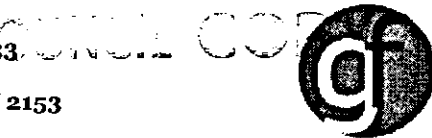


Telephone 1300 663 215
Facsimile (02) 9659 1633
PO Box 6160
Baulkham Hills BC NSW 2153



R Moy & Associates Pty Ltd
T/as Greenfield Accredited Certifiers
ACN 100 924 605
ABN 23 100 924 605

Construction Certificate

Issued in accordance with section 109C(1)(b) of the Environmental Planning & Assessment Act 1979.

CONSTRUCTION CERTIFICATE NUMBER CC2008-10015

Subject Site Address	92 Bynya Road, PALM BEACH 2108
Lot No	36
DP	14630
Council Area	PITTWATER COUNCIL
Applicant Name	Farr, D & Guthrie, M, C/- Smyth & Smyth P/L
Applicant Address	414/77 Dunning Avenue, ROSEBERY 2018
Owner Name	Farr, Darren & Guthrie, Michelle
Owner Address	92 Bynya Road, PALM BEACH
Description of Building Work	Alterations & Additions to Existing Dwelling & Swimming Pool
BCA Class of Building Work	1a & 10b
Development Consent No.	NO265/06
Development Consent Date	24/11/2006
Estimated Cost of Development	\$335,000.00

List of Documents Accompanying the Application:

\$30.00 Council Submission Cheque
PCA Form
Long Service Levy Receipt
Home Warranty Insurance - Master Builders Insurance Service
Landscape Plans & Design Certificate by Peter Fudge Gardens dated 14/8/07

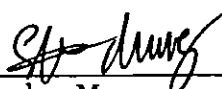
List of Plan References and Specifications approved under this Certificate:

Project No. fG-06, Sheet CC-01, CC-02, CC-03, CC-04 Revision A dated April, 2006

CONSTRUCTION CERTIFICATE NUMBER CC2008-10015

The Certifying Authority (undersigned) is hereby satisfied that where the described works are completed in accordance with documentation accompanying the application for this certificate (with such modifications as shown on the documentation, if applicable) shall comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in section 81A (5) of the Act.

Signed
Certifying Authority
Accreditation Number
Accreditation Body


Stephen Murray
BPB0282
Building Professionals Board

Date of this Certificate

13/09/2007

\$30.00

R/224542

INSPECTIONS INFORMATION

Site Address
CC No.

[Lot36] 92 Bynya Road, PALM BEACH 2108
CC2008-10015

The following mandatory critical stage inspections apply:

- Commencement
- Stormwater
- Framework
- Wet Area
- Final

Please note that you will need to arrange for an ENGINEER accredited under the IEAust Accreditation Scheme to carry out the following critical stage inspections:

- Piers, footings and slab

TO BOOK AN INSPECTION:

Phone 1300 663 215
Request "INSPECTION BOOKINGS"

****PLEASE BOOK INSPECTIONS BEFORE 3.00PM THE DAY PRIOR TO THE INSPECTION****

Contact Personnel

To check the status of your job contact Linda Wotherspoon

For technical enquiries contact Stephen Murray



greenfield

Accredited Certifiers

PCA FORM

NOTICE OF INTENTION TO COMMENCE BUILDING WORK
NOTICE OF INTENTION TO APPOINT PRINCIPAL CERTIFYING AUTHORITY (PCA)

CHECKLIST

- ☐ Complete all fields in the "PARTICULARS" section – we cannot accept incomplete forms and they will be sent back to you for your completion.
- ☐ Provide evidence (via Building Contract or Tender) to substantiate "Estimated value of building works" declared on this form.
- ☐ The Appointor (generally the Land Owner, cannot be the Builder unless also the property owner) to sign the "DECLARATIONS" section.
- ☐ The Appointor to initial bottom right of all 5 pages.
- ☐ Arrange for a copy of Home Warranty Insurance or Owner Builder Permit to be submitted to our office prior to commencing any building work. Failure to do so will result in a refusal to accept the appointment of PCA by our firm.

SECTION 1 : PARTICULARS OF THE APPOINTOR/S

Full Name of Appointor (Owner) no. 1	Darren Farr
Full Name of Appointor (Owner) no. 2	Michelle Guthrie
Current Address of Appointor/s	c/- Smyth & Smyth P/L 414/77 Durning Ave ROSEBERY Postcode 2018
Contact Details of the Appointor	Tel: 9662 2720 Fax: netSPACE.net.au Email: dsmyth@netSPACE.net.au
Site Address of the Proposed Building Works	32 Bynya Rd Palm Beach NSW Postcode 2108
Description of the Proposed Building Works	Alterations & Additions to Existing Residence.
Estimated Value of Building Works	\$ 335,000
Proposed Date to Commence Building Work	If left blank the presumption will be 2 days after PCA appt date.
Development Consent or CDC Date	24/11/06
Development Consent or CDC Registration Number	NO 265/06
Builder/Principal Contractor	Building Addition
License/Permit Number	133504C

SECTION 2 : PCA SERVICE AGREEMENT

Engagement

The engagement or the appointment of the PCA will not commence until the proposed PCA has accepted and notified their acceptance of the appointment to the Appointor and the Local Council. The proposed PCA or Greenfield Accredited Certifiers will not accept any responsibility for any damages, losses or delays suffered by the Appointor as a result of omissions or errors contained within this form or failure of the Appointor to comply with all items contained in the Checklist on this form.

Scope

The scope of works covered under this appointment is restricted to those building works as described in the "PARTICULARS" section of the form.

Terms and Conditions

1. All information provided by the Appointor on this form will be taken to be accurate and correct. The PCA does not accept any responsibility for any intentional or unintentional error or omission made by the Appointor on this form.
2. Where building works have commenced prior to the acceptance of appointment of PCA without the knowledge of the intended PCA the appointment shall be invalid and acceptance of the appointment will be withdrawn.
3. The Appointor is obliged to keep the PCA informed of any changes to the details of Principal Contractor (builder) and any relevant insurances required by the builder. Failure to meet this obligation will result in the Appointor to indemnify the PCA against any losses or suffering as a result of non compliance with any legislative requirements.
4. The Appointor is responsible for ensuring that a copy of Home Warranty Insurance or Owner Builder Permit is submitted to the PCA prior to the commencement of building works. The acceptance of the appointment will not occur until this requirement has been met.
5. It is the responsibility of the Appointor to ensure that critical stage inspections are booked in with our office, or make arrangements for your builder to do this on your behalf no later than 3pm on the prior business day via fax, post or email.
6. The PCA will not accept responsibility for any damages or costs associated for the inability to issue and Occupation Certificate due to, but not limited to, the following: non compliance with a development consent condition, unsatisfactory final inspection, non compliance with Basix commitments, missed critical stage inspections, non compliance with approved building plans or failure to pay the required inspection or Occupation Certificate fees.

Fees

Failure to pay the prescribed Appointment of PCA fee will generally result in a refusal to accept the appointment of PCA. Should an appointment be accepted and payment not honoured, the Appointor will be ultimately liable for unpaid fees, regardless of whether the fee was paid directly to the Builder, and any associated debt recovery costs plus interest incurred from the time of the appointment.

It is noted that the PCA and/or Greenfield may suspend its services provided to the appointor or the builder, where fees have not been paid, within the provisions of the Building and Construction Industry Security of Payment Act 1999.

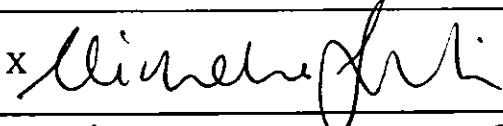


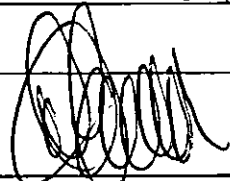
SECTION 3 : DECLARATIONS BY THE APPOINTOR/S

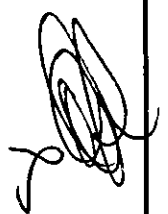
I/We the aforementioned persons as described as the Appointor/s in the PARTICULARS section hereby declare the following that:

- I/We "have the benefit of the Development Consent or Complying Development Certificate" within the meaning under EP&A Act 1979 for the proposed works as indicated on this form.
- I/We, to the best of my/our knowledge, have completed all details in the PARTICULARS section in a correct and accurate manner and hereby indemnify the appointed PCA and Greenfield against any damages, losses or suffering as a result of incorrect information provided under that section.
- I/We hereby consent to the Builder as shown within the "Particulars" section of this form to apply and obtain on my/our behalf a Construction Certificate, Complying Development Certificate, Occupation Certificate/s or any other "Part 4A Certificate" within the meaning of the EP&A Act 1979.
- I/We have read, understood and hereby accept the terms and conditions outlined within the PCA Service Agreement on this form.
- I/We understand that the Appointment of the PCA is not taken to be have been accepted until a copy of the acceptance has been signed by the proposed PCA and released to the Appointor and Council, effective from the date of the acceptance.
- I/We understand that the Commencement of Building Work cannot be any earlier than 2 business days after the appointment of PCA has been accepted and therefore declare that no building works will commence until after such date.
- I/We authorise the right of entry for any certifying authority arranged by Greenfield Accredited Certifiers to carry out inspections required by the PCA under this agreement.
- I/We authorise the transfer of PCA to another employee of Greenfield if the original PCA ceases employment with Greenfield Accredited Certifiers for any reason or becomes unable to fulfil their duties as the PCA at no cost to Greenfield Accredited Certifiers.
- I/We understand the appointment of PCA will not be accepted by Greenfield until documentation of required insurances or owner builder permit is submitted to Greenfield, in accordance with the Home Building Act 1989.
- I/We understand that it is my/our responsibility to ensure that sufficient notice is given to Greenfield, in writing, to carry out critical stage inspections or make arrangements with your builder to carry out this function on your behalf as a condition of your Building Contract.
- I/We declare that I/we will notify the PCA, at the earliest possible instance, of any changes to the appointment of the builder and ensure any mandatory insurances required by the incoming builder in accordance with the Home Building Act 1989 are in place.

APPOINTOR SIGNATURES

Signature of Appointor 1	x 
Full Name of Appointor 1	Michelle Lee Guthrie
Dated	27/05/07

Signature of Appointor 2	x 
Full Name of Appointor 2	DARREN FARR
Dated	27/05/07



SECTION 4 : PCA ACCEPTANCE (completed by the PCA only)

PCA Selection:

Select	Name of PCA	Accreditation Number
☒	Richard Moy	BPB0281
☐	George Watts	BPB0434
☐	Peter Dewick	BPB0090
☐	Luke Jeffree	BPB0196
☐	Stephen Murray	BPB0282

Generic Details:

Address	PO Box 6160, Baulkham Hills BC NSW 2153
Phone	1300 663 215
Fax	02 9659 1633
Accreditation Body	Building Professionals Board 10 Valentine St, Parramatta NSW 2150

PCA STATEMENT

I, the person selected above, hereby accept the appointment of Principal Certifying Authority (PCA) within the Terms and Conditions as indicated in "Section 2 : PCA Service Agreement" effective no earlier than the "Acceptance Date" shown below.

I, the appointed Principal Certifying Authority, am of the opinion that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied.

PCA SIGNATURE

Signature of PCA	X 
Appointment Acceptance Date	13/9/07

SECTION 5 : NOTICE OF CRITICAL STAGE INSPECTIONS (to be completed by the PCA only based on BCA Building Class)

- ☒ Pre-Commencement
- ☒ Footings
- ☒ Piers
- ☒ Slab
- ☒ Stormwater
- ☐ Frame
- ☒ Wet Areas
- ☐ Completion

- ☐ Other _____
- ☐ Other _____
- ☐ Other _____

COUNCIL COPY

PETERFUDGE GARDENS

P.O.Box 845
Woollahra, NSW 1350
Tel: 02 92111 336
Fax: 02 92111 559
www.peterfudgegardens.com.au
info@peterfudgegardens.com.au

14 August 2007

Pittwater Council
PO Box 882
Mona Vale NSW 1660

Re: 92 Bynya Road, Palm Beach - Amendments to Landscape Plans

Dear Sir/Madam

Please refer to amended Landscape Plans dated 14 August 2007. These plans have been amended to comply with Pittwater Council DCP 21 and Tree Preservation order by the removal of the undesired *Xcupressocyparis leylandii* as previously proposed. None of the remaining proposed species are contained within the TPO undesired species list.

Kind regards

Andrew Pearce
Landscape Designer
Per Peter Fudge

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE SIZE	SPACING
	6	<i>Banksia integrifolia</i>	Coastal Banksia	45 Ltr	4m	As per plan
	43	<i>Doryanthes excelsa</i>	Gynea Lily	140mm	1.5m	800 cts
	84	<i>Grevillea poorinda</i> 'Royal Mantle'	Royal Mantle Grevillea	140mm	Ground Cover	500 cts
	98	<i>Lomandra 'Tanika'</i>	Tanika Mat Rush	Tubes	500mm	300 cts
	19	<i>Syzygium paniculatum</i> 'Elite Form'	Lily Pilly	200mm	As per plan	600 cts



1. SITE PREPARATION

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed. Any nearby site works should be carried out carefully using hand tools. Trees shall not be removed or topped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing or new trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials within the drip line of existing or new trees. All vegetation not shown on plan to be removed.

3. SOIL PREPARATION
All proposed planting areas are to be deep ripped to 300mm and clay soils to be treated with clay breaker. 75mm depth of A.N.L. Organic Garden Mix to be imported and combined with 25mm depth Greenlife compost or approved equivalent. Care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees.

5. PLANT SPECIFIC INFORMATION
All *Lomandra longifolia* spp & *Phormium* spp are prone to Phytophthora fungus. To minimise infection plants are to be planted 50mm higher than finished soil level & mulched with coarse Grade Hardwood chip mulch. At first signs of fungus, spray with Phosphatic acid & follow up 2 weeks later. This is to take precedent over all other notes on plan.

7. FERTILISER
On completion of work all planting areas are to be fertilised with organic life, slow release fertiliser suitable for native species (Osmocote 8-9 month) which is to be sufficiently watered in.

9. IRRIGATION
Automatic watering system to be selected and installed to extend to all landscaped areas included in works. The Landscape Contractor is to liaise with Council as necessary, to ensure that the irrigation system conforms with all Water Board, Council & Australian standards.

11. POOL ENCLOSURE
Pool fencing to comply with Australian Standards for Pool enclosure requirements regarding height and gate fixtures.

12. TURF
Existing turf to be lifted prior to garden installation.

14. HARD CONSTRUCTION
All civil, structural and hydraulic work associated with this project shall be to consulting Engineer's details. All external stairs to be constructed in accordance with Clause D2.13 of the Building Code of Australia.

16. EXTRAS
If Onion weed is found on site and Peter Fudge Garden Design or Garden Impressions is required to remove it a separate quote will be given.

015

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PETER FUDGE GARDEN DESIGN

tel: 02 9211 1559 www.peterfudgegardens.com.au
fax: 02 9211 1338 info@peterfudgegardens.com.au

project

GUTHRIE
LANDSCAPE PLAN

92 BYNYA ROAD
PALM BEACH
NSW 2108

designer PETER FUDGE date 14.08.07

drawn by	AVP	scale	1:100
int. ref.		issue	

© Copyright is the property of Peter Fudge Garden Design Pty Ltd. The concepts, design, details and information described in the drawing are copyright. Other than for the purpose prescribed under the Copyright Act, no part of it may in any form or by any means be used or reproduced without prior written permission.

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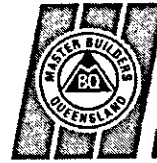
Alterations & Additions
To Existing Residence
Farr & Guthrie
92 Bynya Rd Palm Beach
NSW Rev A

August

2007

External Finishes Schedule

Item		Description Specification/ Supplier
Roof Sheeting Existing & New		'Colorbond Woodland Grey' or similar Roof Sheeting
Hardwood Timber Decking		Spotted Gum (or similar) Hardwood timber decking(approved fire retardant)
Wall colour		Colour name: Resene Perfect Taupe Total Colour code: BR73-014-067



**Master
Builders
Insurance Services**

A Division of Queensland Master Builders Association
Industrial Organisation of Employers
ABN 96 641 989 386 AFS Licence 246834
18 Central Park Avenue, Ashmore, Queensland 4214
Phone: 1300 13 13 24 FAX: 1300 13 13 28

28/08/2007

COUNCIL COPY

Lambona Pty Ltd
PO Box 733
HARBORD NSW 2096

Certificate of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96 and 96A of the *Home Building Act 1989* has been issued by
Calliden Limited (ABN 43 110 186 224) (AFSL 284889)

In respect of: Structural Alterations/Additions

At: 92 Bynya Road
 PALM BEACH NSW 2108

Carried out by: Lambona Pty Ltd

Licence Number: 188457C

ABN: 82 113 294 812

For: Michelle Guthrie

In the amount of: \$568,107.00

Subject to the Act and the *Home Building Regulation 2004* and the conditions of the insurance contract, cover will be provided to:

- a beneficiary described in the contract and successors in title to the beneficiary,
- OR
- the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

Authorisation: In Witness Whereof, the Insurer issuing this Policy has caused this Policy to be signed by Authorised Signatory of the Insurer's Agent.

Issued on the 28th day of August, 2007.

Master Builders Insurance Services (ABN 96 641 989 386)(AFS Licence 246834)
For and on behalf of the Calliden Ltd (ABN 43 110 186 224) (AFS Licence 284889)
as their authorised agent.

NOTICE: To download a copy of your insurance policy wording visit www.policywording.com.au.



COPY

greenfield

Accredited Certifiers

CONSTRUCTION CERTIFICATE APPLICATION FORM

CHECKLIST

- ☒ Complete & sign this Application form – only originals will be accepted. Legislation prohibits Greenfield from accepting fax or emailed application forms.
- ☒ Owners' consent to make an application for a Construction Certificate where the applicant is not the owner of the property.
- ☒ 1 x copy of Council DA approved plans
- ☒ 1 x copy of Council development consent
- N/A ☐ 1 x copy of Basix Certificate, ABSA Assessor Certificate and ABSA stamped plans if you were required to provide one with your DA lodgment.
- ☐ 3 x copies of architectural (CC) plans with amendments satisfying DA conditions, where required.
- ☒ 3 x copies of building specifications
- ☐ Proof of payment of Long Service Levy if work is valued \$25,000 or over
- ☒ Attach cheque in favour of your Council for CC Registration Fee (refer to required items on quotation or advice from our Approvals Liaison Officers).
- ☒ Make arrangements to appoint a PCA before commencing building work – refer to Greenfield's "PCA Form" for details.

SECTION 1 : PARTICULARS

Applicant Name	D Farr & M Guthrie
Applicant Address	c/o Smyth & Smyth P/L 414/77 Durning Ave ROSEBERY Postcode 2018
Applicant Contact Details	Tel: 9662 2720 Fax: 9663 4747 Email: dsmyth@netspace.net.au
Owner/s Name	D. Farr & M Guthrie
Owner/s Current Address	As above
Owner/s Contact Details	Tel: As above Fax: As above Email: As above
Owner/s Consent Signature/s	X [Signature] X [Signature]
Site Address of the Proposed Building Works	92 Bynya Rd Palm Beach NSW Postcode 2108
Local Government (Council) Area	Pittwater Council
Development Consent Date	24/11/06
Development Consent No.	N0265/06
Class of Building (under BCA)	1

Detailed description of proposed building works	Alterations & Additions to Existing Residence
Estimated Cost of Building Work	\$ 335,000
Number of proposed storeys	2
Gross floor area of proposed building	344m ² sqm
Gross site area of property	809.4m ² sqm

For proposed new residential building work only:

No. of existing dwellings on the property	
No. of existing dwellings to be demolished	
No. of dwellings to be included in the new building	
Will new building be attached to any existing building ?	
Will new building be attached to any other new building ?	
Does the land contain a dual occupancy ?	

Building materials:

External Walls	F/c sheet
Floors	Timber
Roof	Metal Deck roofing
Frame	Timber

SECTION 2 : TERMS OF APPLICATION

Engagement

The engagement of Greenfield Accredited Certifiers to provide services will not commence until the applicant successfully completes and signs this application form, provides all items in the checklist on page 1. Greenfield Accredited Certifiers will not accept any responsibility for any damages, losses or delays suffered by the Applicant as a result of omissions or errors contained within this form or failure to comply with all relevant items contained in the Checklist on this form.

Scope

The scope of works covered under this application is restricted to those building works as described in the "PARTICULARS" section of the form.

Terms and Conditions

1. All information provided by the Applicant on this form will be taken to be accurate and correct. Greenfield does not accept any responsibility for any intentional or unintentional error or omission made by the Applicant on this form.
2. The Applicant is to declare that no building works have commenced at the time of the application. A false representation in this regard will invalidate the application and Applicant will indemnify Greenfield against any damages or losses suffered by it or its employees in relation to the issue of a Construction Certificate. In such an event the Applicant agrees to cancel the Construction Certificate at the earliest possible time at no cost to Greenfield.

Fees

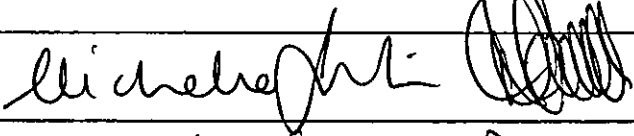
Failure to pay the quoted fee for services will generally result in a refusal to release the Construction Certificate. Should a Construction Certificate be released and payment not honoured the Applicant will be liable in addition to any associated debt recovery costs plus interest incurred from the time of the application. Greenfield may suspend where fees have not been paid in accordance with the provisions of the Building and Construction Industry Security of Payment Act 1999.

SECTION 3 : DECLARATIONS BY THE APPLICANT

I, the aforementioned person or authorised representative of a legal entity as described as the Applicant in the PARTICULARS section hereby declare the following:

- I, to the best of my knowledge, have completed all details in the PARTICULARS section in a correct and accurate manner and hereby indemnify Greenfield against any damages, losses or suffering as a result of incorrect information provided under that section.
- I have obtained consent from the owner/s of the property as indicated in the PARTICULARS section to apply and obtain a Construction Certificate. Such written consent will be provided with this application.
- I have read, understood and hereby accept the terms and conditions outlined in Section 2 of this form.
- I understand that the Application for Construction Certificate is not complete until all required documentation has been received by Greenfield.
- I understand that the Application for and acquisition of Construction Certificate does not authorise Commencement of Building Work. (Refer to appointment of PCA on Greenfield's PCA Form)

APPLICANT SIGNATURE

Signature of Applicant	x 
Full Name of Applicant	MICHELLE LEE GUTARIE. DARREN FARR
Dated	27/05/07





COUNCIL CODE

SPECIFICATION

for the construction of

Alterations & additions to an
existing residence

for

Darren Farr & Michelle Guthrie

at

92 Bynya Rd , PALM BEACH
NSW 2108

Prepared by :

Smyth & Smyth Pty Ltd

Suite 414 , 77 Dunning Ave,
ROSEBERY NSW 2018

T- 9662 2720 F- 9663 4747

smythX2@bigpond.net.au

June 2007

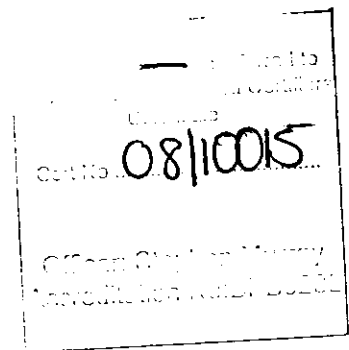


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Trade Sections

02220	<i>Demolition</i>
02315	<i>Excavation & Fill</i>
02510	<i>Water Distribution</i>
02530	<i>Sanitary Sewerage, plus schedule</i>
02560	<i>Gas Installation</i>
02630	<i>Storm Drainage</i>
03310	<i>Concrete</i>
03530	<i>Concrete Screeds(Granolithic)</i>
04210	<i>Brickwork</i>
04220	<i>Blockwork</i>
05100	<i>Structural Steel</i>
05580	<i>Architectural Metalwork</i>
06100	<i>Carpentry, plus a schedule</i>
06165	<i>Fibre Cement Products</i>
06400	<i>Joinery (Site Built)</i>
07130	<i>Tanking</i>
07200	<i>Thermal Insulation</i>
07610	<i>Metal Roofing, Siding & Plumbing</i>
08250	<i>Doors & Door frames</i>
08520	<i>Metal Windows & Glazing</i>
08710	<i>Door Hardware, plus schedule</i>
09200	<i>Hard Plaster</i>
09210	<i>Cement Render</i>
09250	<i>Plasterboard</i>
09260	<i>Dry Wall Partitions</i>
09300	<i>Ceramic Tile</i>
09500	<i>Suspended Ceiling</i>
09646	<i>Floating Flooring</i>
09910	<i>Painting</i>
16150	<i>Low Voltage Lighting</i>
16350	<i>Electrical Distribution, plus schedule</i>

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Demolish existing residence at 361 Edinburgh rd Castlecrag NSW
Clean site thoroughly on completion

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS 2187 1994 Explosives - storage, transport and use. AS 2436 1981 Guide to noise control...and demolition sites.

AS 2601 1991 The demolition of structures.

Public and Property Protection: Provide measures required by municipal and state ordinances, laws, and regulations for the protection of surrounding property, footpaths, streets, kerbs, the public, occupants and workmen during demolition operations. Comply with the above ordinances, laws etc. in carrying out measures including barricades fences, warning lights and signs, rubbish chutes, etc.. No blasting for demolition purposes will be permitted. Exercise due care in executing this work. Make good to original condition, damage to structures to be retained and to adjacent property which results from demolition operations. Perform restoration work without expense to the Proprietor. Pay fees in connection with this trade.

Comply throughout with the current edition of the Building Code.

MATERIALS

Item

Material required to be demolished becomes the property of the Contractor. Remove it from the site. Exceptions to this clause are as follows: IDENTIFY

Supply equipment required to perform the work of sufficient capacity to meet the stated completion date.

Provide disposal containers for disposal required.

PREPARATION *Inspect conditions at site before starting work*

Before demolishing and removing parts of building having electrical wiring, gas and water pipes, conduit or similar items embedded in them, notify the Architect and authorities having jurisdiction, and make sure that these items are out of service so that they can be removed without danger.

Arrange for a professional quality photographic record of demolition. Produce for the Proprietor 10" x 8" (250 x 200mm) prints of "before and after" demolition of typical work involved in demolition and surfaces of structures, street crossings, pavements etc..

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Burn no debris on the site. Shoring: Provide necessary shoring in accordance with Structural Engineering instructions. Alter, adapt, and maintain temporary works as necessary, and strike or withdraw them progressively as the work proceeds. Obtain the written consent of the Architect/Structural Engineer if such works are to be left in position at the completion of the work. Restore to original condition, without expense to the Proprietor, any damage to remaining construction resulting from failure to provide adequate protection.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Prepare site, excavate for roads, paving, drains, pits, foundations, slabs. Remove trees and other vegetation, including roots, where they prevent building work, paving, trenches etc.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Water Distribution, Sanitary Sewerage, Storm Drainage, Pavements, Concrete.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS 1289 Methods of testing soils. AS 3660 Termite treatment.

AS 3798 1996 Guidelines on earthworks for commercial and residential developments.

AS/NZS 4200 1994 Pliable building membranes and underlays.

Comply with particular specifications in Building Regulations and/or Local Council publications.

Definitions:

Rock: natural or artificial material encountered in the excavation which cannot be removed until broken up by mechanical means such as rippers, jack-hammers or percussion drills.

Rippable Rock: Means rock which can be removed by a single tine, "D9" ripper.

Non-Rippable Rock: Means all other rock. Other than Rock: other material encountered in excavation.

Sub-Grade: The natural ground below the excavations. Filling: A general term for material spread and compacted over the sub-grade to make up levels to the underside of the base. Sub

Base: Selected filling spread and completed over sub-grade to compacted over sub-grade to make up levels to the underside of the base. Base: A selected filling layer spread and

compacted to form an acceptable working surface directly under the building.

Comply throughout with the current edition of the Building Code.

PREPARATION *Inspect conditions at site before starting work*

Clear site under building and paving of plants, trees, rocks shown on plan.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

-Below slabs on ground : Hardcore

-Below footings, beams and other structural elements : Concrete of strength equal to the structural element, minimum 15MPa. - In service trenches : 1:2:4 concrete/approved compacted pipe bedding material.

Excavation for strip footings and edge beams, paving, water and piped supply and drains, pits.

Apply termite protection. DESCRIBE. Provide fill and compact in 150 mm layers, to 95% of

maximum density, by vibrating or watering. Protect excavations from damage. Maintain

excavations free of water. Install waterproof membrane over sand. Seal laps. Take underlay in

walls to level of top of slab. Seal service pipes. Inspect and repair membrane before concrete

pour.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install pipes to distribute water from water main supply to each required outlet.
Supply and install pipes from hot water heater to each required outlet.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Sanitary Sewerage, Concrete, Carpentry, Plumbing fixtures and equipment.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS/NZS 1260 PVC Pipes & fittings. AS 1432 Copper tubing for plumbing, gas fitting.
AS 3500 National plumbing and drainage code.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare trenches and paths of pipes through structure.

Builder to form cutouts of minimum size to take pipes. Not to be done by plumber.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Coordinate with others trades, connect supply pipes to fittings. Conceal where possible. Ensure correct pipe sizes and connect with complete seal. Jointing of pipes: On manufacturer's advice, select from: Capillary, brazed, compression, pushfit, solvent-welded. Chrome plating : all exposed pipes. Provide "as built" drawings to Architects showing actual dimensions and locations of pipes. Obtain approval certificate on completion. Cover no pipes until local authority has issued certificate. Protect installation until completion of project.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install a complete system of sewer drains to discharge sewage waste to the authority's sewer main.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Excavation. Water distribution Concrete, Floor Construction, Wall Construction.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS/NZS 1546.1 1998 On-site domestic wastewater treatment units.

AS 3500 National Plumbing and Drainage code, Part 2, sanitary plumbing and sanitary drainage.

AS/NZS 4494 1998 Discharge of commercial and industrial liquid waste to sewer - general performance requirements.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Preparation by Excavation and Fill contractor.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Form straight and true trenches, maintain size and keep free of water. Bottoms of trenches to provide constant fall. Lay pipes 600mm clear of walls. Connect sanitary fittings to sewer pipes with permanently secure joints. Comply throughout with requirements of local Council and/ or Authority. Backfill only after inspection.

Pay fees due to sewer authority.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Connection to supply main pipe or to onsite gas tank, distribution material, fittings valves and gasfueled water and air heaters, cooking equipment etc.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Sanitary Sewerage, Concrete, Carpentry, Plumbing fixtures and equipment.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS/NZS 1260 PVC Pipes & fittings. AS 1432 Copper tubing for plumbing, gas fitting.
AS 3500 National plumbing and drainage code.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare trenches and paths of pipes through structure. Builder to form cutouts of minimum size to take pipes. Not to be done by plumber.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Coordinate with others trades, connect supply pipes to fittings. Conceal where possible. Ensure correct pipe sizes and connect with complete seal. Obtain an approval certificate on completion. Cover no pipes until local authority has issued certificate. Protect installation until completion of project.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and lay a complete system of site storm water drainage including agricultural drains, drains below slabs and pavements, retaining wall drains, culverts, pits, frames, manhole covers, rainwater tanks.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Sanitary Sewerage, Concrete, Concrete Pavement, Masonry Pavers. Excavation & Fill, Bituminous Concrete Pavement.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS 1379 1997 Specification and supply of concrete. AS 3500.3 Storm water drainage. AS 3500.3.1 1998 Performance requirements. AS/NZS 3500.3.2 1998 Acceptable solutions.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Form straight and true trenches 600mm clear of walls, maintain sides, and free from water.

Form trenches and bedding to provide constant falls as approved by the local authorities.

Prepare trenches and paths of pipes through structure.

Builder to form cutouts of minimum size to take pipes. Not to be done by plumber.

After inspection (and testing) where required, back-fill with material approved by Local Council Engineer and Architect.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Ensure correct pipe sizes. Provide upstands to and connect to bottom of downpipes. Provide inspection openings where authority requires(usually at 6 metre intervals), bends and junctions. Provide complete seals at junctions and ends in accordance with manufacturers written instructions.

Arrange for inspection by and obtain approval certificate from local authority. When issued, back fill with material approved by authority. Remove debris and clean areas beside excavation for drains.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install termite control, concrete, reinforcing steel, formwork, for strip footings, floor slabs, paving, pits, curbs etc.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Excavation & Fill, Storm Drainage, Sanitary Sewerage, Pavements, Concrete screeds.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
SAA HB64 Guide to concrete construction. AS 1012 Testing concrete. AS 1304 1991 Welded wire reinforcing fabric for concrete. AS 2870 1996 Residential slabs & footings. AS 3600 1994 Concrete structures.
AS 3610 1995 Formwork for concrete. AS/NZS 3727 Guide to residential pavements.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare surfaces to receive concrete smooth, clean & stable under concrete load.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Arrange for installation of pipes, cables, conduits etc.. Over prepared surface, install WP membrane. Place reinforcement, secure in place & prevent movement during pour, maintain required concrete cover.

Comply with structural engineer's requirements for joints, splices etc. of reinforcement.

Finish exposed floor surfaces: IDENTIFY broom, steel trowel, other. Provide setdowns for concrete screeds. Provide fall to outlets: See Schedule of Finishes.

Cure finished slabs for 5 days with plastic film secured in place. Use packing sand for curing concrete paving. Keep damp for 5 days. Slump Tests: Provide and pay for slump test reports: one on first batch and one for every 15 cubic meters of concrete delivered thereafter. Tests and rejection criteria in accordance with AS 3600. Vibrate concrete to achieve compaction. Do not "travel" vibrators. Strip formwork in accordance with Table in AS 3610 "Minimum Stripping Times"

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply labour and install materials. Build in miscellaneous materials (flashing, wall ties, dampproof course, anchors etc.)

Include staging, scaffolding & cleaning.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Concrete. Structural Steel. Wall Framing. Doors & Windows.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

SAA HB 33 Domestic open fireplaces AS/NZS 2904 Damp - proof course & Flashings. AS 2975

Accessories for masonry construction. AS 3700 Masonry Code..

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Review work with other trades, piping, ducts etc. Clean base before laying masonry. Set doors & windows plumb and brace. Construct a sample wall of 3 square metres. Stop. When approved by Architect, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Machine mix. Mortar life: 2 Hours. Joints: IDENTIFY tooled, struck, recessed, other. Weep holes at 1200mm centres.

Bonding: Stretcher bond, OTHER: Bed joints: 10mm. Install DPC, wall ties, reinforcement, flashing to AS 3700. Install ties to anchor masonry to structure, doors, windows etc. Construction joints @ max. 6000mm centre. Clean with 5% hydrochloric acid to face work. Bagged finish on completion same material as for mortar.

External openings			LINTELS in Brickwalls or Blockwalls		Internal
SPAN	SIZE	END BEARINGS	SPAN	SIZE	
up to 950mm	74 x 10 flat	150mm	up to 950mm	74 x 10 flat	
950 to 1200	76x76x10L	200mm	950 to 1050	75x12 flat	
1200 to 1650	102x76x10	230mm	1050 to 1200	76x76x10L	
1650 to 2400	127x76x10	230mm	1650 to 2400	127x76x10L	
2400 to 3000	152x89x10	230mm	2400 to 3000	152x89x10L	

Hot dip galvanise lintels in external openings.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply labour and install materials. Build in miscellaneous materials (flashing, wall ties, dampproof course, anchors etc.)

Include staging, scaffolding & cleaning.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Concrete. Structural Steel. Wall Framing. Doors & Windows.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS/NZS 2904 Damp - proof course & Flashings. AS 2975 Accessories for masonry construction.
AS 3700 Masonry Code. AS/NZS 4455 1997 Masonry units and segmental pavers.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Review work with other trades, piping, ducts etc. Clean base before laying masonry. Set doors & windows plumb and brace. Construct a sample wall of 3 square metres. Stop. When approved by Architect continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Machine mix. Mortar life: 2 Hours. Joints: IDENTIFY tooled, struck, recessed, other. Weep holes at 1200mm centres.

Bonding: Stretcher bond, OTHER: Bed joints: 10mm. Install DPC, wall ties reinforcement, flashing to AS 3700. Install ties to anchor masonry to structure, doors, windows etc. Construction joints at max. 6000mm centre. Clean with 5% hydrochloric acid to face work. Bagged finish on completion same material as for mortar. Chasing walls: not more than 1/3 wall thickness for conduits etc.

External openings			LINTELS in Brickwalls or Blockwalls		Internal
SPAN	SIZE	END BEARINGS	SPAN	SIZE	
up to 950mm	74 x 10 flat	150mm	up to 950mm	74 x 10 flat	
950 to 1200	76x76x10L	200mm	950 to 1050	75x12 flat	
1200 to 1650	102x76x10	230mm	1050 to 1200	76x76x10L	
1650 to 2400	127x76x10	230mm	1650 to 2400	127x76x10L	
2400 to 3000	152x89x10	230mm	2400 to 3000	152x89x10L	

Hot dip galvanise lintels in external openings.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply, fabricate apply surface treatment, anchor bolts and other attachments, field welding, permanent grouting.

Submit shop drawings to Superintendent.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Concrete, Wall Construction, Roof construction, Painting.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
SAA HB48 1993 Steel Structures Design. AS 1538 1988 Cold formed steel structures code
AS/NZS 1554 Structural Steel Welding. AS 1627 Metal Finishing - Preparation & Pretreatment.
AS 4100 1990 Steel Structures. AS/NZS 4680 1999 Hot-dip galvanised (zinc) coatings on
fabricated ferrous articles.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Advise Structural Engineer when fabrications may be inspected before delivery. Steel components bent or buckled before erection may be rejected.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Provide holding down bolts to concreter for building in. Comply with Struct Eng Instructions.

Erect plumb and secure in place. Erect so that components can be fixed without distortion.

Provide temporary bracing against wind and other stresses. Advise Engineer when erected steel is ready for inspection. Adjust as required. Grout under base plates in high strength mortar.

Touch up steel with zinc-rich paint after installation. Weld in accordance with AS 1554.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install metalwork items shown on the schedule.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
LIST SURFACES TO WHICH ITEMS ARE TO BE FIXED. Electrical Installation, Gas Installation.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS/NZS 1554 SAA Structural Steel Welding. AS 1627 1989 Metal finishing - Preparation and pretreatment of surfaces.

AS/NZS 1664 1979 Aluminium Structures Code. AS/NZS 1841 Portable fire extinguishers: Part 1 1997 General requirements, Part 2 1997 Specific..... water type, Part 3 1997 Specific..... wet chemical type, Part 4 1997 Specific..... foam type, Part 5 Specific..... powder type, Part 6 1997 Specific.....carbon dioxide type, Part 7 1997 Specific..... vaporising liquid type, Part 8 Specific..... non rechargeable type. AS/NZS 4680 1999 Hot-dip galvanised (zinc) coatings on fabricated ferrous articles. AS/NZS 4353 1995 Portable fire extinguishers aerosol type.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Field measurements: Do not delay job progress. Allow for adjustments and fitting of the work in the field where taking of measurements might cause delay.

Provide smooth finishes to exposed surfaces with sharp well-defined lines and arrises. Mill to a close fit machined joints. Design necessary lugs, brackets and similar items so that work can be assembled and installed in a neat, substantial manner.

Provide holes and connections as required to accommodate the work of other trades and for site assembly of metalwork. Drill or punch and ream in the shop.

Fasteners : Provide required bolts, screws, inserts, fasteners, templates and other accessories required for a complete installation. Co-ordinate with other trades as to the proper fastening systems suitable for the substrates to which the item is to be secured. Refer to Architect if in doubt.

Fasten galvanised items with galvanised fasteners.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Inspect fabrication on arrival a site. Do not repair on site. Replace damage items. Install each item by bolting or screwing to structural elements of building. Locate anchorages accurately and ensure secure installation. Do not cut metal on site. Remove weld spatter and touch up with zinc rich paint immediately. Protect work until project completion.

Install whitegoods and similar items in accordance with Manufacturer's instructions.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply & erect framing both structural and substructural. Include floor panels, wall cladding, roof framings, incidental framing.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Concrete, Brickwork, Wall Lining, Plumbing, Electrical, Insulation, Painting, Fibre cement products.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
SAA HB44 Guide to the timber framing code. AS 1684 Nat. Timber Framing Code. AS 1720 Timber Structures Code.

AS 1860 1998 Installation of Particleboard flooring. AS 4055 Wind Loads for Housing.

Comply with recommendations of the National Assoc. of Forest Industries Technical bulletins.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Store timber on site above ground, flat and horizontal. Protect from rain, damage and other material.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply with National framing code.

Perform operations including grooving, rebating, framing, housing, beading, mitring, scribing, nailing, screwing and gluing as necessary to carry out the works. Use timber in single lengths whenever possible. If joints are necessary, make them over supports unless otherwise shown or specified.

Arris visible edges in sawn work and in dressed work arris with sandpaper to 1.5mm radius unless otherwise shown or specified.

Back plough boards liable to warping (for example, if exposed on one face). Make the width, depth number and distribution of ploughs appropriate to the dimensions of the board and the degree of its exposure.

Provide necessary templates, linings, blocks, stops, ironwork and hardware, screws, bolts, plugs and fixings generally.

Trim framing where necessary for openings, including those required by other trades.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install fibre cement and associated equipment and fixing to:

Wall linings internal, ceiling linings internal, fire-rated walls, external cladding, wet area wall lining, eaves lining, fascias, partitions, wet area flooring, underlays, external decks, lattice, bracing panels, ceramic faced panels, fibre cement pipe columns.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Wall Framing, Ceiling Framing, External Decks, Plumbing, Electrical.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS 2329 1980 Mastic adhesives for fixing wallboards

AS 2908 1992 Cellulose - cement products. 2908.2 - 1992 Flat sheets.

Relevant Technical Bulletins and published instructions produced by manufacturer. Comply with requirements of relevant Statutory Authorities, and Building Code.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Tradesmen with wide experience and knowledgeable in this class of work to undertake the work.

Co-ordinate with other trades prior to commencement of work and arrange for fixing grounds required for satisfactory execution of the work of this trade including penetrations.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply with the manufacturer's installation instructions. Take care of and protect surrounding work, including other finishes, equipment and components, during installation. Provide protective covering where necessary.

Finish joints and secure fasteners. Remove surface defects to achieve uniform appearance of each type of installation.

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor.

Clean exposed surfaces including trim, edge mouldings, and comply with manufacturer's instructions for cleaning and touch-up of minor finish damage.

Remove splatterings, droppings and surplus material.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

The work of this section covers the supply and installation of site built joinery items. It includes: Service cupboards, wardrobes, coat cupboards, benches, shelves, rails, stairs, handrails, architraves, skirting, pelmets.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Floor, wall and ceiling construction. Window and door installations, finishing trades, electrical.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS 1493 1973 Shelving and dressed boards milled from radiata pine. AS 1859 1995 Re-constituted wood-based panels.

Includes particleboard & medium density fibreboard 1859.1 Particleboard 1859.2 MDF
AS 2754 Adhesives for timber and timber products (in three parts) 2754.3 1988 Adhesives for non-structural applications. AS 2796 1985 Timber - Seasoned hardwood - Milled products.
Comply throughout with the current edition of the Building Code.

PREPARATION *Inspect conditions at site before starting work*

Construct a sample installation of door frame and door, bench, shelves, architraves and other trim. Stop. When approved complete remaining work.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Provide necessary anchoring devices. Use concealed shims to install work plumb, level, straight and distortion free within the following tolerances:

- 1mm in 800mm for plumb and level.
- 0.5mm maximum offsets in flush adjoining surfaces.
- 2mm maximum offsets in revealed adjoining surfaces.

Scribe and cut to fit adjoining work; refinish cut surfaces or repair damaged finishes at cuts.

Secure joinery with anchors or blocking built-in or directly attached to substrates. Secure to grounds, stripping and blocking with countersunk, concealed fasteners and blind nailing as required to complete the installation. Except where pre-finished matching fastener heads are required, use fine finishing nails, countersunk and filled flush. Use a matching filler where a transparent finish is required. Install without distortion.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install tanking to areas shown on Drawings plus preparatory and protective work and associated materials including but not limited to the following:

Concrete and masonry patching and filling, membrane installation and surface protection.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Blockwork, brickwork, concrete, cement render.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
Current written instructions provided by tanking material manufacturer.
Comply throughout with the current edition of the Building Code.

PREPARATION *Inspect conditions at site before starting work*

Remove projections which could penetrate tanking membrane. Fill holes in surface to be tanked.

Employ subcontractors licensed by materials manufacturer.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Method A: Install tanking membrane or other material strictly in accordance with written instructions of manufacturer.

Make no variation without the manufacturer's written order, but then, only after the Architect has given his approval. Execute seals around penetrations, upstands, etc. as instructed by the manufacturer.

Install the complete sheet membrane tanking in compliance with the manufacturer's instructions.

Apply protective sheeting over membrane on outside of tanked walls.

Method B: Apply three coats of natural asphalt in accordance with the manufacturer's instructions. Finish with protective sheeting.

Method C: Apply two coats of aqueous bitumen in accordance with the manufacturer's instructions. Protect with scratch coat and finishing coat of cement render.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

The supply and installation of thermal insulation.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Wall and roof framing, roofing, wall lining, brickwork, blockwork, suspended ceiling.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
SAA HB63 1994 Home Insulation in Australia. AS 2627 Thermal insulation of dwellings.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare surfaces and or framing material and ensure that no obstructions will prevent rapid and effective installation.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply with manufacturer's current written instruction. Install insulation to the following areas and structures.

IDENTIFY

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Metal roofing and sarking, downpipes, gutters,.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Roof Framing, Wall Cladding, Storm Drainage.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
SAA HB39 Code of common practice for steel roofing. AS 1562 Design & Installation of sheet roof & wall cladding.

AS 2180 1986 Metal rainwater goods, selection and installation. AS 4285 Skylights.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Ensure framing is in place and secure. Terrain Category IDENTIFY

Ensure safety equipment is in place.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply with recommendations in HB 39 (see above), Code of Common Practice for steel roofing. Install each item in accordance with manufacturer's current written instructions. Form penetration flashings neatly with material matching roofing material or install EPDM collars. Provide flashings at all upstands lapped 150mm at junctions. Step flashings evenly. Finish top corners to a line parallel to the roof slope.

Close and seal ends of cut ribs. Form back gutters not less than 100mm wide with falls towards the sides of the penetration collars. Seal joints with compatible sealant. Secure downpipes through cladding to structure. Seal at stormwater pipe upstands. Remove debris from gutters and downpipes. Test on completion.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install door frames and doors for external and internal door openings.

IDENTIFY REQUIREMENTS: Timber frames, metal frames, doors, glazed, solid core, waterproof, , flyscreen, security, acoustic,

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Carpentry, Door Hardware, Wall Construction, Glass, Painting.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS 2688 Timber doors. AS 2689 Timber doorsets. AS/NZS 2803 Doors-security screens.

AS/NZS 2804 Installation of security screen doors.

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare openings in walls. Install fixing grounds to secure frames.

Erect a sample frame and door of each type complete. Stop. When approved by Architect, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Erect frames plumb and true. Comply with named Standard listed. At head and jambs allow 3mm clearance.

At floor allow 10 mm over floor covering. Check and clean on completion.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install metal window frames and glass, glazed door, flyscreens, hardware, flashing, sun control material.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Carpentry, Frames, Brickwork, Blockwork, Wall framing.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS 1170 SAA Loading Code. AS 1288 Glass in Buildings. AS 2047 1996 Windows in buildings.
AS 3715 Thermoset powdercoatings.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare for installation of aluminium frames. Isolate aluminium from steel wall frames.

Provide necessary anchors for building into masonry openings.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Ensure anchor frames are placed. Comply with AS 2047. Install glass to manufacturer's instructions with correct sealants. Install flyscreens fixed, hinged, or removable, where directed. Install window winders catches locks etc

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install door hardware listed in the Schedule for doors.

COOPERATE WITH THESE OTHER TRADE *to resolve possible problems before starting work*

Doors & Door Frames, Metal Windows, Timber Windows

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS 4145 Locksets

Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Install a complete set of hardware as scheduled.

Install samples of each type. Stop. When approved by Superintendent, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Install with accordance with AS 4145 and written instructions of each manufacturer. Check deliveries on arrival. Lock away until needed and assume responsibility for hardware. Fit accurately at correct heights and protect until completion of project. Oil hinges and locks and provide two keys to each lock.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install plasterboard, water-resistant plasterboard, flexible plasterboard, lining of masonry walls, ceilings, dropwalls, bulkheads. .

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Wall, Frames, Carpentry, Brickwork, Blockwork, Suspended ceiling, Electrical.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS/NZS 2589.1 1997 Gypsum linings in residential & commercial construction.

AS 3740 Waterproofing of wet areas within residential buildings.

Comply throughout with the current edition of the Building Code of Australia.

Comply with manufacturer's technical bulletins:

PREPARATION *Inspect conditions at site before starting work*

Ensure framing is complete and electrical and other wiring is in place.

Install a sample, width of one wall (about 3 metres). Stop. When approved by Architect, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply with plasterboard manufacturer's current written instructions. Form dropwalls, recesses, manholes as required.

In wet areas ensure compliance with AS 3740 Waterproofing wet areas. Install P50 cornice detail.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install preparation of surfaces to be tiled. Bedding as required. Wall tile, floor tiles, external paving tiles. Cleaning of finished work.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Concrete, Carpentry, Plasterboard.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS/NZS 3661 Slip resistance of pedestrian surface. AS 3740 Water proofing of wet areas within residential buildings. AS 3958 Ceramic Tiles.
Comply throughout with the current edition of the Building Code of Australia.
Comply with material manufacturer's current written instructions.

Screed for walls and floors: 1 part cement 4 parts sand. Adhesives: to be supplied by IDENTIFY:
Expansion joints, walls: 5mm. Floors: 8mm. Fill both with silicone rubber.
Grout for wall: Epoxy based mildew resistant. Grout for floors: prepared grout acid resistant

PREPARATION *Inspect conditions at site before starting work*
Ensure surfaces are clean and dry and no variation on walls greater than 5mm under a 2000 long straight edge. Tile a sample panel of each type, 3 square metres. Stop. When approved by Architect, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*
Install floor backing boards as required for floor tile on timber. Form expansion joints no more than 2500mm apart. Comply with adhesive manufacturer's instructions. Install wall tiles with expansions joints not more than 2500mm apart and at floor level and at corners of walls, and at change of background material. Alternatively, apply cement render to masonry wall to smooth even surface for wall tiling. Install grout of selected colour to manufacturer's instructions. Clean each surface on completion.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and install floating floors of tongue and grooved panels of sandwich construction or of plywood construction or of solid timber construction.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Concrete floor construction. Timber floor construction. Joinery, site built.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
Obtain most recent written installation instructions provided by the manufacturer.
Comply throughout with the current edition of the Building Code.

PREPARATION *Inspect conditions at site before starting work*

Ensure that the areas to receive floor panels are secure against penetration by water. Ensure that concrete base floor has a moisture content not exceeding 6%. Fill holes or depressions with stable materials which dry completely.

Install sample area of 3 square metres. Stop. When approved by Architect, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply throughout with manufacturer's written instructions. Do not damage during installation. Protect laid floor panels from damage by other trades. Where no finish is applied before delivery, apply finish on site in accordance with manufacturer's instructions. Cover finished floor surface until completion of project.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Supply and apply paints and other finish coatings. Refer Schedule of Finishes.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Each trade as listed to be painted. Refer Schedule.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS 2311 1992 The painting of buildings. AS/NZS 2312 1994 Guide to the protection of iron and steel against exterior atmospheric corrosion.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Prepare each surface to be painted in accordance with manufacturer's instructions.

Prepare a sample panel of 2 square metres of each paint type. Stop. When approved by Architect, continue.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Architect will check each prepared surface. Do not proceed with painting until check completed.

Apply scheduled coats and paint types to manufacturer's instructions, and AS 2311.

SPECIFIER: If work includes repainting of existing surfaces, quote from standard or from manufacturers instructions.

Delivery storage and Handling:

A. Store materials in designated spaces in a manner which meets the requirements of applicable codes and fire regulations. When not in use, keep such spaces locked and inaccessible to those not employed under this Section. Provide each space with a fire extinguisher of carbon dioxide or dry chemical type bearing a tag of recent inspection.

B. Bring materials to the building and store in manufacturer's original sealed containers, bearing the manufacturer's standard label, indicating type and colour. Deliver materials in sufficient quantities in advance of the time needed in order that work will not be delayed in any way.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Low voltage lighting and reticulation, transformers, quartz or tungsten halogen lamps with dichroic reflectors, mounting devices and reflectors.

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Electrical Installation, Ceiling Construction, Wall Construction and Finishes.

Licensed electrical technicians only may perform work, experienced in the requirements of the project.

Licences are those issued by the State Authority having direct control or interest in the work.

Perform the entire installation in accordance with the requirements of the Statutory Authority having jurisdiction.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*

AS 1680 Interior lighting. AS 3000 1991 SAA Wiring Rules. This standard is in constant revision

Comply throughout with the current edition of the Building Code of Australia.

MATERIALS TO BE USED

Item	Description Manufacturer/Supplier
Lamps :.....	12 volt system AC +3% -6%.
Transformers :.....	Fully enclosed designed to be concealed from view, with performance compatible with lamp. Provide transformers on a ratio of 1 transformer to 1 lamp. Provide mounting for securing each transformer in place. Transformer properties : 5% regulation or better short circuit protected, fitted with fuse on the secondary output.

Lamp Watts	Lamp Volts	Nominal 1mm	Cable Size 1.5mm	2.5mm	4mm
20 W	12 V	7 m	10 m	17 m	27 m
50 W	12 V	2.5 m	4 m	7 m	11 m

Where light dimmers are used of the thyristor type provide a tuned inductance between the dimmer and the primary of the isolating transformer.

PREPARATION *Inspect conditions at site before starting work*

Provide necessary safety or security control where required to ensure safe practices and installations.

Remove material or insulation from within 150mm above or beside lamp reflectors. Ensure adequate ventilation.

ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Cable : Secure cable, using materials specified above, at centres recommended by Regulations and/or manufacturer.

Conceal wiring and cable equipment. Conduit cable where necessary or required in approved material.

SCOPE OF WORK *Perform work described here and shown on drawings including but not limited to:*

Design, supply and installation of electrical transmission and reticulation materials from mains supply to required electrical power and light outlets, telephone, internal communication system

COOPERATE WITH THESE OTHER TRADES *to resolve possible problems before starting work*
Floor construction, Wall Construction, Ceiling construction, Carpentry, Joinery.

Licensed electrical technicians only may perform work, experienced in the requirements of the project. Licences are those issued by the State Authority having direct control or interest in the work. Perform the entire installation in accordance with the requirements of the Statutory Authority having jurisdiction.

COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS *Current Edition.*
AS/NZS 2293 Emergency evacuation lighting for buildings. AS/NZS 3000, Wiring Rules. AS/NZS 3018 1997 Electrical installation - Domestic. AS 3786 Smoke Alarms.
Comply throughout with the current edition of the Building Code of Australia.

PREPARATION *Inspect conditions at site before starting work*

Provide necessary safety or security controls where required to ensure safe practices and installations.

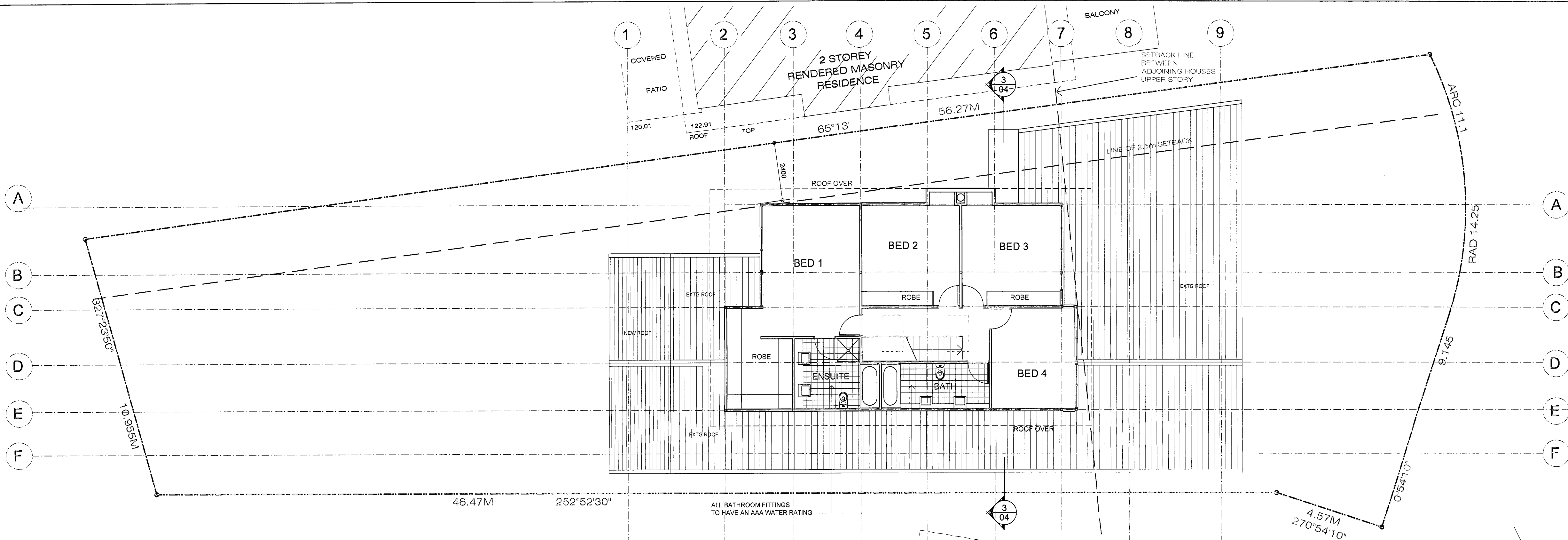
The following preparatory actions are to be performed by the builder for the electrician:

- A. Slab penetrations for floor-mounted G.P.O.'s, telephone outlets etc.
- B. Chasing and making good for conduit access for skirting
- C. Chasing and wiring duct, G.P.O.'s switches etc.
- D. Supply and installation for access opening where required.
- E. Provision of electrical riser.
- F. Provision of signwriting to Main Switchroom & Distribution board.
- G. Forming , trimming, patching and making good of openings for luminaries to sizes required by the Electrician.
- H. Provision of concrete
- I. Making good existing roadway etc.

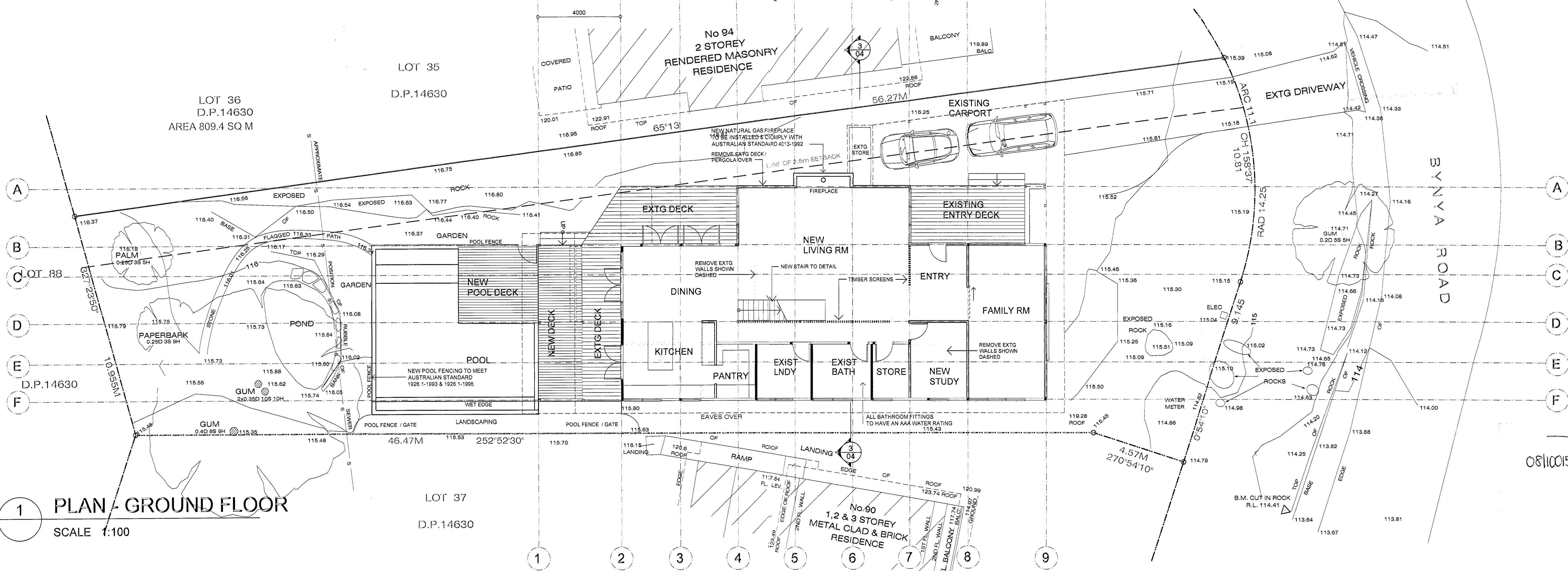
ON-SITE ACTIONS *Start of work means total acceptance of conditions*

Comply with Standards throughout and requirements of Supply Authority. Install light fittings, switchboard & distribution board, metre board & box. Arrange for inspection by Supply Authority inspector. Obtain compliance certificate. Connect to main Supply.

Cable: Secure cable, using materials specified above, at centres recommended by Regulations and/or manufacturer.



2 PLAN - FIRST FLOOR
SCALE 1:100



1 PLAN - GROUND FLOOR
SCALE 1:100

- GENERAL NOTES:
- ALL WORKS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA & IN ACCORDANCE WITH THE CONDITIONS OF DA No. N26506.
- NEW CONSTRUCTION TO BE IN ACCORDANCE WITH LEVEL 2 ASS999-1999 CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS.
- LEVEL 2 CONSTRUCTION SPECIFICATIONS:
- FLOORING SYSTEM - ENCLOSED SUSPENDED
 - EXTERNAL WALLS - FRAMED WALLING WITH SARKING & INSULATION DIRECTLY BEHIND CLADDING. TIMBER CLADDING TO BE FIRE RETARDANT-TREATED TIMBER OR SIMILAR & APPROVED
 - WINDOWS - TO BE SELECTED HWYTIMBER FRAMED TO MEET FIRE RETARDANT STANDARD. ALL OPENINGS TO BE FITTED WITH MESH SCREENS (EXCL ALUMINUM MESH)
 - ROOF - METAL ROOF SHEETING, FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5.
 - ROOF LIGHTS - TO BE FIRE RETARDANT TREATED GLASS
 - EAVES - ENCLOSED EAVES WITH FIBRE CEMENT SHEET SEALED
 - FASCIAS - TO BE FIRE RETARDANT TREATED TIMBER
 - GUTTERS - APPROVED STEEL LEAF GUARDS FITTED TO ALL GUTTERS
 - DECKS - NEW SPACED DECKS TO BE FIRE RETARDANT TREATED TIMBER WITH MIN 5MM CLEARANCE
- ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.

rev	date	details
A	JUNE 07	CC SUBMISSION

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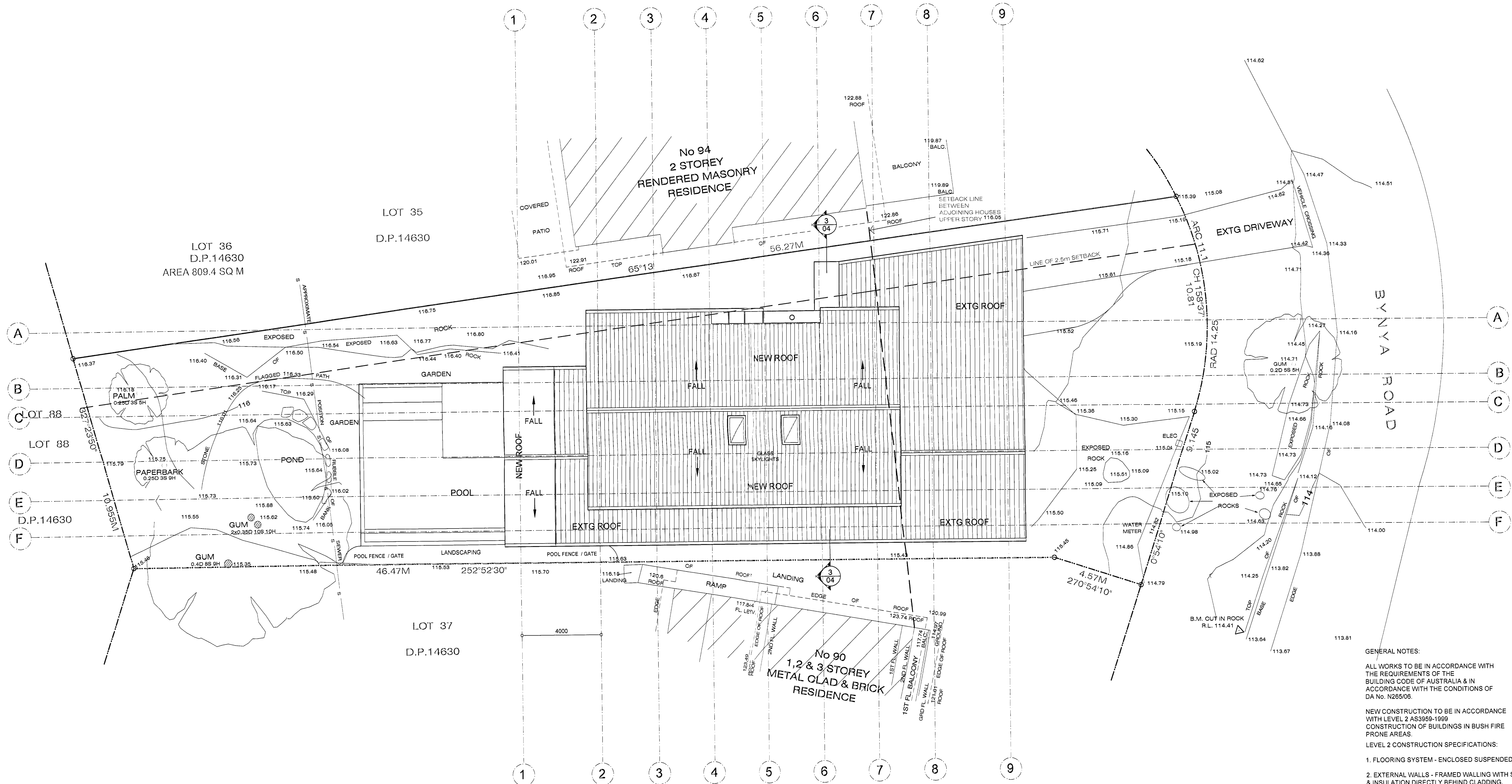
suite 414, 77 dunning ave, rosebery nsw, 2018
t- 02 9662 2720 f- 02 9663 4848

PROPOSED ALTERATIONS & ADDITIONS
at
92 BYNYA RD PALM BEACH NSW
MR D. FARR & MS M. GUTHRIE
project description:

PLANS 1

this sheet:

date: APR 2006	scale: 1:100
drawn: AK	checked: DS
FG-06	cc01
project no.	sheet no.
	A revision



2 PLAN - ROOF
SCALE 1:100

- GENERAL NOTES:
- ALL WORKS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA & IN ACCORDANCE WITH THE CONDITIONS OF DA No. N285/08.
- NEW CONSTRUCTION TO BE IN ACCORDANCE WITH LEVEL 2 AS3959-1999 CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS.
- LEVEL 2 CONSTRUCTION SPECIFICATIONS:
- FLOORING SYSTEM - ENCLOSED SUSPENDED
 - EXTERNAL WALLS - FRAMED WALLING WITH SARKING & INSULATION DIRECTLY BEHIND CLADDING. TIMBER CLADDING TO BE FIRE RETARDANT-TREATED TIMBER OR SIMILAR & APPROVED
 - WINDOWS - TO BE SELECTED HWYTIMBER FRAMED TO MEET FIRE RETARDANT STANDARD. ALL OPENINGS TO BE FITTED WITH MESH SCREENS (EXCL. ALUMINUM MESH)
 - ROOF - METAL ROOF SHEETING, FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5.
 - ROOF LIGHTS - GLAZING TO BE WIRED GLASS
 - EAVES - ENCLOSED EAVES WITH FIBRE CEMENT SHEET SEALED
 - FASCIAS - TO BE FIRE RETARDANT TREATED TIMBER
 - GUTTERS - APPROVED STEEL LEAF GUARDS FITTED TO ALL GUTTERS
 - DECKS - NEW SPACED DECKS TO BE FIRE RETARDANT TREATED TIMBER WITH MIN 5MM CLEARANCE

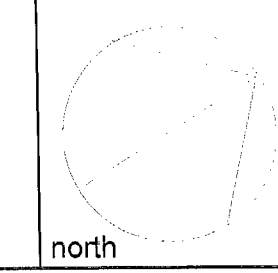
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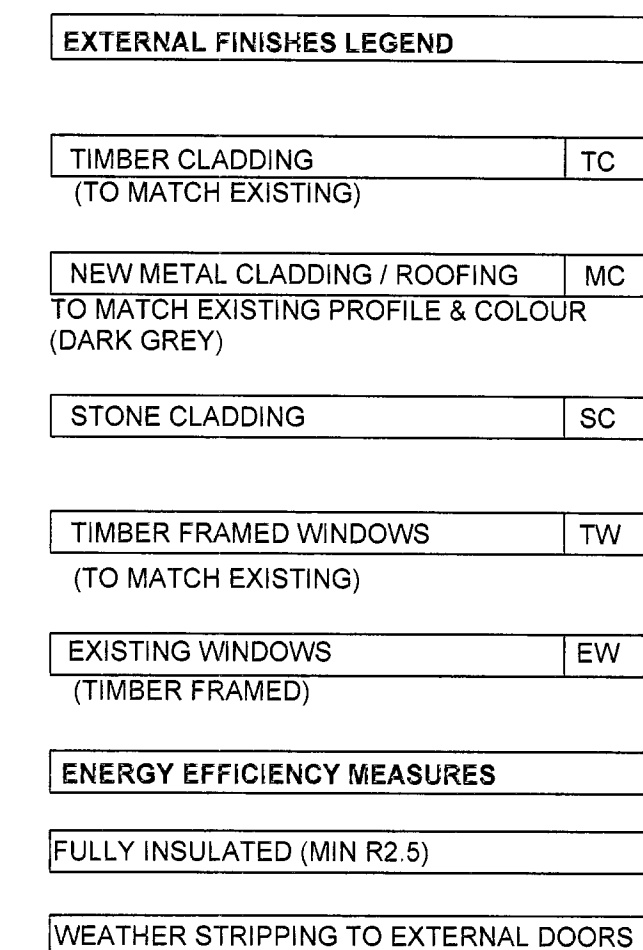
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t- 02 9682 2720 f- 02 9663 0377

PROPOSED ALTERATIONS & ADDITIONS
at
92 BYNYA RD PALM BEACH NSW
MR D. FARR & MS M. GUTHRIE
project description:

PLANS 2
this sheet:



date: APR 2006	scale: 1:100
drawn: AK	checked: DS
FG-06	CC02
project no.	sheet no.
	A
	revision



GENERAL NOTES:

ALL WORKS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA & IN ACCORDANCE WITH THE CONDITIONS OF DA No. N255/08.

NEW CONSTRUCTION TO BE IN ACCORDANCE WITH LEVEL 2 AS3959-1999

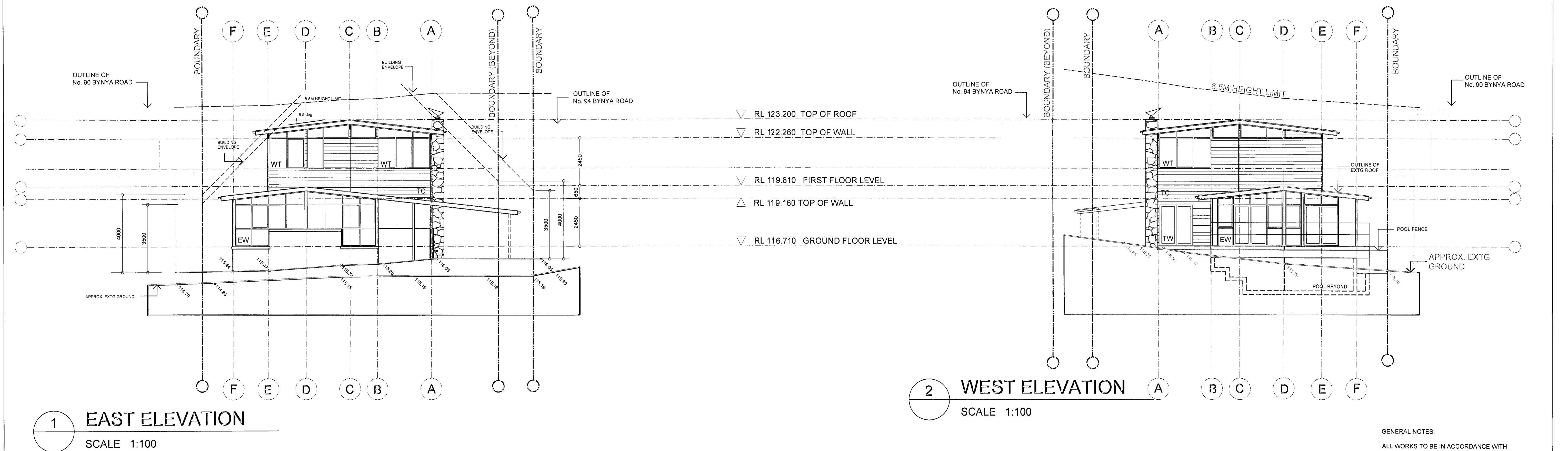
CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS.

LEVEL 2 CONSTRUCTION SPECIFICATIONS:

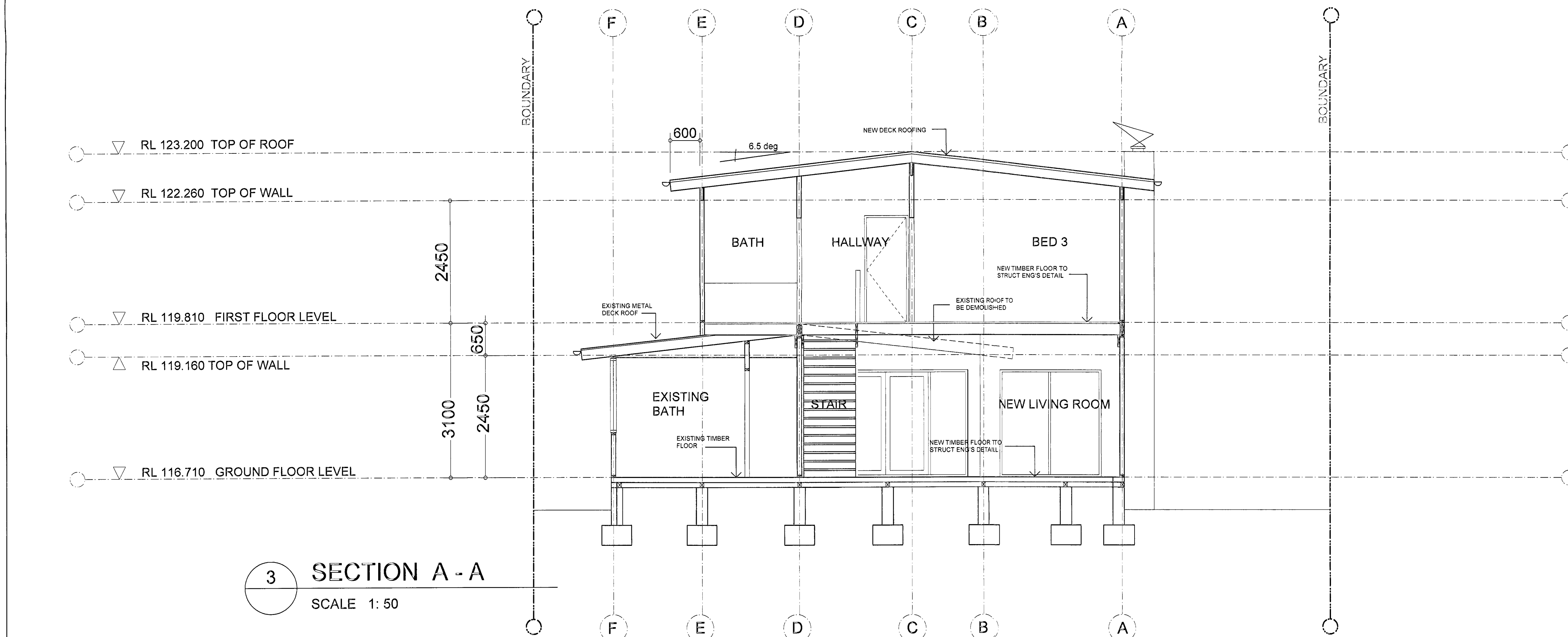
1. FLOORING SYSTEM - ENCLOSED SUSPENDED
2. EXTERNAL WALLS - FRAMED WALLING WITH SARKING & INSULATION DIRECTLY BEHIND CLADDING.
- TIMBER CLADDING TO BE FIRE RETARDANT-TREATED TIMBER OR SIMILAR & APPROVED
3. WINDOWS- TO BE SELECTED HTWIMBER FRAMED TO MEET RETARDANT STANDARD. ALL OPENINGS TO BE FITTED WITH MESH SCREENS (EXCL ALUMINIUM MESH)
4. ROOF - METAL ROOF SHEETING, FULLY SARKED WITH A FLAMMABILITY INDEX OF NOT MORE THAN 5.
5. ROOF LIGHTS - GLAZING TO BE WIRED GLASS
6. EAVES- ENCLOSED EAVES WITH FIRE CEMENT SHEET SEALED
7. FASCIAS- TO BE FIRE RETARDANT TREATED TIMBER
8. GUTTERS - APPROVED STEEL LEAF GUTTERS FITTED TO ALL GUTTERS
9. DECKS - NEW SPACED DECKS TO BE FIRE RETARDANT TREATED TIMBER WITH MIN 50MM CLEARANCE



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	A	JUNE 07	CC SUBMISSION					drawn: AK	checked: DS



- GENERAL NOTES:
- ALL WORKS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA & IN ACCORDANCE WITH THE CONDITIONS OF DA No. N26508
- NEW CONSTRUCTION TO BE IN ACCORDANCE WITH LEVEL 2 AS3659-1999 CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS.
- LEVEL 2 CONSTRUCTION SPECIFICATIONS:
- FLOORING SYSTEM - ENCLOSED SUSPENDED
 - EXTERNAL WALLS - FRAMED WALLING WITH SARKING & INSULATION DIRECTLY BEHIND CLADDING. TIMBER CLADDING TO BE FIRE RETARDANT-TREATED TIMBER OR SIMILAR & APPROVED
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 - DECKS - NEW SPACED DECKS TO BE FIRE RETARDANT TREATED TIMBER WITH MIN 5MM CLEARANCE
- EXTERNAL FINISHES LEGEND**
- TIMBER CLADDING (TO MATCH EXISTING) TC
- NEW METAL CLADDING / ROOFING MC TO MATCH EXISTING PROFILE & COLOUR (DARK GREY)
- STONE CLADDING SG
- TIMBER FRAMED WINDOWS (TO MATCH EXISTING) TW
- EXISTING WINDOWS (TIMBER FRAMED) EW
- ENERGY EFFICIENCY MEASURES**
- FULLY INSULATED (MIN R2.5)
- WEATHER STRIPPING TO EXTERNAL DOORS



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PROPOSED ALTERATIONS & ADDITIONS at 92 BYNYA RD PALM BEACH NSW MR D. FARR & MS M. GUTHRIE project description: ELEVATIONS 2 & SECTION this sheet:			
date: APR 2006 scale: 1:100 / 1:50 drawn: AK checked: DS FG-06 cc04 A project no. sheet no. revision			

COUNCIL COPY

STRUCTURAL DETAILS ONLY

08/10015

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Proposed Concrete Swimming Pool

CUSTOMER: Ms M.L. GUTHRIE & Mr D.S.R. FARR

SITE ADDRESS: 92 Bynya Road,

PALM BEACH - NSW 2108

PHONE H: Lot 36

B: DP 14630

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U.B.D. MAP No. 99 REF: B, 3

These drawings designed & prepared by:

**SWIMMING
POOL
ENGINEERING**

2007 Project No. SPE 2292

Drawing No. 1 of 9

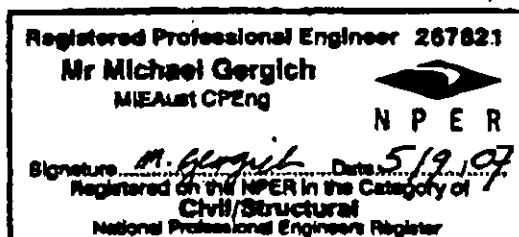
CONSULTING STRUCTURAL ENGINEERS

Shop 10, 44A Hampden Ave. (Cnr. Gladys Ave.), East Wahroonga, NSW 2076
PO Box 46, Wahroonga, NSW 2076. Telephone: 9489 4446 Facsimile: 9489 0767
E-mail: swimmingpooleng@bigpond.com

NOTE : For site plan and swimming pool location refer to DA approved drawings, prepared by Smyth & Smyth - Rosebury.

In our opinion the structural details shown on this set of plans, Project No. SPE2292, drawing No.'s 1 to 9, have been designed in accordance with current Australian Standards and conform to the structural engineering requirements of the Building Code of Australia.

For and on behalf of
SWIMMING POOL ENGINEERING



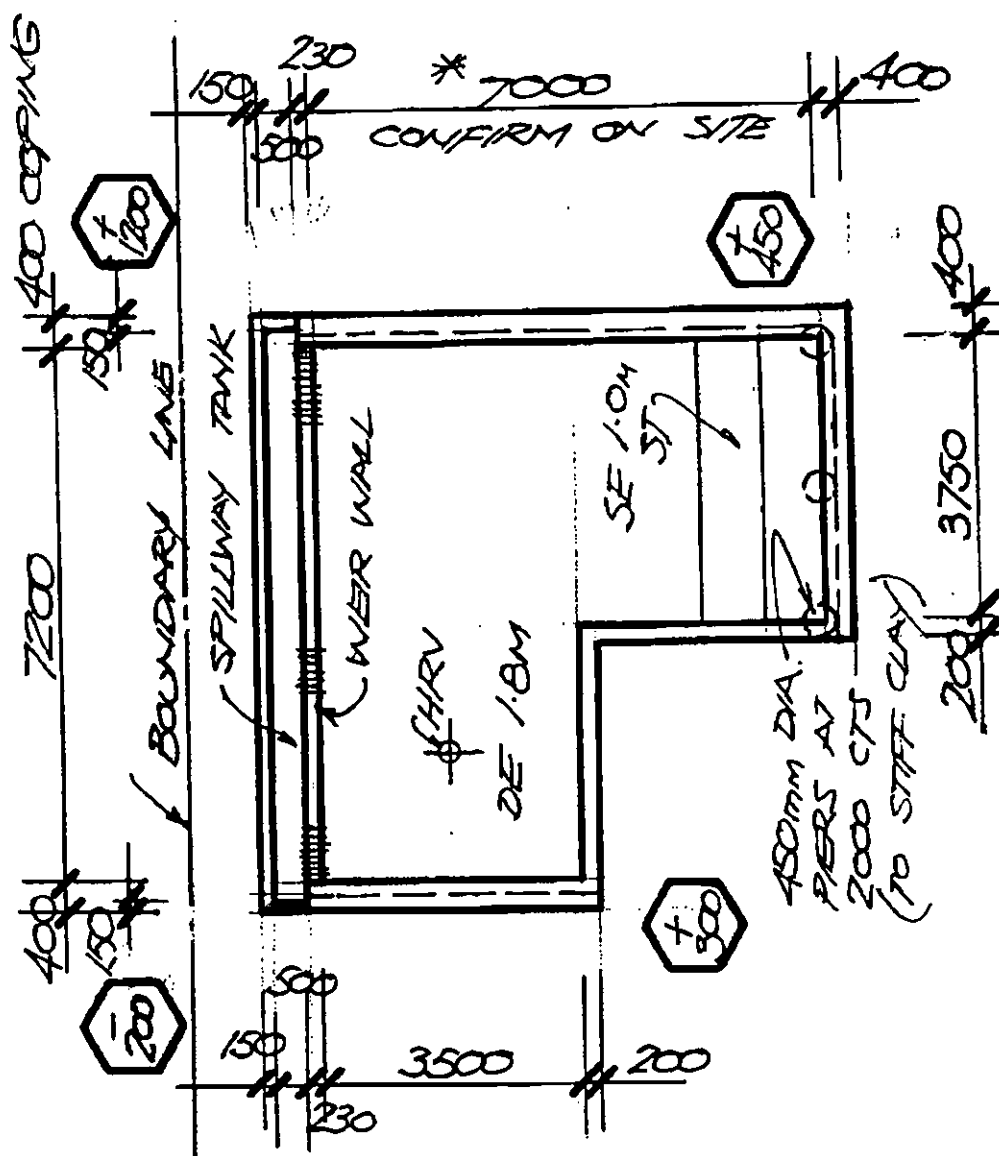
STRUCTURAL DETAILS ONLY

Project: Mr G.C. & Ms M.L. GUTHRIE & Mr D.S.R. FARR - 92 Bynya Road, PALM BEACH NSW 2108

SWIMMING POOL ENGINEERING 
Structural Engineering Consultants Telephone: 9489 4446 - Facsimile: 9489 0767
Shop 10, 44a Hampden Ave., Wahroonga 2076 swimmingpooleng@bigpond.com.au

SPE 2292
2 OF 9

THIS SWIMMING POOL HAS NOT BEEN DESIGNED FOR DIVING



Note: Return to pool lines, suction lines and skimmer box location to be determined on site by swimming pool builder to obtain best results for this swimming pool.

Legend: HRV - Hydrostatic Relief Valve
RTP - Return to Pool Line
S - Skimmer Box

DE - Deep End
SE - Shallow End
SL - Swimout Ledge

ST - Steps
B - Beach Area
W - Wading Area

+ Indicates approximate height of coping above/below existing ground levels

M. Guthrie - BE
H. E. Farr

Dimensions indicated on this drawing are minimum concrete sizes ONLY and NOT finished dimensions. Finished dimensions may vary depending on material choice.

SWIMMING POOL - PLAN

FOR: Ms M.L. GUTHRIE & Mr D.S.R. FARR

AT: 92 Bynya Road, PALM BEACH NSW 2108

SWIMMING POOL ENGINEERING

Structural Engineering Consultants Telephone: 9489 4446 - Facsimile: 9489 0767
swimmingpooleng@bigpond.com.au

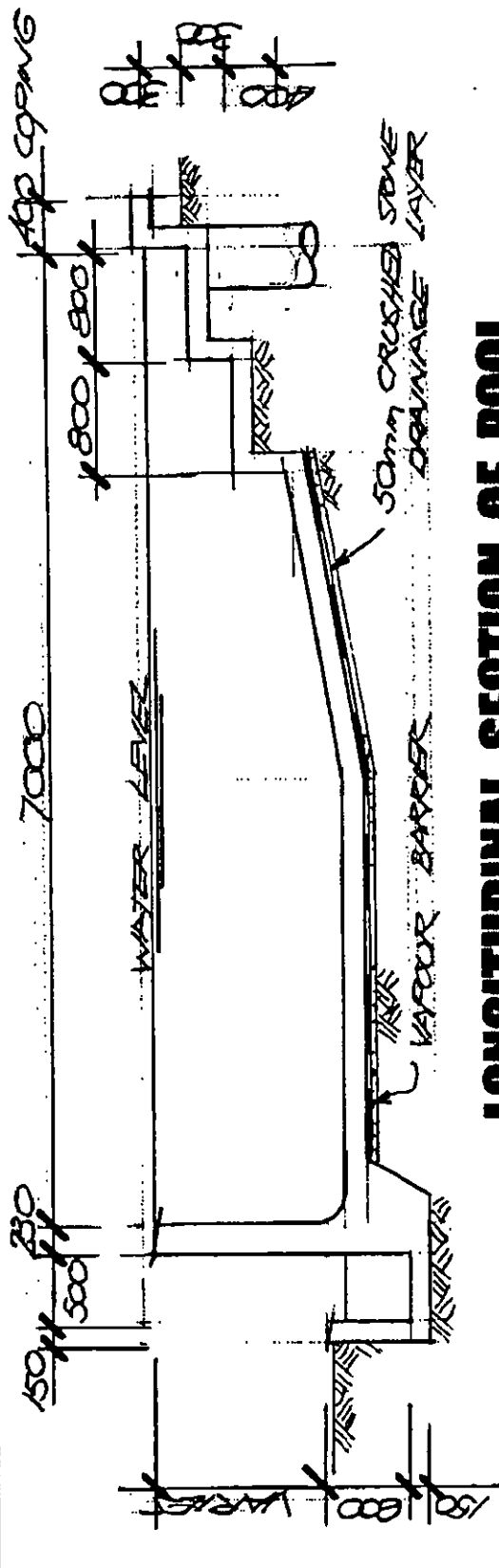
DATE September, 2007

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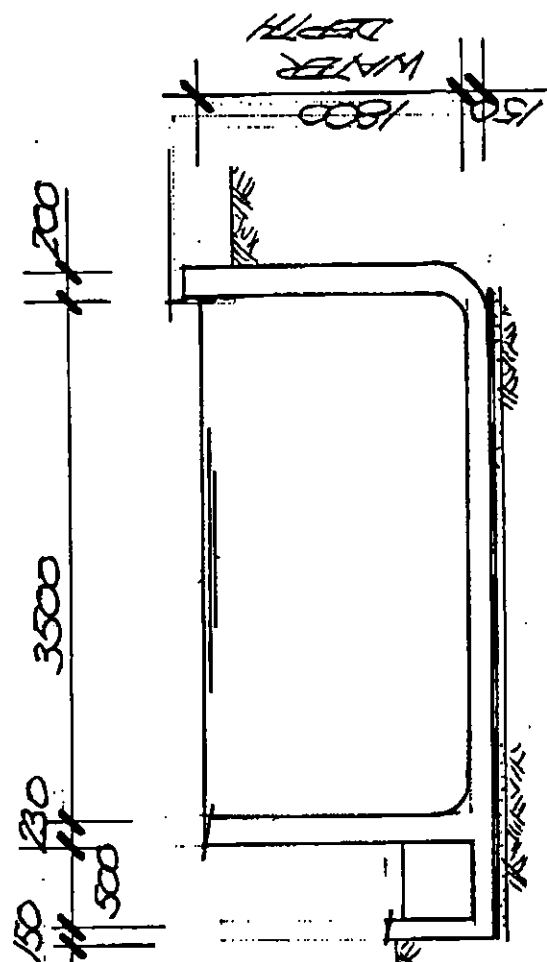
DRAWN Ace

SPE 2292

3 OF 9



LONGITUDINAL SECTION OF POOL



SECTION DEEP END

DIAGRAMMATIC SWIMMING POOL SECTIONS

M. Guthrie BE
M.E. Eng

SWIMMING POOL - POOL SECTIONS

FOR: Ms M.L. GUTHRIE & Mr D.S.R. FARR

AT: 92 Bynya Road, PALM BEACH 2108

SWIMMING POOL ENGINEERING

Structural Engineering Consultants Telephone: 9489 4446 - Facsimile: 9489 0767
swimmingpooleng@bigpond.com.au

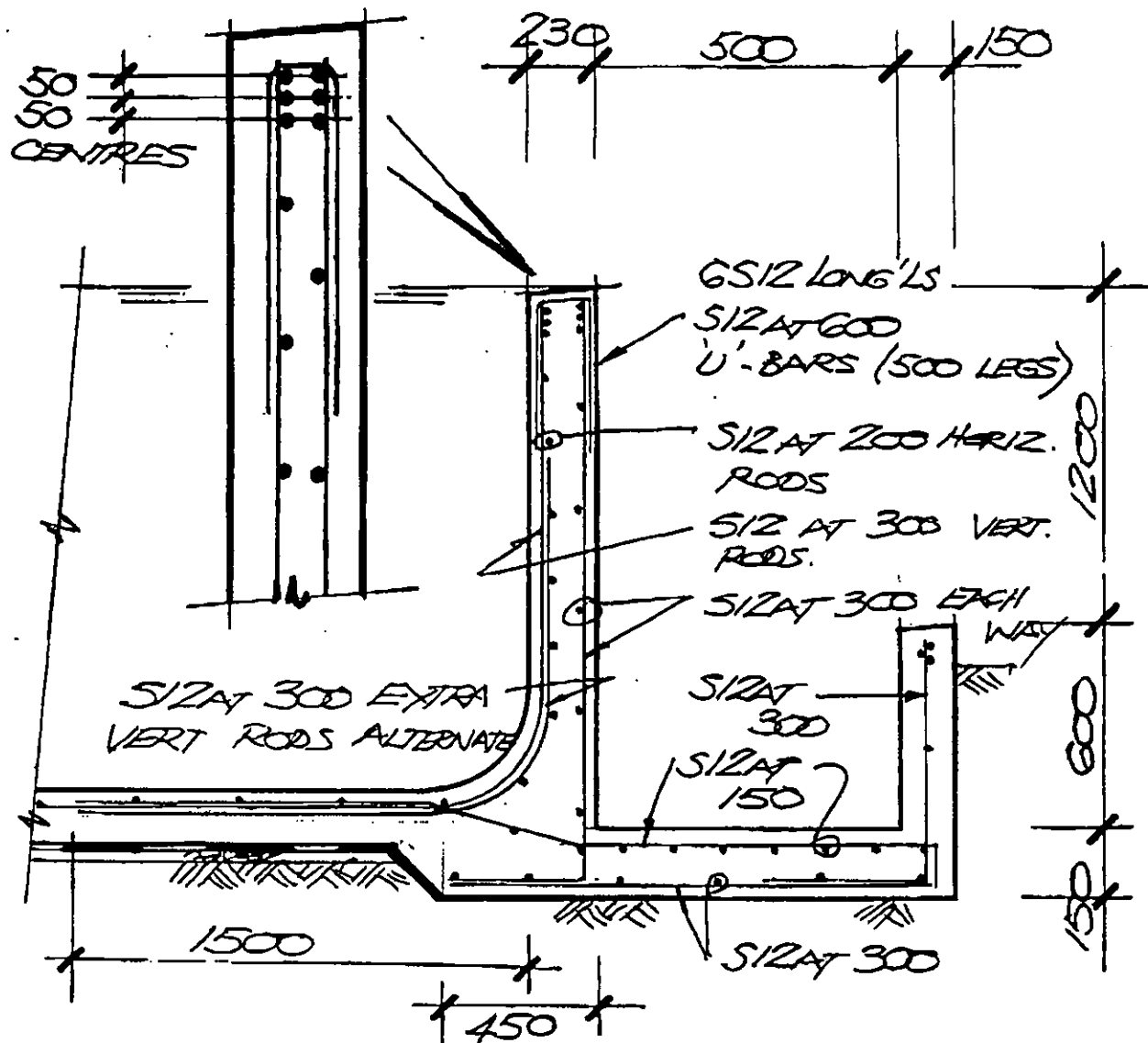
DATE September, 2007

SCALE 1: 0

DRAWN Ace

SPE 2292

4 OF 9



SECTION - POOL, WEIR WALL & SPILLWAY TANK

1:20

STRUCTURAL DETAILS ONLY

*M. Gough BE
11/1/08*

SWIMMING POOL ENGINEERING

Structural Engineering Consultants

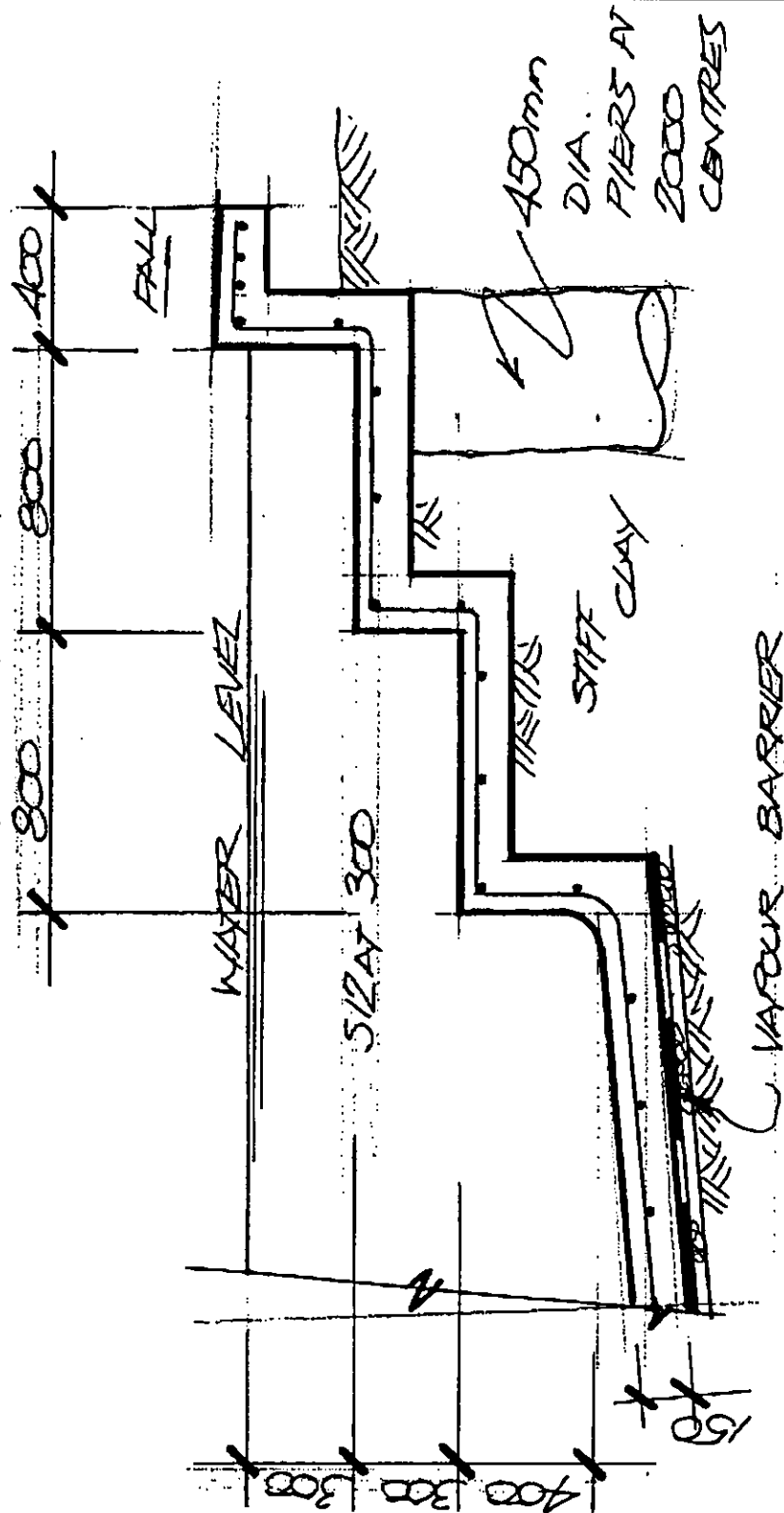
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Shop 10, 44a Hampden Ave., Wahroonga 2076

swimmingpooleng@bigpond.com.au

SPE2292

5 OF 9



M. Guthrie BE MIE Aust

SHALLOW END SECTION

STRUCTURAL DETAILS

Project:

Ms M.L. GUTHRIE & Mr D.S.R. FARR at No.92 Bynya Road, PALM BEACH 2108

SWIMMING POOL ENGINEERING



Structural Engineering Consultants

Telephone: 9489 4446 - Facsimile: 9489 0767

Shop 10, 44a Hampden Ave., Wahroonga 2076

swimmingpooleng@bigpond.com.au

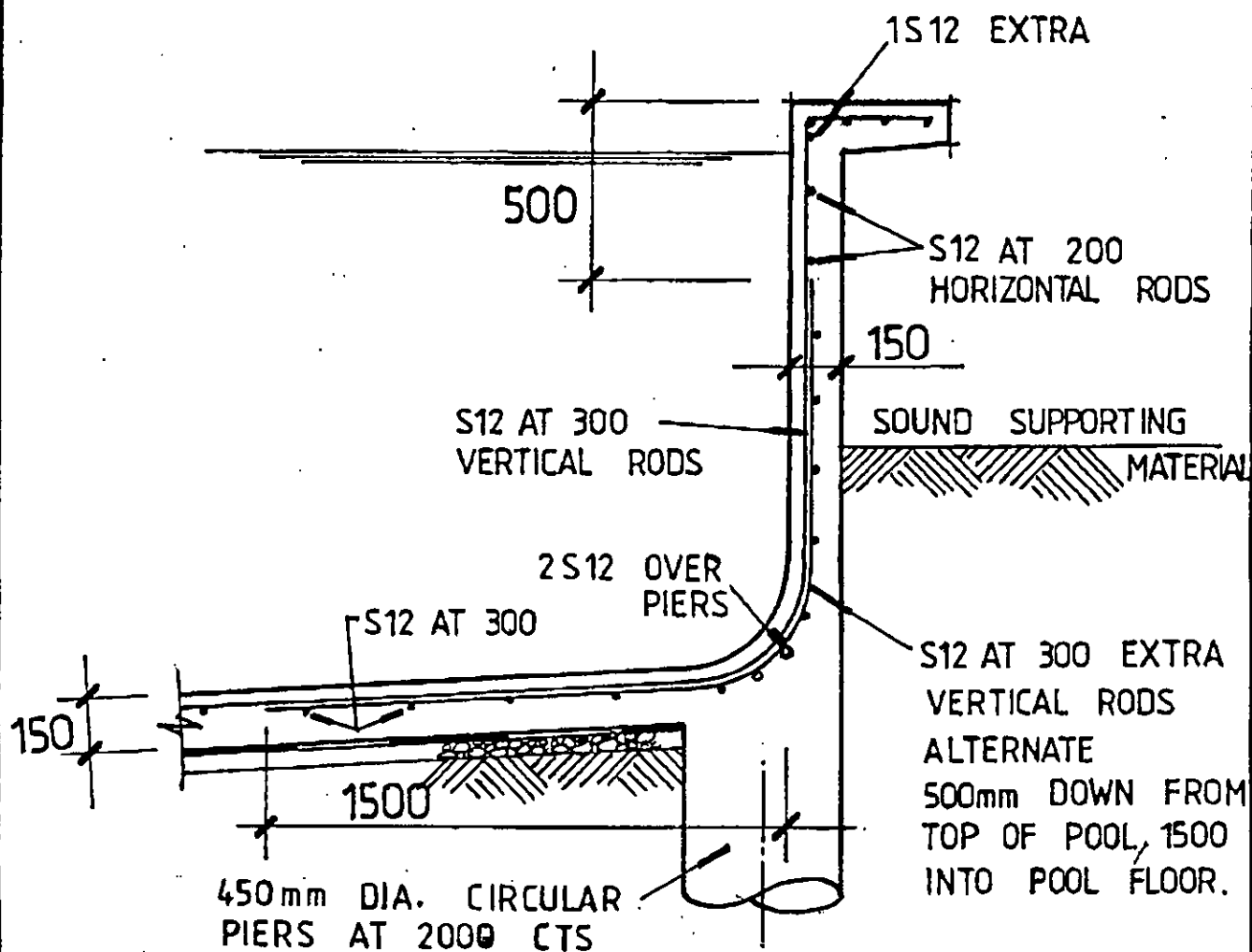
SPE 2292

6 OF 9

IF IN DOUBT PLEASE ASK



THIS DETAIL IS TO APPLY WHERE THE SWIMMING POOL WALLS STAND MORE THAN 750mm ABOVE SOUND SUPPORTING MATERIAL



TYPICAL "OUT-OF-GROUND" DETAIL

Michael Grogan BE MIE Aust NFER3

STRUCTURAL DETAILS ONLY

GENERAL NOTES

- G1** All workmanship and materials to be in accordance with the requirements of the current SAA Codes, The Building Code of Australia and by Laws and Ordinances of the relevant building Authority. This design complies with AS2783 - 1992 Concrete Swimming Pools Code and AS3600 - 1992 Concrete Structures.
- G2** Overall dimensions are to be checked and verified on site by the builder. Dimensions shown are concrete sizes and do NOT include finishes. Any discrepancies or variations are to be referred to the engineer. **Contract documents - pool size dimensions prevail.**
- G3** Walkways have been designed for a distributed load of 3kPa and a line load of .3Kn/m. No additional load shall be applied without approval from the engineer.
- G4** During construction the structure shall be maintained in a stable condition and NO part shall be overstressed.
- G5** The walls of the pool have been designed to project ~~above~~ above natural ground or sound supporting material.
- DO NOT SCALE THESE DRAWINGS**

FOUNDATIONS

- F1** Foundation material shall be uniform and have a minimum safe bearing capacity of :
~~100 kPa on Sand~~ - 300 kPa on Stiff Clay - ~~1000 kPa on Rock~~
- F2** Any variation in foundation conditions or material from that assumed in F1 above shall be referred to a Geotechnical Engineer or the Structural Engineer.
- F3** Excavation shall not be made within 2m of any existing structure without prior approval or recommendations for shoring or underpinning from the Structural Engineer.

REINFORCEMENT

- R1** All reinforcing steel to be fixed by an approved method and supported on appropriate sized chairs. Chair spacing shall not exceed 800mm for bars and 600mm for fabric. Minimum lap 500mm.
- R2** Reinforcement symbols
 S - denotes deformed grade 250 bars - R - denotes plain round grade 250 bars
 N - denotes deformed grade 500 bars - F - denotes grade 450 welded wire fabric
 The number immediately following the symbol above is the bar diameter in millimetres

CONCRETE

- C1** The mix shall be proportioned to produce a minimum 28 day compressive strength according to it's exposure classification and suitable for pneumatic application. Concrete shall have an exposure classification as follows:
- | | |
|---|--------------------|
| Inland, more than 50km from large expanses of water - | A1 - 25 MPa |
| Near Coastal, 1km to 50km from large expanses of salt water - | B1 - 25 MPa |
| Coastal, within 1km of large expanses of salt water - | B2 - 32 MPa |
| In Tidal or Splash Zone, of salt water (sea water pool) - | C - 40 MPa |
- C2** **NO Fly Ash** shall be added to the **25MPa** Concrete mix. Fly ash may be added to a maximum 40kg/m³ to the 40MPa concrete mix. Engineer to approve the mix.
- C3** Concrete cover shall be as follows unless noted otherwise:
- | | |
|-----------------------------------|------------------------------|
| Walls and floor | - 50mm from water face |
| | - 60mm from earth face |
| Faces exposed to aggressive water | - 70mm |
| Cantilevered walkways | - 40mm from finished surface |
| Pipes and conduit | - 50mm all round |
- C4** Concrete shall be moist cured for 7 days after placement by use of a soaker hose to provide constant wetting or cover with plastic and keep moist.

NO holes, chases or embedments of pipes other than those shown on the structural drawings shall be made in concrete members without prior written approval of the Engineer.
CAUTION TO FENCING CONTRACTORS

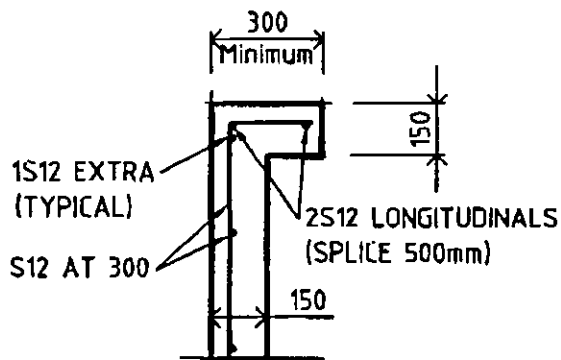
EMPTYING POOL - Pool to fitted with a hydrostatic relief valve to safeguard against possible flotation due to build up of water pressure under the pool when swimming pool is empty. **Always seek approval from the swimming pool builder or structural engineer before emptying the pool.**

SWIMMING POOL ENGINEERING 

Structural Engineering Consultants Telephone: 9489 4446 - Facsimile: 9489 0767
 swimmingpooleng@bigpond.com.au

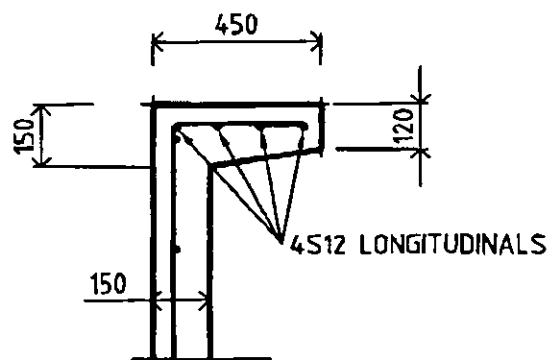
SPE 2292

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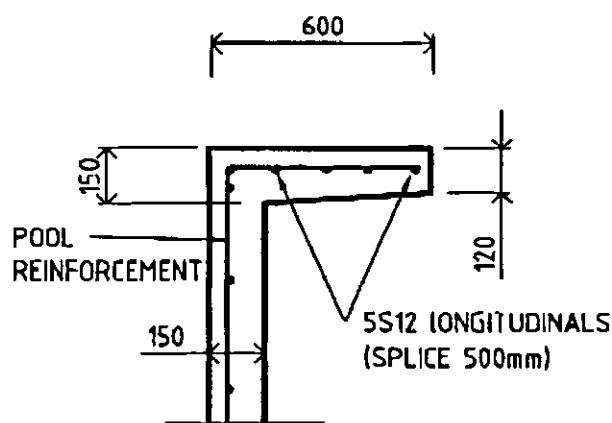
300mm Coping

DETAIL 1:20



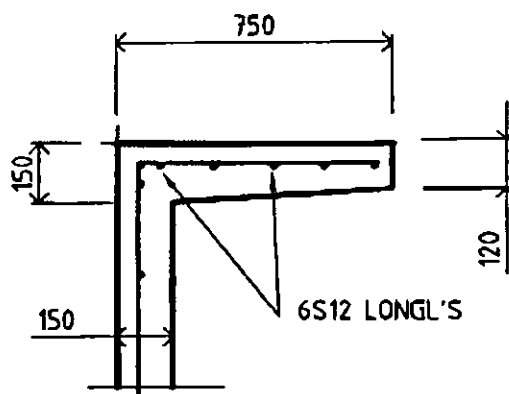
400-450mm

DETAIL 1:20



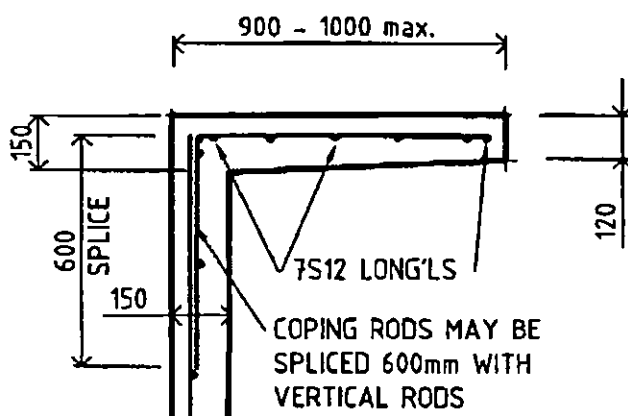
600mm

DETAIL 1:20



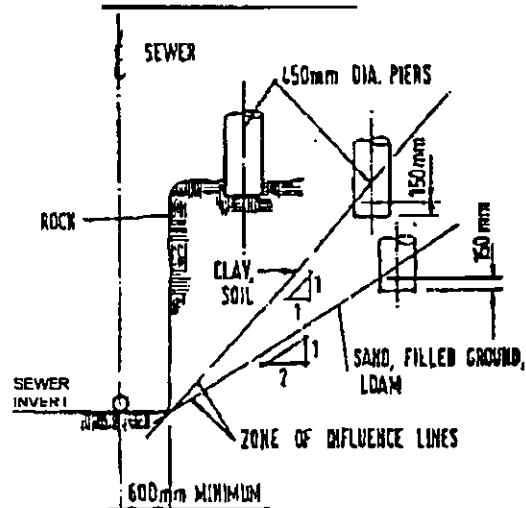
750mm

DETAIL 1:20



900mm-1000mm

DETAIL 1:20



SYDNEY WATER

TYPICAL SEWER REQ'MENTS

SWIMMING POOL ENGINEERING

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