



CRYSTAL POOLS PTY LTD

Australia's most experienced swimming pool builder

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Statement of Environmental Effects

Accompanying a development application for

Demolition of an existing swimming pool and construction of a swimming pool and spa

At

Lot 13 | DP 225845

13 Athol Street, Frenchs Forest, NSW, 2086

November 2022



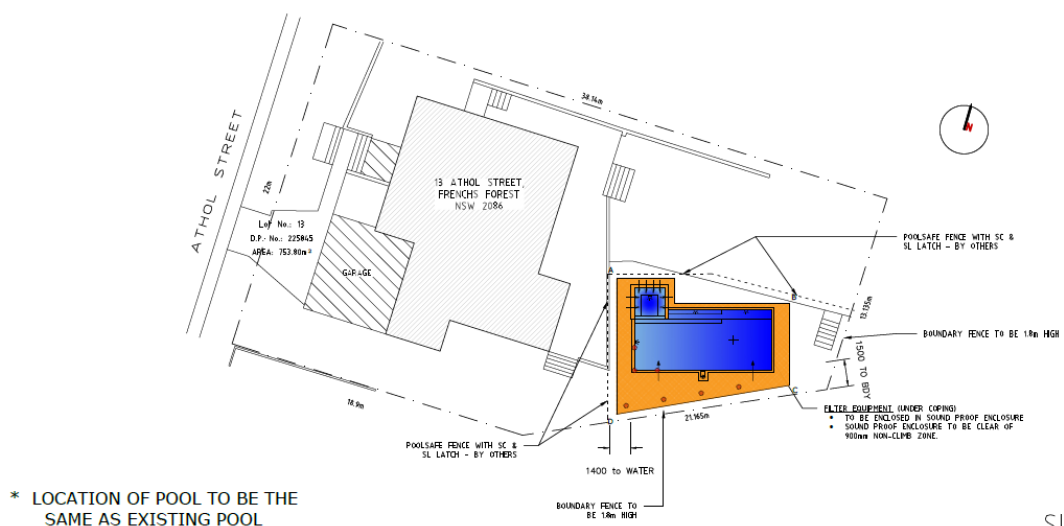
1. Introduction

This statement of environmental effects has been prepared by Crystal Pools Pty Ltd to accompany a development application for the demolition of an existing swimming pool and construction of a swimming pool and spa at 13 Athol Street, Frenchs Forest, NSW, 2086

The proposal has been designed to achieve the relevant provisions of the Pittwater 21 DCP and Clause 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). The following assessment details compliances with the DCP, LEP, and SEPP.

2. Site description and analysis

The subject site is an irregular shaped residential block with a site area approximately of 753 m². The lot fronts onto Athol Street with a Western aspect and front boundary measurements of 22m. The Northern side boundary is 34m long, and the Southern side boundary is 18m long. The rear boundary is tapered, with the side running parallel to the street measuring 13m.

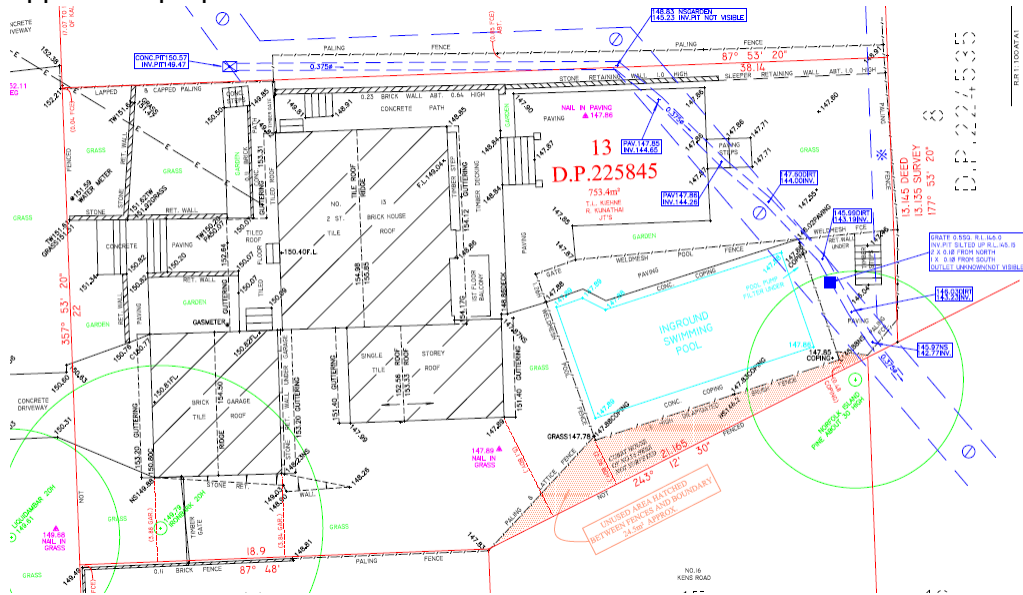


There is an existing dwelling and an existing pool which is to be demolished, and the new concrete pool is to replace this. The lot is zoned R2: Low density residential. The block slopes away gently to the back of the site, however the area where the proposed pool is, will remain level and currently shown on the survey.

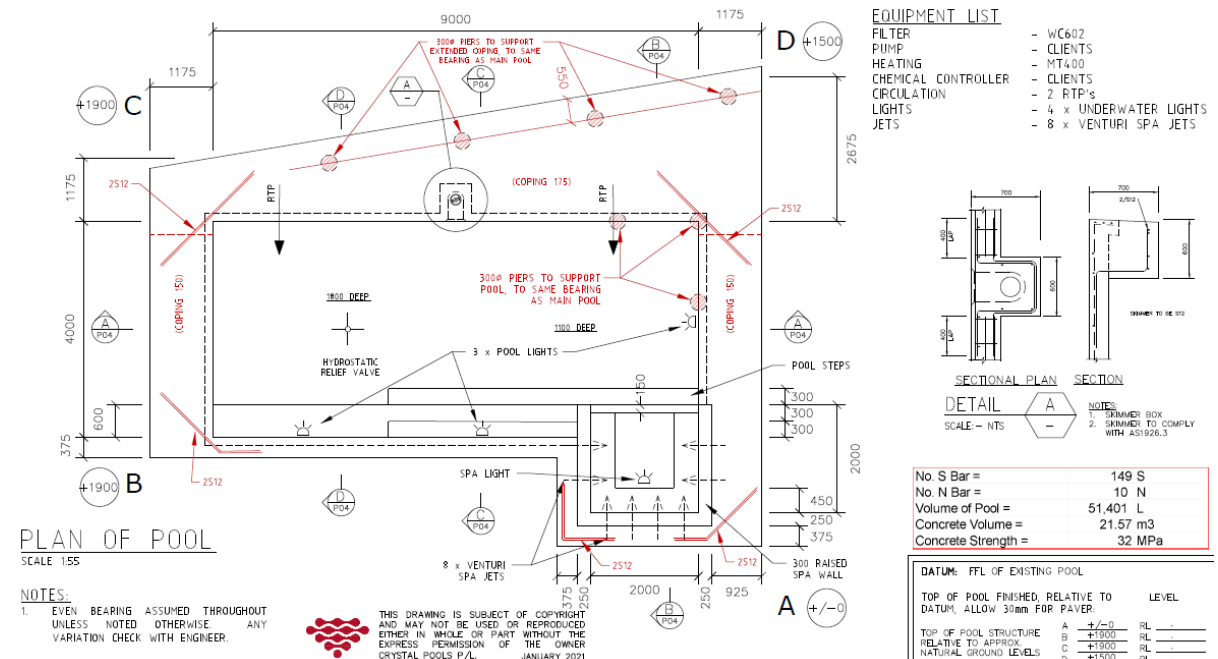
3. Proposed works

The proposed development is the demolition of the existing in ground swimming pool, and the construction of a new concrete above ground pool and spa.

The existing swimming pool is located in the South Eastern corner of the site. This application proposes the removal of this structure.



The proposed concrete swimming pool is 9.0m x 4.0m and consists of a 2.0m x 2.0m spa. The proposed pool will be the same level as the existing swimming pool and have a water volume capacity of 52KL. The pool will have a setback of 1.5m from the Southern side boundary and 4.5m from the Eastern rear boundary.



A 1.2m child-proof safety fence shall be installed enclosing the entire proposed pool and surrounds. The fence shall comply with NSW Swimming Pool Act 1992 and AS 1926.1 – 2014 (latest amendments to the Act shall be complied with). The pool equipment will be placed along the South side of the dwelling within a soundproof enclosure.

Planned phases of construction will include:

4. Present and Previous Land and Building Uses

The present use of the site is for residential purposes. There is an existing dwelling house on the property. From the information presented, there is no knowledge of any potential contaminated substances on the site.

5. Site suitability

The site is suited for the proposed development. The proposed swimming pool is to replace the existing pool in location and finished level. Therefore, the proposal does not seem to change any existing conditions on the site. Furthermore, the current pool is out of use, and the new pool will revitalise the private outdoor space in the rear yard. The pool will not adversely affect the existing dwelling, nor any future adjoining properties.

6. Compliance with Warringah DCP 2011

Clause	Design Requirement	Compliance
D16 Swimming pools	Pools are not to be located in the front building setback.	The swimming pool is located behind the front set back.
D16 Swimming pools	Swimming pools and spas are to be setback from any trees. Australian Standard AS4970-2009 Protection of trees on development sites is to be used to determine an appropriate setback.	The swimming pool is not located near any trees.

7. Environmental impacts

As the proposed swimming pool is to replace an existing swimming pool in the same location, there is seen to be no adverse environmental effects as a result of the new proposal. The proposed pool is to be the same level as the existing pool, so will not lead to any reduction of visual privacy to adjoining neighbours. The pool equipment is to be enclosed in a sound proof enclosure with a maximum noise of 5 dB, and is to be located away from habitable rooms of the primary, and neighbouring properties.

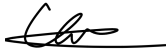
8. Vehicular / Machinery Movement and Parking

Construction vehicles may enter the site directly off the street (as above) and may park in the existing driveway of the site as per separate arrangement with the owners. The site shall be accessed only during construction times allowable by council.

9. Builders Integrity

A specialist pool builder, Crystal Pools Pty Ltd will be constructing the pool. During the construction process, utmost care & consideration will be taken to ensure the privacy and lifestyle of the neighbouring residences is uninterrupted.

Regards,

A handwritten signature in black ink, appearing to read 'Cassie', with a horizontal line extending to the right.

Cassie Vicente
Approvals Manager
Crystal Pools Pty Ltd