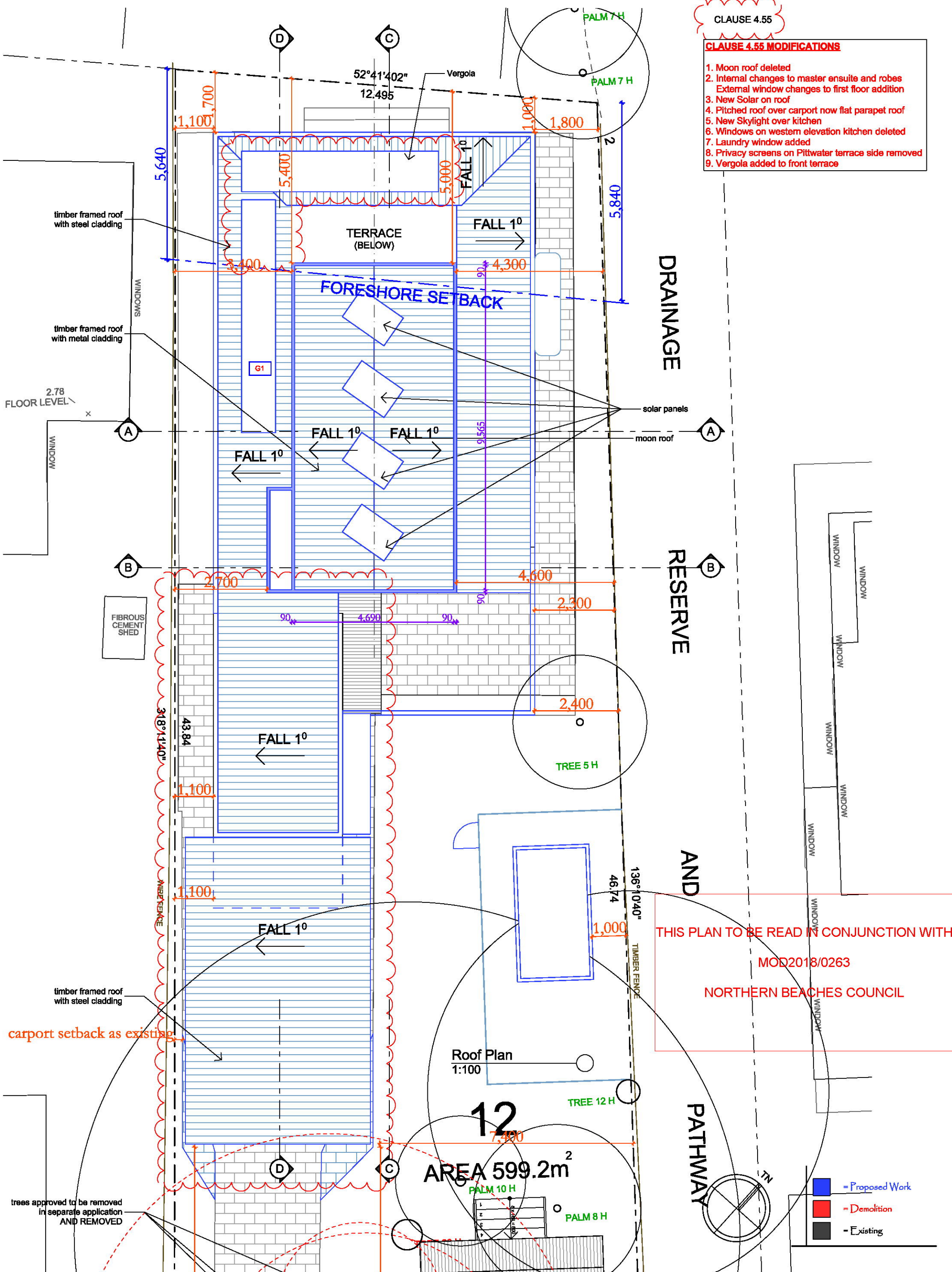




CLAUSE 4.55

CLAUSE 4.55 MODIFICATIONS

1. Moon roof deleted
2. Internal changes to master ensuite and robes
3. External window changes to first floor addition
4. New Solar on roof
5. New Skylight over kitchen
6. Windows on western elevation kitchen deleted
7. Laundry window added
8. Privacy screens on Pittwater terrace side removed
9. Vergola added to front terrace

DRAINAGE

RESERVE

AND

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PATHWAY

- = Proposed Work
- = Demolition
- = Existing

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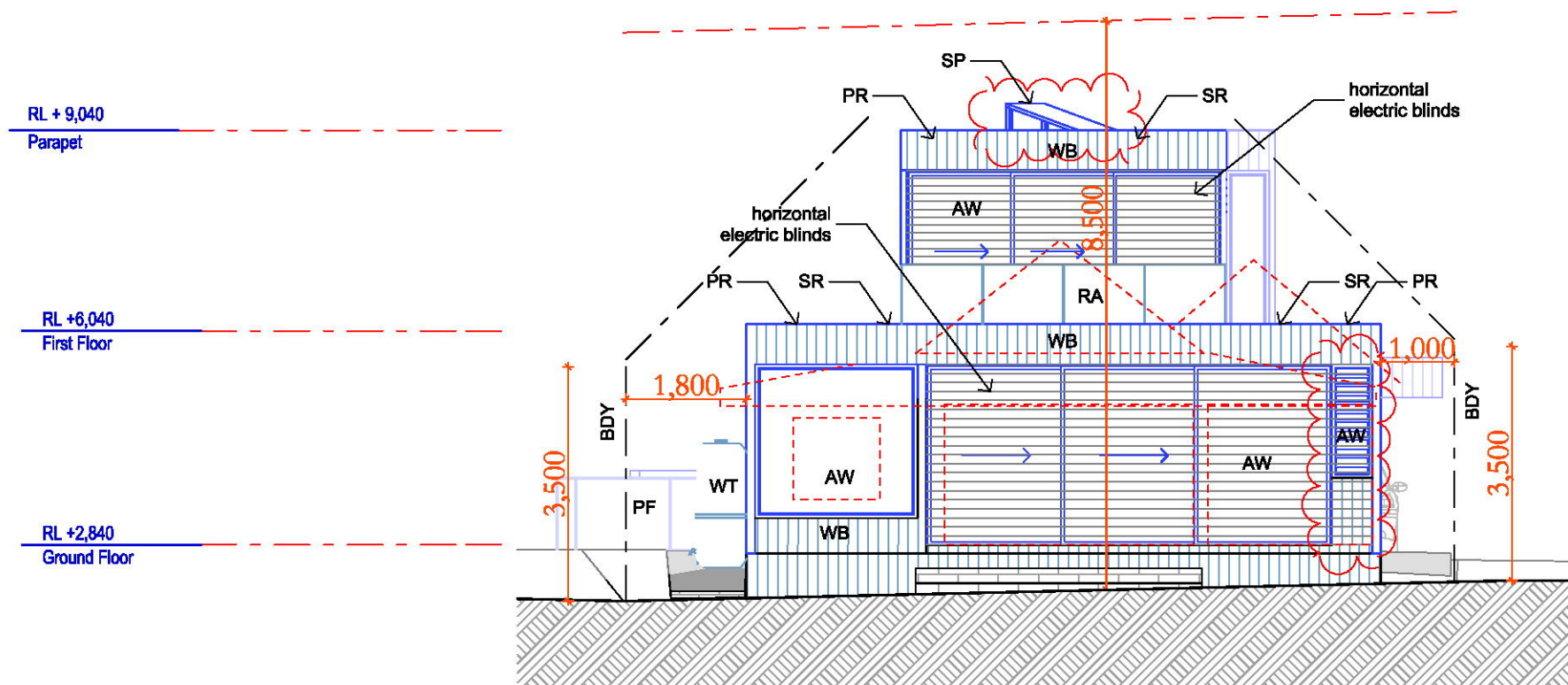
PROJECT: 24 Delecta Avenue, Clareville,
2107, NSW
Alterations & Additions
Lot 12 DP 13291 - 599.2m2

CLIENT: Private

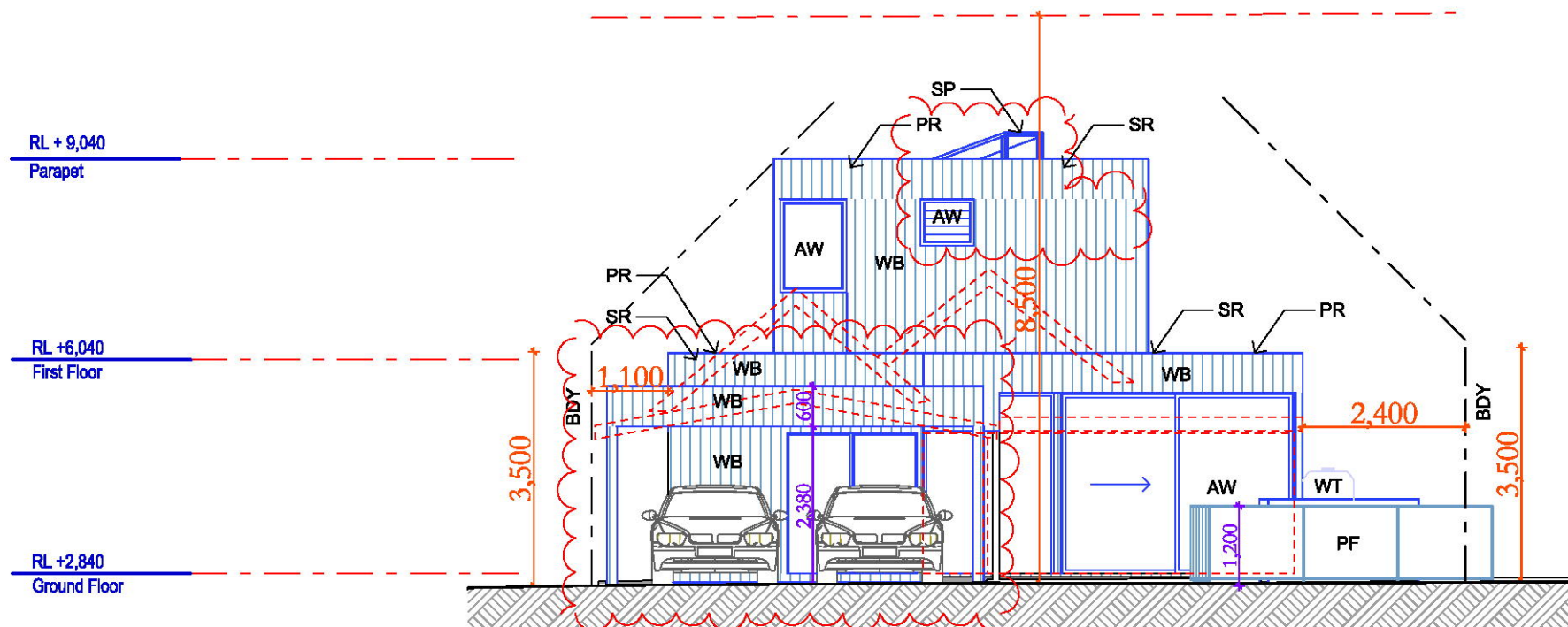
STATUS: Clause 4.55

DATE: 270418	SCALE: 1:100@A3	PROJECT NUMBER: 1531
STAGE: Clause 4.55	DRAWN/DESIGNED: PB / MP	ISSUE: A

DRAWING NO: Clause 4.55 -6



North Elevation
1:100



South Elevation
1:100

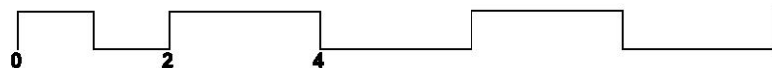
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SR timber framed roof with steel cladding
CR timber framed roof with Colorbond cladding
GR gravel roof
PR parapet roof
WB timber framed wall with weatherboard cladding
AW aluminium window
RA rail to BCA/NCC
PF pool fence and gate to AS1926.1-2012
WT water tank to BASIX
SP solar panels face west

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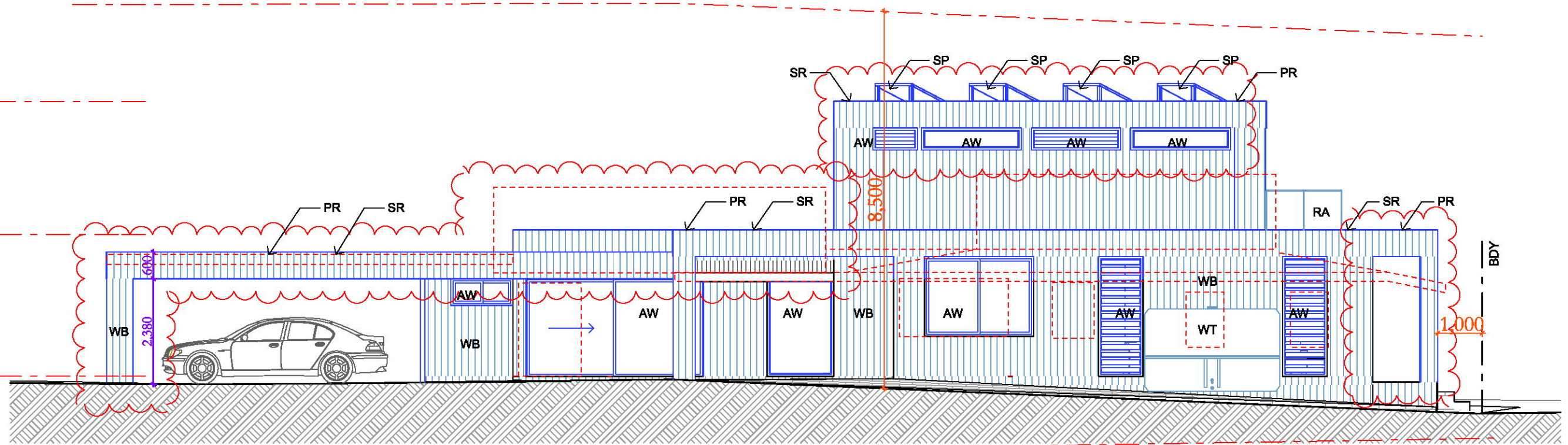
Legend:
Blue square = Proposed Work
Red square = Demolition
Grey square = Existing

STATUS: Clause 4.55		
DATE: 270418	SCALE: 1:100@A3	PROJECT NUMBER: 1531
STAGE: Clause 4.55	DRAWN/DESIGNED: PB / MP	ISSUE: A
DRAWING NO: Clause 4.55 -7		

RL + 9,040
Parapet

RL + 6,040
First Floor

RL + 2,840
Ground Floor

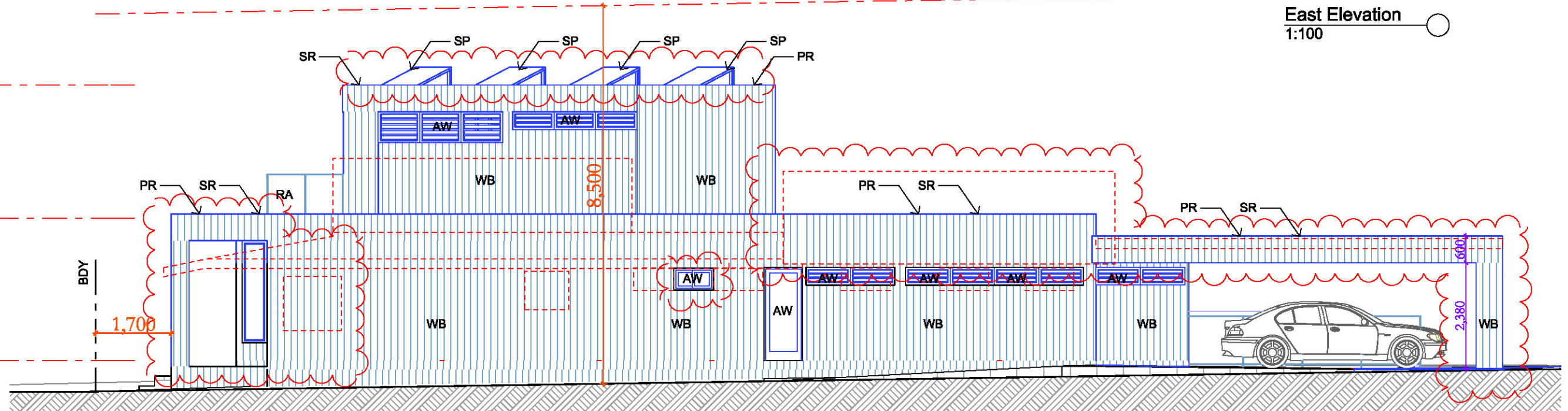


East Elevation
1:100

RL + 9,040
Parapet

RL + 6,040
First Floor

RL + 2,840
Ground Floor



West Elevation
1:100

CLAUSE 4.55

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DATE: 270418	SCALE: 1:100@A3	PROJECT NUMBER: 1531
STAGE: Clause 4.55	DRAWN/DESIGNED: PB / MP	ISSUE: A
DRAWING NO: Clause 4.55 -8		

Existing Glochidion ferdinandi tree to be retained.
Existing Howea forsteriana palm to be retained.
Prune to ensure compliance with AS1926.1-2012.

1200mm (h) pool fence to return
to 'pool safe' boundary fence.

Existing low planting to be retained and
replanted within pool enclosure in
accordance with AS1926.1-2012.

Existing Ficus sp. in pot to be relocated.

Existing Phoenix sp. to be transplanted.

Existing Dracena marginata to be transplanted.

Existing Archontophoenix cunninghamiana
to be transplanted.

Spa to others details.

Existing Phoenix sp. to be transplanted.

Existing mixed underplanting of bromeliads,
succulents and Liriope sp. to be retained.

1200mm (h) pool fence.

Existing Archontophoenix
cunninghamiana palm to be retained.

Existing turf to be retained.

Existing Eucalyptus botryoides tree to be
retained. Tree protection as per Arborist report

Transplanted Dracena reflexa.

Transplanted mixed underplanting.

Existing Archontophoenix
cunninghamiana palm to be retained.

Existing Asplenium australasicum.

Existing bromellads.

Existing palms, Dracena sp. and
bromeliad underplanting to be retained.

Existing Asplenium
australasicum to be retained.

Existing garden shed.

Existing bin storage area.

Existing Rhaps excelsa to be retained.

Transplanted mixed underplanting.

Existing Rhaps excelsa to be retained.

Parking are to be retained. 2400mm x 5400mm
'accessible' car parking space as per
AS2890.6-2009 Off-street parking for people with
disabilities shown dashed. Deco-granite finish to
be extended to match existing as required.

Existing water meter.

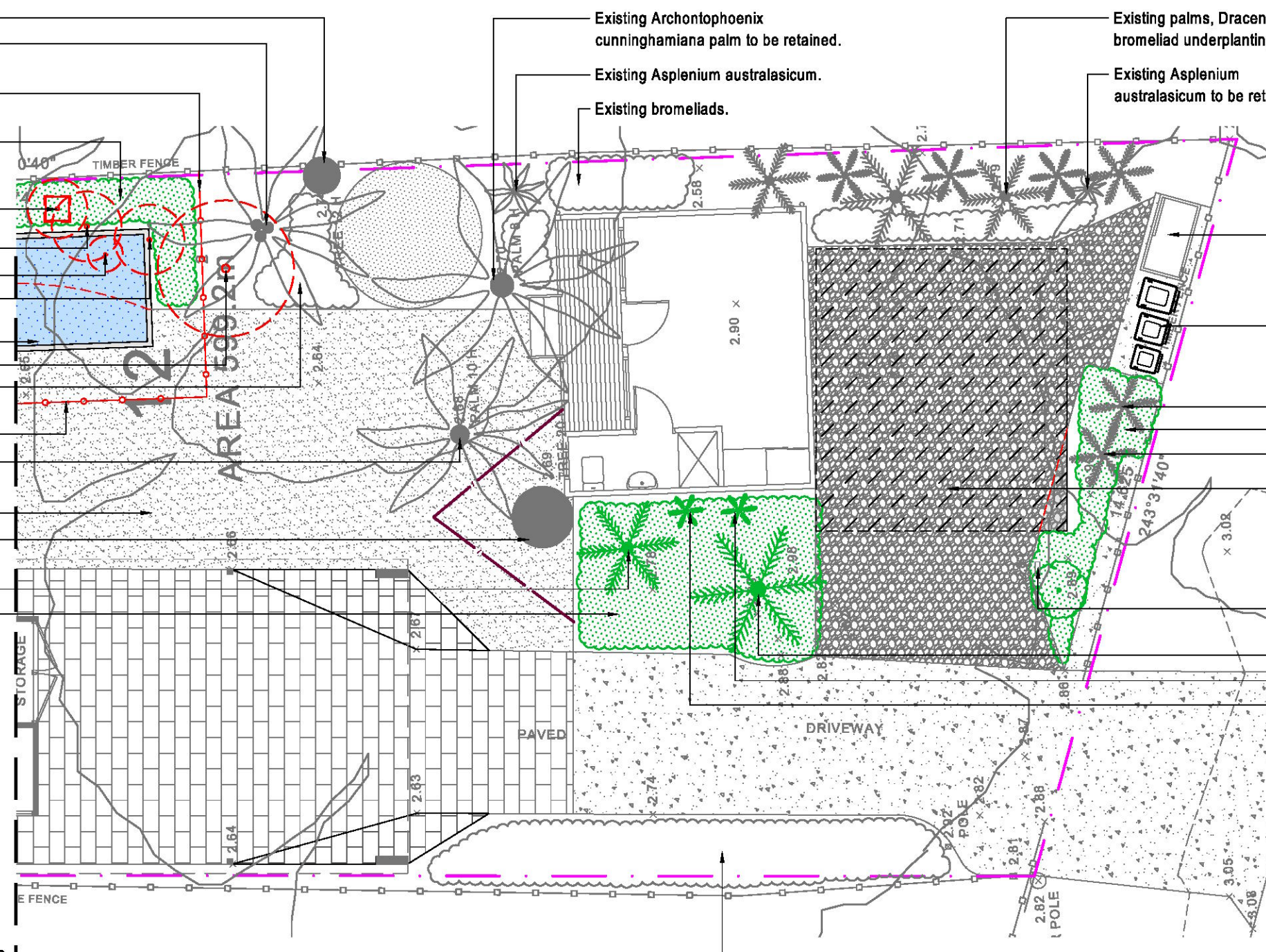
Transplanted Phoenix sp.

Transplanted Dracena marginata.

Transplanted Dracena marginata.

Existing Acmena sp. and
Clivia miniata to be retained.

Zone B. Refer to
L-03 for details.



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Section 4.55 amendments
illustrated by red annotations
and revision cloud.

Note:
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- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions recognised over scaling. All measurements are in millimetres.
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Serenescapes Landscape Designs
ABN 91 697 643 476

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Client:

Private

Site Address:

24 Delecta Avenue
Clareville

Drawing Title:

Zone A Detail Plan

Drawn by:
Ben Farrar
AIDM # 1179

Project Number:
18404

Scale:
1:100 @ A3

Sheet Number:
L-02 of 5

Rev:

Date:

Issue:

Checked:

A	03/04/18	Preliminary Issue	TB
B	11/04/18	Section 4.55 Issue	TB



LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained.

The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm.

Protect all trees affected by demolition & construction. Take necessary precautions to protect the Critical Root Zone(CRZ) which is the area normally within 3m radius from each tree trunk.

Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works within the CRZ:

- entry of machinery or storage of building materials
- parking of any kind of vehicle
- erection or placement of site facilities
- removal or stockpiling of soil or site debris
- disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections).
- attaching any signs or any other objects to the tree
- placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist

Compacted Ground/Coring: Avoid compaction of the ground under trees. If compaction nevertheless occurs loosen the soil by Coring. Coring to be carried out by a qualified Arborist.

REMOVAL OF EXISTING TREES

All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373-2007 Australian Standards for The Pruning of Amenity Trees.

ELIMINATE WEEDS

Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION

Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE

Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding. Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to sw system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL

Quality System: AS 4419 or as specified below.

Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.

Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.

PLANTING

Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species.

Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%.

Stock selection should be based on NATSPEC Guide *Specifying Trees: a Guide to Assessment of Tree Quality*.

STAKING

Install 2 x 1800mm 40x40 hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.

MULCHING

Quality system: AS 4454

All planting area impacted by building works to receive 50-75mm of garden Mulch, Hort-Bark, ANL p: 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

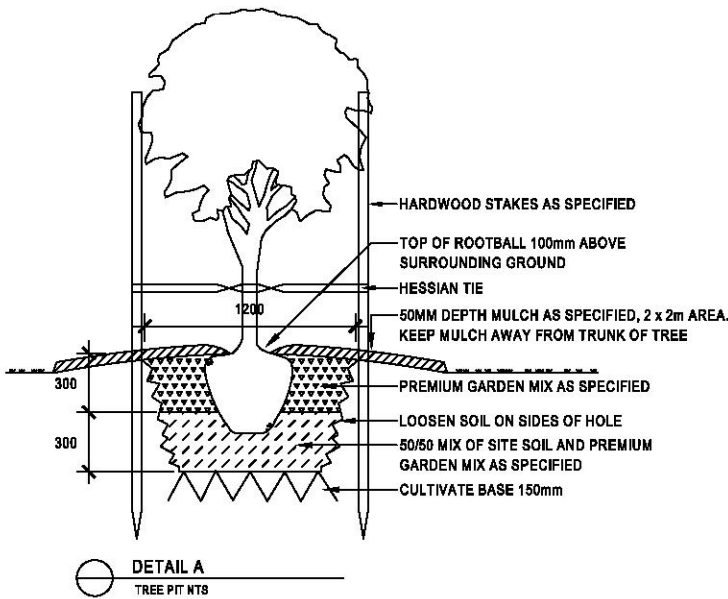
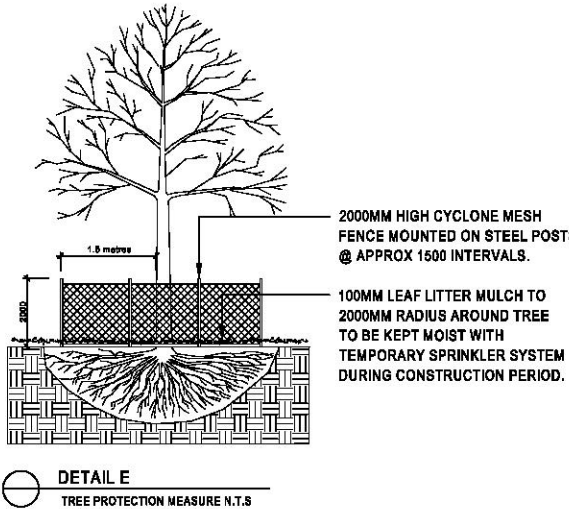
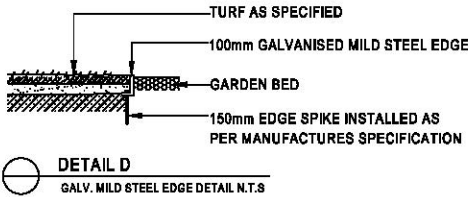
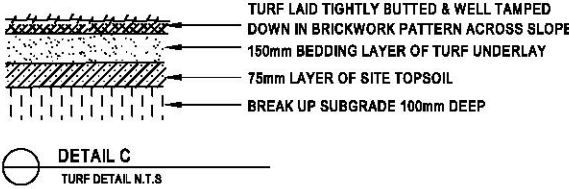
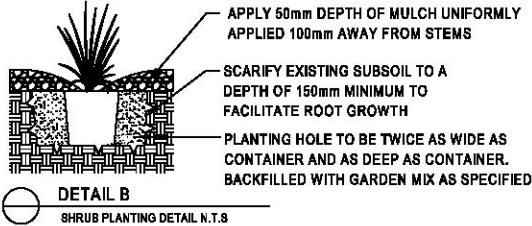
TURFING

New turf- Sir Walter Soft Leafed Buffalo.

Excavate / grade all areas to be turfed to 120mm below finished levels. Ensure that all surface runoff is directed away from buildings. Ensure that no pooling or ponding will occur. Further rip the sub-grade to 150mm. Install 100mm of imported turf underlay. Rolls to be closely butted and laid in a brickwork pattern. Fill any small gaps with topsoil and water thoroughly.

WATERING

Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.



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Client:		Drawing Title:				Rev:	Date:	Issue:	Checked:
Private		Landscape Specification & Details				A	03/04/18	Preliminary Issue	TB
Site Address:		Drawn by:	Project Number:	Scale:	Sheet Number:	B	11/04/18	Section 4.55 Issue	TB
24 Delecta Avenue Clareville		Ben Farrar AIDM # 1179	18404	As shown @ A3	L-05 of 5				

