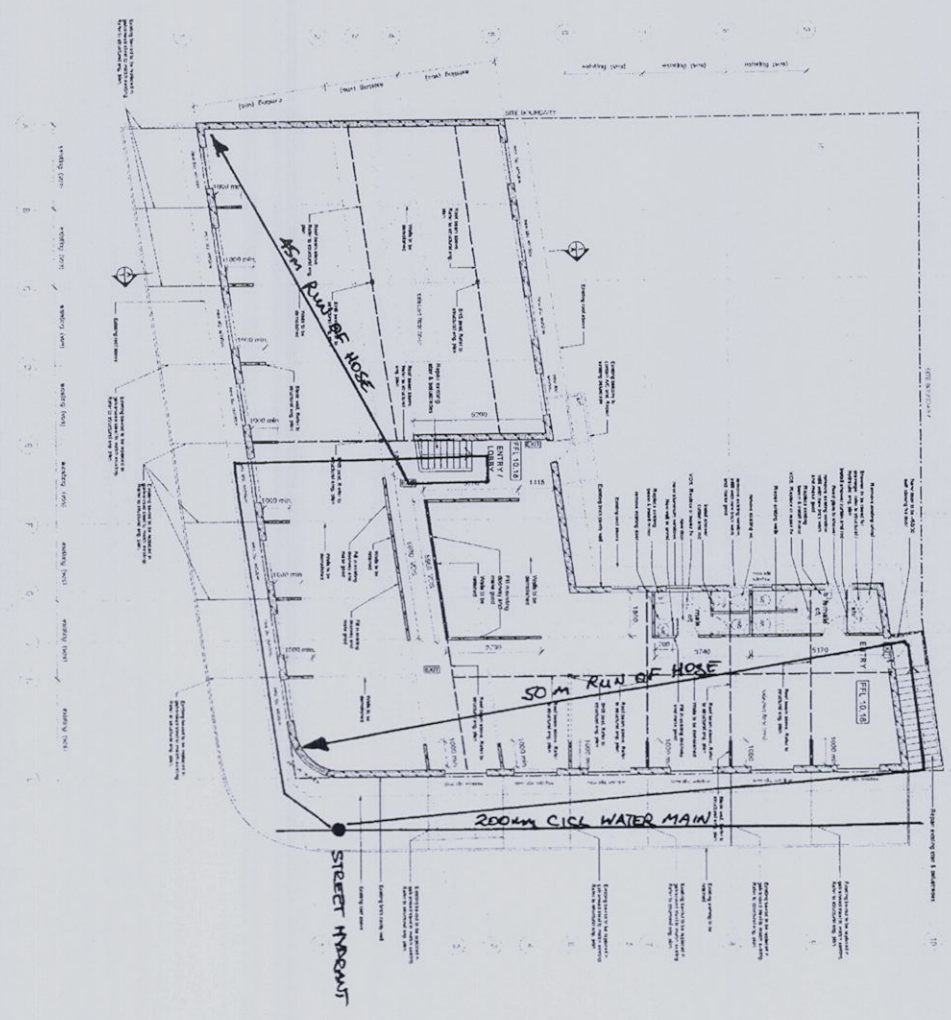
Correspondence
PO Box
Kellyville NSW 2

Suite
7a Gladstone Rd
Castle Hill NSW 2

P: 9899 4
F: 9899 6

Email:
admin@olseninfrastructure.com

www.olseninfrastructure.com



1 Level 1 Plan (Upper Floor)
1:200 @ A3



Olsen Infrastructure Pty Ltd
PO Box 552
Kellyville NSW 2155
Ph. 02 9899 4001

2 Section A-A
1:200 @ A3

SK-01 A

22-4-13

NOTES
 1. All work to be done in accordance with the relevant Australian Standards and the relevant Building Code of Australia.
 2. The design is based on the information provided by the client and is subject to change without notice.
 3. The design is for general information only and is not to be used for construction without the approval of the relevant authorities.
 4. The design is not to be used for any other purpose without the written consent of the designer.

REV	DATE	BY	CHKD	DESCRIPTION
1	22-4-13	AK/JV	AK/JV	Issue for construction
2	22-4-13	AK/JV	AK/JV	Issue for construction
3	22-4-13	AK/JV	AK/JV	Issue for construction

REV	DATE	BY	CHKD	DESCRIPTION
1	22-4-13	AK/JV	AK/JV	Issue for construction
2	22-4-13	AK/JV	AK/JV	Issue for construction
3	22-4-13	AK/JV	AK/JV	Issue for construction

CONSTRUCTION CERTIFICATE
 Health & Fitness Studio
 1 Warburton St, Morna Vale
 First Floor Plan

PROVINCIAL PLANNING

1023
 As noted @ A1
 April 2013
 C 0012

COUNCIL COPY



Comcert

Building Certifiers

CONSTRUCTION CERTIFICATE APPLICATION FORM

Applications must be delivered by hand, by post or transmitted electronically to the principal office of the certifying authority. Applications MAY NOT be sent by fax.

Application No.	(Office Use Only)	Date Received
CC2013/030		26/4/13

Information for the Applicant

This form may be used to apply for a construction certificate (a "certificate") to carry out building work.

To complete this form, please place a cross in the relevant boxes, fill out the white sections as appropriate and to minimise delay in receiving a decision please attach copies of all documents indicated in the form and checklist are provided. Once completed, this application form should be submitted to a certifying authority for determination.

A construction certificate has no effect if it is issued after the building work to which it relates is physically commenced on the land to which the relevant development consent applies.

Property / Development Details		
Lot/s No.	DP/SP No.	Section/Volume/Folio.
Lot 1	DP562736	
Unit/Shop/Street No.	Street Name	
1	Waratah Street	
Suburb	Postcode	
Mona Vale	2103	
Zone	Site Area	
Business 3a	712 m ²	
BCA Classification	The Estimated Cost of Development is the contract price, or if there is no contract a genuine and accurate estimate, for all labour and material costs associated with all demolition and construction required for the development, including the cost of construction of any building and the preparation of a building for the purpose for which it is to be used (such as the costs of installing plant, fittings, fixtures and equipment inc. GST) and is to be not less than that shown on the development application form.	
Class 9b		
Estimated Cost of Development		
\$88,000		
Description of Development		
Change of use to fitness studio and alterations		
Development Consent No.	Date of Approval	
DA267/12	18 february, 2013	
Name of Consent Authority		
Pittwater Council		
Name of Applicant for development consent		
Maria Pollifrone		
A complete copy of the development consent is to be provided, including the following:		
<ul style="list-style-type: none">• approved plans endorsed by the consent authority• conditions of development consent• other documents referenced by the development consent that are relevant to this application.		

Comcert Building Certifiers Pty Ltd
Suite 15, 7 Sefton Road, Thornleigh NSW 2120
Phone: (02) 9980 0300
ABN 82 160 120 016

This application may only be made by a person who is eligible to appoint a Principal Certifying Authority, i.e. the owner or the person having the benefit of the Development Consent – **the builder may not make this application** unless the builder is the owner of the land.

Applicant's Details	
<input type="checkbox"/> Mr <input type="checkbox"/> Ms <input checked="" type="checkbox"/> Mrs <input type="checkbox"/> Dr <input type="checkbox"/> Other (Please specify)	
First Name	Family Name
Maria	Pollifrone
Association to the project	
<input type="checkbox"/> Owner <input type="checkbox"/> Tennant <input type="checkbox"/> Architect <input checked="" type="checkbox"/> Other (Please specify)	
authorised person	
Company (If Applicable)	ABN (If Applicable)
Postal Address (All correspondence shall be forwarded to this address)	
Level 1, The Pavilion, 280 New Line Road, DURAL	
Phone	Fax
9651 3377	
Mobile	Email
	frances@provincial.com.au
APPLICANT DECLARATION: I apply for consent to carry out the works described in this application. I declare that all the information provided is true and correct. I acknowledge that, if incomplete, this application may be delayed or refused or additional information may be requested.	
Signature	Date
<i>cb. Pollifrone</i>	24/4/13

Billing Details	
(If left blank it is taken to be the same as the applicant)	
Billing Name:	ABN:
as above	
Billing Address:	

Principle Contractor / Owner Builder's Details	
Home Owner's Warranty Insurance / Owner Builder permit to be attached if applicable – not required for commercial development	
Builder Name:	
TBA	
Licence No / Permit No.:	Contact Phone No.:
Fax No.:	Email.:

Information	
Is the development or the land upon which the development is to be carried out is subject to a planning agreement as referred to in section 93F EP&A Act? If yes, provide a copy of the planning agreement.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Does the application relate ONLY to a fire link conversion? If yes, provide a document that describes the design, construction and mode of operation, of the new fire alarm communication link.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Does the development involve subdivision work? If yes, an appropriate accredited certifier will be required for this portion of the work.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Information (cont.)

Does the development involve building work ? (including work in relation to a dwelling house or a building or structure that is ancillary to a dwelling-house). If 'Yes' the following is to be provided: Yes No

(1) A detailed description of the development by completing the information required for the Australian Bureau of Statistics.

(2) Appropriate building work plans and specifications, which are to include:

(a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:

(i) a plan of each floor section, and

(ii) a plan of each elevation of the building, and

(iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and

(iv) the height, design, construction and provision for fire safety and fire resistance (if any),

(b) specifications for the development:

(i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and

(ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,

(c) a statement as to how the performance requirements of the Building Code of Australia are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),

(d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C(4) of the *Environmental Planning and Assessment Act 1979* (EP&A Act)*

(e) copies of any compliance certificate to be relied on,

(f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building

(g) if a BASIX certificate has been obtained for the development, such other matters as the BASIX certificate requires to be included in the plans and specifications.

* S.79C(4) EP&A Act provides that a consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the Building Code of Australia if the building product or system is accredited in respect of that requirement in accordance with the EP&A regulation 2000.

Does the development involve building work ? (other than work in relation to a dwelling house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion). If 'Yes' the following is to be provided: Yes No

(a) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and

(b) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work.

Does the development involve building work in respect of which an alternative solution under the Building Code of Australia (BCA) in respect of fire safety requirement ? Yes No

If yes, provide either or both of the following from a "fire safety engineer" (i.e. a private accredited certifier holding Category C10 accreditation):

(a) a compliance certificate (as referred to in s.109C(1)(a)(v) EP&A Act) that certifies that the alternative solution complies with the relevant performance requirements of the BCA.

(b) a written report that includes a statement that the alternative solution complies with the relevant performance requirements of the BCA.

Does the application relate to a residential flat development for which the development application was required under Clause 50(1A) of the EP&A Regulation to be accompanied by a design verification from a qualified designer ? If yes, provide: Yes No

A statement from a qualified designer which verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of *State Environmental Planning Policy No. 65: Design Quality of Residential Flat Development* (SEPP 65).

Note: If the development application was also required to be accompanied by a BASIX certificate with respect to any building, the statement need not verify the design quality principles set out in SEPP 65 to the extent to which they aim to

- reduce consumption of mains-supplied potable water, or reduce emissions of greenhouse gases, in the building or in the use of the land that it is built on, or
- improve the thermal performance of the building.

Has the Fire Commissioner granted an exemption under clause 188 EP&A Regulation from compliance with any specified Category 3 fire safety provision ? If yes, provide: Yes No

A copy of the exemption together with any conditions imposed.

Is any long service levy payable under s.34 of the Building and Construction Industry Long Service Payments Act, 1986 ? If yes, provide: Yes No

A copy of a receipt for any long service payment levy that has been made (or, where such a levy is payable by instalments, a receipt for the first instalment of the levy).

Does the application involve a BASIX affected development, or a BASIX optional development for which a BASIX certificate has been submitted ? If 'Yes' provide: Yes No

(a) the BASIX certificate(s) for the development (being a certificate(s) that has been issued no earlier than 3 months before the date of the Application being made, and

(b) such other documents as the BASIX certificate(s) for the development requires to accompany the Application.

Information (cont.)

BASIX (the Building and Sustainability Index) ensures homes are built to be more energy and water efficient. BASIX uses an online program to assess a building's design and compares it against energy and water reduction targets. The design must meet these targets before a BASIX certificate can be printed. Any changes made to a building's design after a BASIX certificate has been issued requires another BASIX assessment and new BASIX certificate. "BASIX affected buildings" contain one or more dwellings (but do not include hotels or motels).

A BASIX certificate **MUST** be obtained for every "BASIX affected development", which are any of the following (other than development that is "BASIX excluded development"):

- (a) development that involves the erection (but not the relocation) of a BASIX affected building
- (b) development that involves a change of building use by which a building becomes a BASIX affected building
- (c) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is \$50,000 or more
- (d) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of 40,000 litres or more.

"BASIX excluded development" is

- (a) development for the purpose of a garage, storeroom, car port, gazebo, verandah or awning
- (b) alterations, enlargements or extensions to a building listed on the State Heritage Register under the Heritage Act 1977
- (c) alterations, enlargements or extensions that result in a space that cannot be fully enclosed (for example, a veranda that is open or enclosed by screens, mesh or other materials that permit the free and uncontrolled flow of air), other than a space can be fully enclosed but for a vent needed for the safe operation of a gas appliance
- (d) alterations, enlargements or extensions that the Director-General has declared, by order published in the Gazette, to be BASIX excluded development.

A BASIX Certificate **MAY** be obtained for certain developments by an Applicant even though there is no obligation to do so. This is called "BASIX optional development". "BASIX optional development" means any of the following development that is not BASIX excluded development:

- (a) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimate of the construction cost of the development is less than \$50,000
- (b) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of less than 40,000 litres.

If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned. Further information about BASIX and to obtain a BASIX Certificate, go to <http://www.basix.nsw.gov.au>.

PCA SERVICE AGREEMENT

Engagement

The engagement or the appointment of the PCA will not commence until the proposed PCA has accepted and notified their acceptance of the appointment to the Owner or Authorised Representative and the Local Council. The proposed PCA or Concert Building Certifiers Pty Ltd will not accept any responsibility for any damages, losses or delays suffered by the Applicant as a result of omissions or errors contained within this form or failure of the Applicant to comply with all items contained in this form.

Scope

The scope of works covered under this appointment is restricted to those building works as described in the "Details of Development" within this form.

Terms and Conditions

1. All information provided by the Applicant on this form will be taken to be accurate and correct. The PCA does not accept any responsibility for any intentional or unintentional error or omission made by the Applicant on this form.
2. Where building works have commenced prior to the acceptance of appointment of PCA without the knowledge of the intended PCA the appointment shall be invalid and acceptance of the appointment will be withdrawn.
3. The Applicant is obliged to keep the PCA informed of any changes to the details of Principal Contractor (builder) and any relevant insurances required by the builder. Failure to meet this obligation will result in the Applicant indemnifying the PCA against any losses or suffering as a result of non compliance with the legislative requirements.
4. The Applicant is responsible for ensuring that a copy of Home Warranty Insurance or Owner Builder Permit is submitted to the PCA prior to the commencement of building works. The acceptance of the appointment will not occur until this requirement has been met.
5. It is the responsibility of the Applicant to ensure that critical stage inspections are booked in with our office, or make arrangements for your builder to do this on your behalf no later than 3pm on the prior business day via fax, post or email.
6. It is the responsibility of the Applicant/Owner to ensure that any Section 94 or Section 94A contributions applicable to the project in accordance with the Council's Policy, has been paid to Council.

7. The PCA will not accept responsibility for any damages or costs associated for the inability to issue an Occupation Certificate due to, but not limited to, the following:- non-compliance with a development consent condition, unsatisfactory final inspection, non compliance with BASIX commitments, missed critical stage inspections, non compliance with approved building plans or failure to pay the required inspection or Occupation Certificate fees.

Fees

Failure to pay the prescribed fee will generally result in a refusal to accept the appointment of PCA. Should an appointment be accepted and payment not honoured, the Applicant will be ultimately liable for unpaid fees, regardless of whether the fee was paid directly to a third party, and any associated debt recovery costs plus interest incurred from the time of the appointment. It is noted that the PCA and/or Concert Building Certifiers Pty Ltd may suspend its services provided to the appointor or the builder, where fees have not been paid, within the provisions of the Building and Construction Industry Security of Payment Act 1999.

DECLARATION BY APPLICANT/S

I/We the aforementioned persons as described as the Applicant hereby declared the following that:

1. I/We "have the benefit of the Development Consent or Complying Development Certificate" within the meaning and under EP&A Act 1979 for the proposed works as indicated on this form.
2. I/We, to the best of my/our knowledge, have completed all details in this form in a correct and accurate manner and hereby indemnify the appointed PCA and Concert Building Certifiers Pty Ltd against any damage, losses or suffering as a result of incorrect information provided.
3. I/We hereby consent to the Builder as shown within this form to apply and obtain on my/our behalf a Construction Certificate, Complying Development Certificate, Occupation Certificate/s or any other "Part 4A Certificate" within the meaning of the EP&A Act 1979.
4. I/We have read, understood and hereby accept the terms and conditions outlined within the PCA Service Agreement on this form and the Conditions of Engagement included in the quotation.
5. I/We understand that the Appointment of the PCA is not taken to be have been accepted until a copy of the acceptance has been signed by the proposed PCA and released to the Applicant and Council, effective from the date of the acceptance.
6. I/We understand that the Commencement of Building Work cannot be any earlier than two (2) business days after the appointment of PCA has been accepted and therefore declare that no building works will commence until after such date.
7. I/We authorise the right of entry for any certifying authority arranged by Concert Building Certifiers Pty Ltd to carry out inspections, surveys, take measurements or photographs required by the PCA under this agreement.
8. I/We authorise the transfer of PCA to another employee of Concert Building Certifiers Pty Ltd if the original PCA ceases employment with Concert Building Certifiers Pty Ltd for any reason or becomes unable to fulfill their duties as the PCA at no cost to Concert Building Certifiers Pty Ltd.
9. I/We understand the appointment of PCA will not be accepted until documentation of required insurances or owner builder permit is submitted to Concert Building Certifiers Pty Ltd, in accordance with the Home Building Act 1998.
10. I/We understand that it is my/our responsibility to ensure that sufficient notice is given to Concert Building Certifiers Pty Ltd, in writing, to carry out critical stage inspections or make arrangements with your builder to carry out this function on your behalf as a condition of your Building Contract.
11. I/We declare that I/we will notify the PCA at the earliest possible instance of any changes of the appointment of the builder and ensure any mandatory insurances required by the incoming builder in accordance with Home Building Act 1989 are in place.

OWNERS DECLARATION

I/We, the aforementioned person/s or authorised representative of a legal entity as described as the Applicant in the application form hereby declare the following:

1. I/We, to the best of my/our knowledge, have completed all details in the Application Form in a correct and accurate manner and hereby indemnify Concert Building Certifiers Pty Ltd against any damages, losses or suffering as a result of incorrect information provided under that section.
2. I/We have obtained consent from the owner/s of the property to apply and obtain a Construction or Complying Development Certificate. Such written consent is provided with this application.
3. I/We have read, understood and hereby accept the terms and conditions outlined in this form and the Conditions of Engagement included in the quotation.
4. I understand that the Application for a Construction or Complying Development Certificate is not complete until all required documentation has been received by Concert Building Certifiers Pty Ltd.

5. I understand that the Application for and acquisition of a Construction or Complying Development Certificate does not authorise Commencement of Building Work.

Owners Consent	
<i>(If there are more than two owners please attach additional copies of this page)</i>	
Owner 1	Owner 2
Name	Name
JAK Pollivesc Pty Ltd	
Postal Address	Postal Address
Level 1, The Pavilion, 280 New Line Road	
Dural	
Phone	Phone
Email	Email
frances@provincial.com.au	
OWNER STATEMENT: As the owner(s) of the above property, I/we consent to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this application. I/we undertake to take all necessary steps make access available to the property to enable the inspection to be carried out.	
Owner 1	Owner 2
Signature	Signature
<i>Mr. Pollivesc</i>	
Date	Date
24/3/13	
STRATA TITLE AND COMMUNITY TITLE – If the property is a unit under strata title or a lot in a community title, in addition to the owner's signature the common seal of the Owners Corporation must be stamped on this form and signed by the chairman of the Owners Corporation or the appointed managing agent.	
Strata Seal	
Please note that all owners of the property must provide written consent. If you are signing on the owner's behalf as the owner's legal representative, please attached documentary evidence as to the nature of your legal authority, e.g. Power of Attorney, Company Director, Executor, Trustee.	
Documents accompanying this application shall be as prescribed by the Environmental Planning & Assessment Act, 1979, as amended, and Schedule 1 of the Environmental Planning & Assessment Regulation 2000, as amended.	

INFORMATION REQUIRED FOR THE AUSTRALIAN BUREAU OF STATISTICS

Please complete this table indicating the types of building materials to be used in association with this application

All New Buildings

- Number of storeys (including underground storeys) 2
- Gross floor area of the new building 416m²
- Gross site area 712m²

Residential Buildings Only

- Number of existing dwellings on site Nil
- Number of existing dwellings to be demolished Nil
- Number of new dwellings to be constructed Nil
- Will the new building(s) be attached to any existing building ? Yes No
- Will the new building(s) be attached to any other new building ? Yes No
- Does the site contain a dual occupancy? Yes No
(NB dual occupancy = two dwellings on the same site)

Materials – Residential Buildings

Walls	Code	Roof	Code	Floor	Code	Frame	Code
<input type="checkbox"/> Brick (double)	11	<input type="checkbox"/> Tiles	10	<input type="checkbox"/> Concrete/slate	20	<input type="checkbox"/> Timber	40
<input type="checkbox"/> Brick(veneer)	12	<input type="checkbox"/> Concrete / slate	20	<input type="checkbox"/> Timber	40	<input type="checkbox"/> Steel	60
<input type="checkbox"/> Concrete/stone	20	<input type="checkbox"/> Fibre cement	30	<input type="checkbox"/> Other	80	<input type="checkbox"/> Aluminium	70
<input type="checkbox"/> Fibre cement	30	<input type="checkbox"/> Steel	60	<input type="checkbox"/> Not specified	90	<input type="checkbox"/> Other	80
<input type="checkbox"/> Timber	40	<input type="checkbox"/> Aluminium	70			<input type="checkbox"/> Not specified	90
<input type="checkbox"/> Curtain glass	50	<input type="checkbox"/> Other	80				
<input type="checkbox"/> Steel	60	<input type="checkbox"/> Not specified	90				
<input type="checkbox"/> Aluminium	70						
<input type="checkbox"/> Other	80						
<input type="checkbox"/> Not specified	90						



Comcert

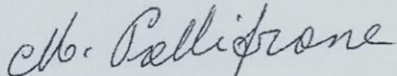
Building Certifiers

APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

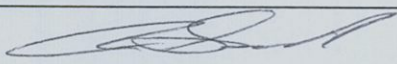
Environmental Planning & Assessment Act, 1979 – S81A(2) or 86(1)

Application No.:	Date of Issue
CC2013/030	6/4/13

Property / Development Details		
Lot/s No.	DP/SP No.	Section/Volume/Folio
Lot 1	DP562736	
Unit/Shop/Street No.	Street Name	
1	waratah street	
Suburb	Postcode	
Mona Vale	2103	
Development Consent	Date of Approval	Issued By
267/12	18 February, 2013	Pittwater Council
Description of Development		
Alterations including change of use to fitness studio		

Details of Person Appointing the PCA		
Name:		
JAK Pollivesc Pty Ltd		
Postal Address:		
Level 1, The Pavilion, 280 New Line Road DURAL		
Phone	Fax	Email
96513377		joe@provincial.com.au
 Signature		Date

PCA Details (Please place a tick in the relevant box – 1 only)	
<input type="checkbox"/> Paul Prestidge - BPB1800 Comcert Building Certifiers Pty Ltd PO Box 19, Pennant Hills NSW 1715 Email: paul@comcert.com.au Phone: (02) 9980 0300	<input checked="" type="checkbox"/> James Somerville - BPB0759 Comcert Building Certifiers Pty Ltd PO Box 19, Pennant Hills NSW 1715 Email: james@comcert.com.au Phone: (02) 9980 0300

Consent to Appointment (Office Use Only)	
I consent to being appointed as the PCA for the development.	
<input type="checkbox"/> Paul Prestidge - BPB1800	<input checked="" type="checkbox"/> James Somerville - BPB0759
Signature	Date
	6/4/13