

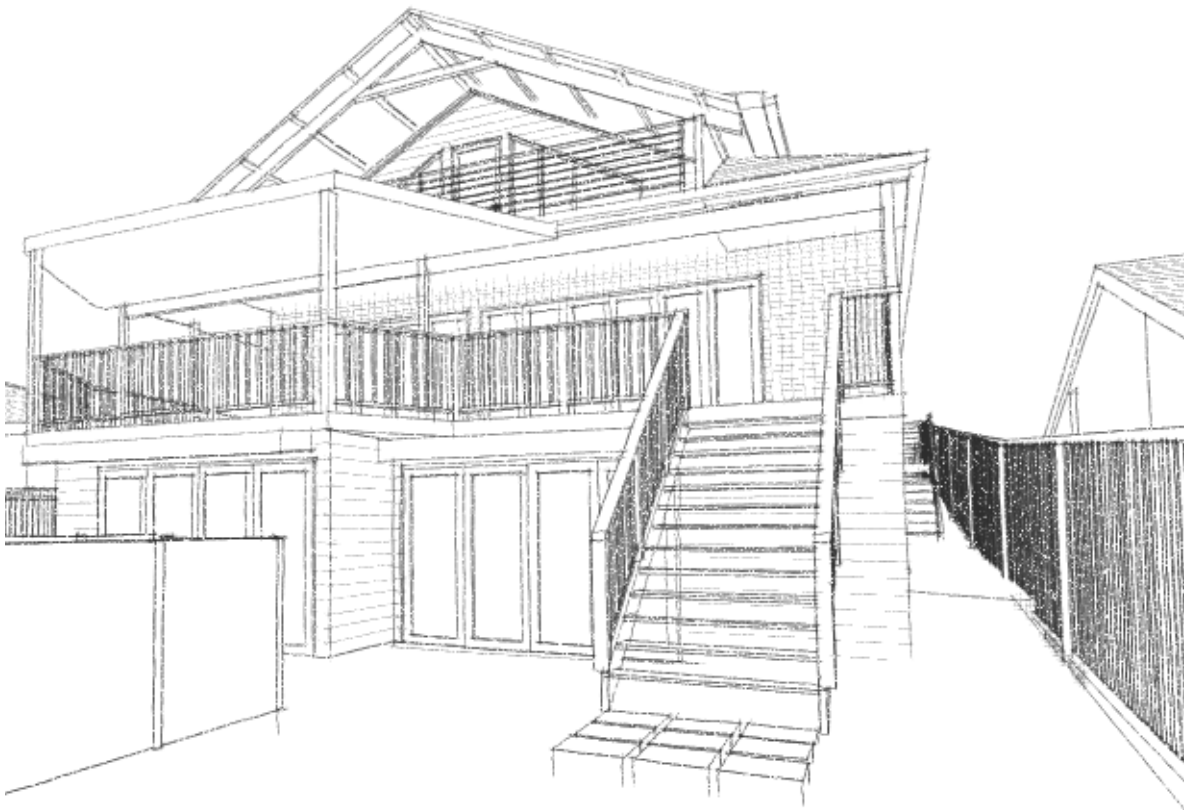
DEVELOPMENT APPLICATION

Jansen Residence

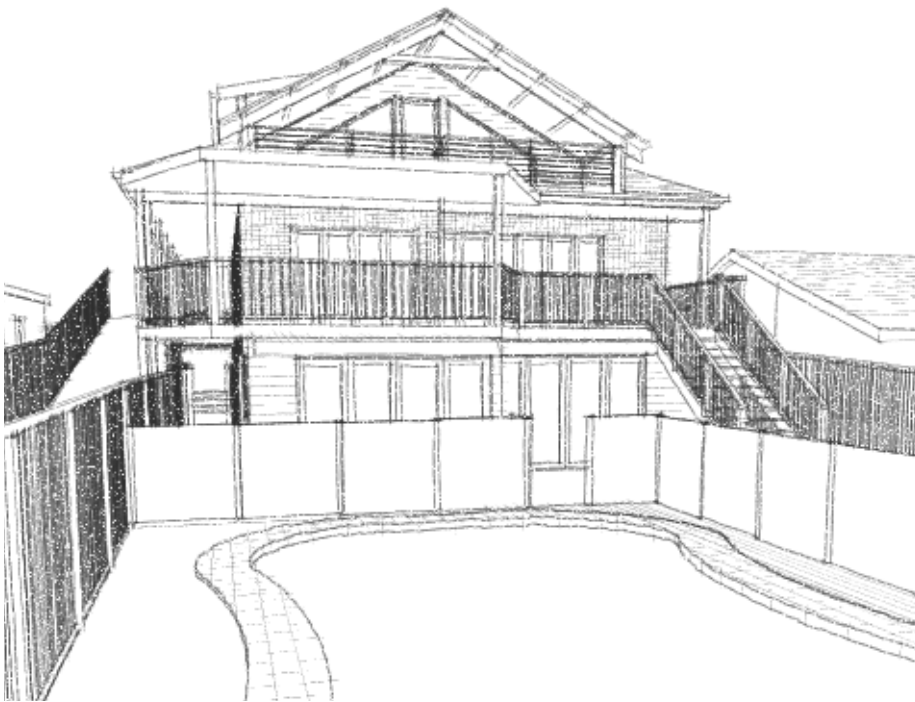
40 Lindley Avenue NARRABEEN NSW 2101

ADDITIONS & ALTERATIONS

DRAWING REGISTER				
NO.	DRAWING	SCALE	REV	DATE
DA-01	COVER SHEET	NTS	A	DEC 2019
DA-02	SITE PLAN	1:200	A	DEC 2019
DA-03	LOWER GROUND PLAN	1:100	A	DEC 2019
DA-04	GROUND FLOOR PLAN	1:100	A	DEC 2019
DA-05	FIRST FLOOR PLAN	1:100	A	DEC 2019
DA-06	ELEVATIONS	1:100	A	DEC 2019
DA-07	ELEVATIONS	1:100	A	DEC 2019
DA-08	SECTIONS	1:100	A	DEC 2019
DA-09	SHADOW DIAGRAM	1:200	A	DEC 2019
DA-10	A4 NOTIFICATION	1:200	A	DEC 2019
DA-11	A4 NOTIFICATION	1:200	A	DEC 2019
DA-12	A4 NOTIFICATION	1:200	A	DEC 2019



VIEW FROM NORTH WEST



VIEW FROM NORTH EAST

NOTES:

THE PROPOSED WORKS HAVE BEEN DESIGNED
SO THAT WHEN CONSTRUCTED THEY COMPLY FULLY
WITH THE BUILDING CODE OF AUSTRALIA (BCA)

ALL CONSTRUCTION TO MEET THE COMMITMENTS
OUTLINED IN BASIX CERTIFICATE No. A366436.

NOTES

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Any discrepancies shall be referred to the architect for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards.

CAD Ref: 40 Lindley DA01.pln
Grant Seghers Design

BRADSTREET BUILDING SERVICES
DESIGN & CONSTRUCTION
27 MYOORA ROAD, TERREY HILLS. NSW 2084
PH: 9450 2527 Fax: 9986 3526
ABN: 49 484 782 577
Building Licence No: 196624C

PROJECT

Jansen Residence
40 Lindley Avenue
NARRABEEN NSW 2101
Lot 8 SECT. D, DP 7090
BRADSTREET DESIGN & CONSTRUCTION
27 Myoora Rd
Terrey Hills NSW 2084
(02) 9450 2527 • 0424 428 602

DRAWING TITLE

COVER SHEET

SCALE

1089

DRAWN BY

GS

PLOT DATE

16/12/19

DRAWING NO.

DA-01

REVISION

A

LEGEND

EXISTING
TO BE DEMOLISHED

PROPOSED NEW
WORK

SEDIMENT CONTROL
SAND FILLED GEOTECH
FABRIC SOCKS

PRIVATE OPEN SPACE

NOTES

EROSION CONTROL TO CONSIST OF STAKED
GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES
TO FULLY SECURE THE CONSTRUCTION SITE
BETWEEN THE EXISTING SIDE BOUNDARY FENCES

"WARNING CONSTRUCTION SITE- DO NOT ENTER"
AND "WASTE MANAGEMENT" SIGNAGE TO BE
FIXED TO SECURITY FENCING

ALL DOWNPIPES AND STORMWATER TO BE
DIRECTED INTO THE EXISTING STORMWATER
NETWORK.

ALL CONSTRUCTION TO MEET THE COMMITMENTS
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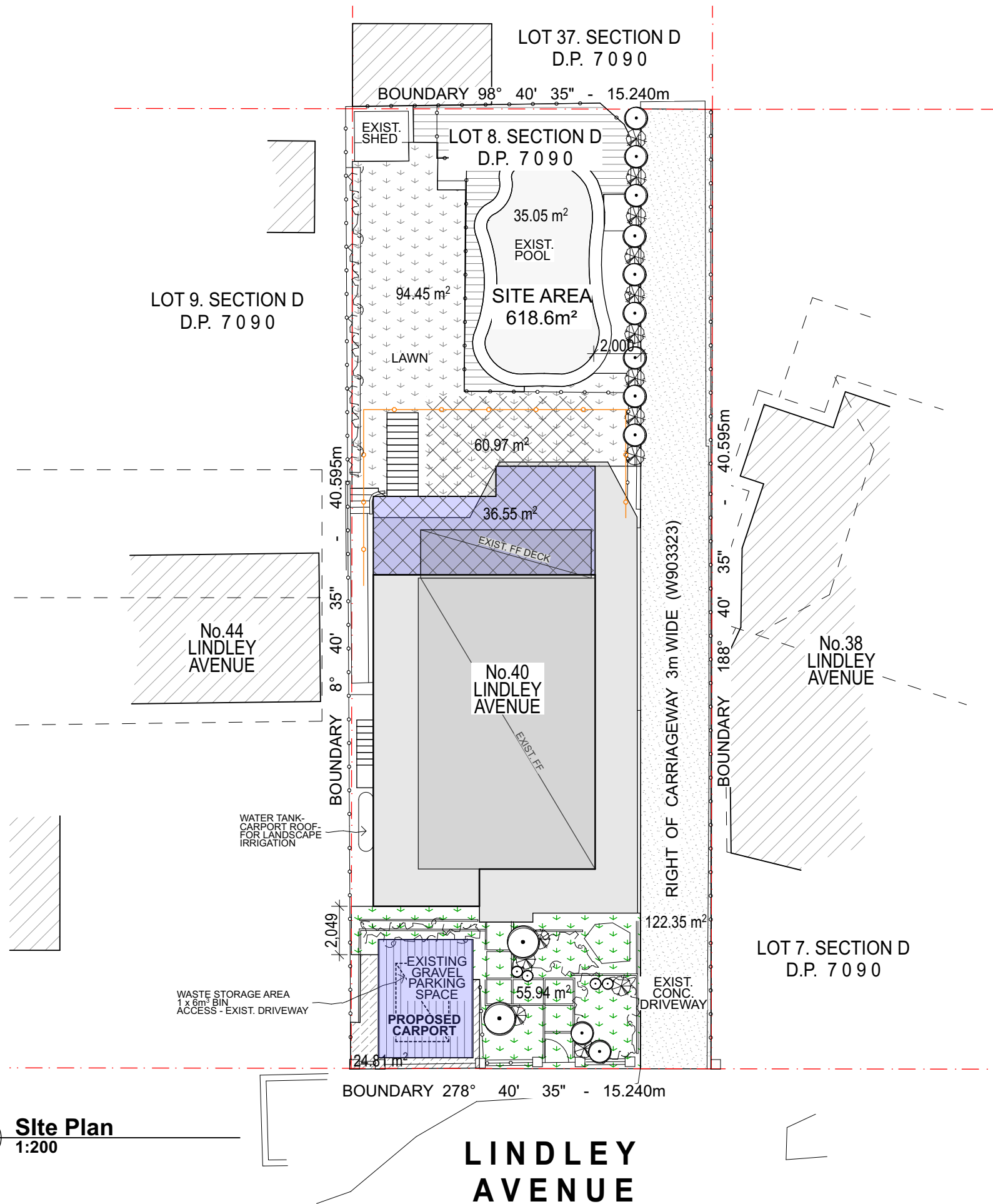
REDUCED LEVELS (RL's) SHOWN ARE TO
AUSTRALIAN HEIGHT DATUM (AHD)

www.dialbeforeyoudig.com.au



DIAL1100
BEFORE YOU DIG

1 Site Plan
1:200



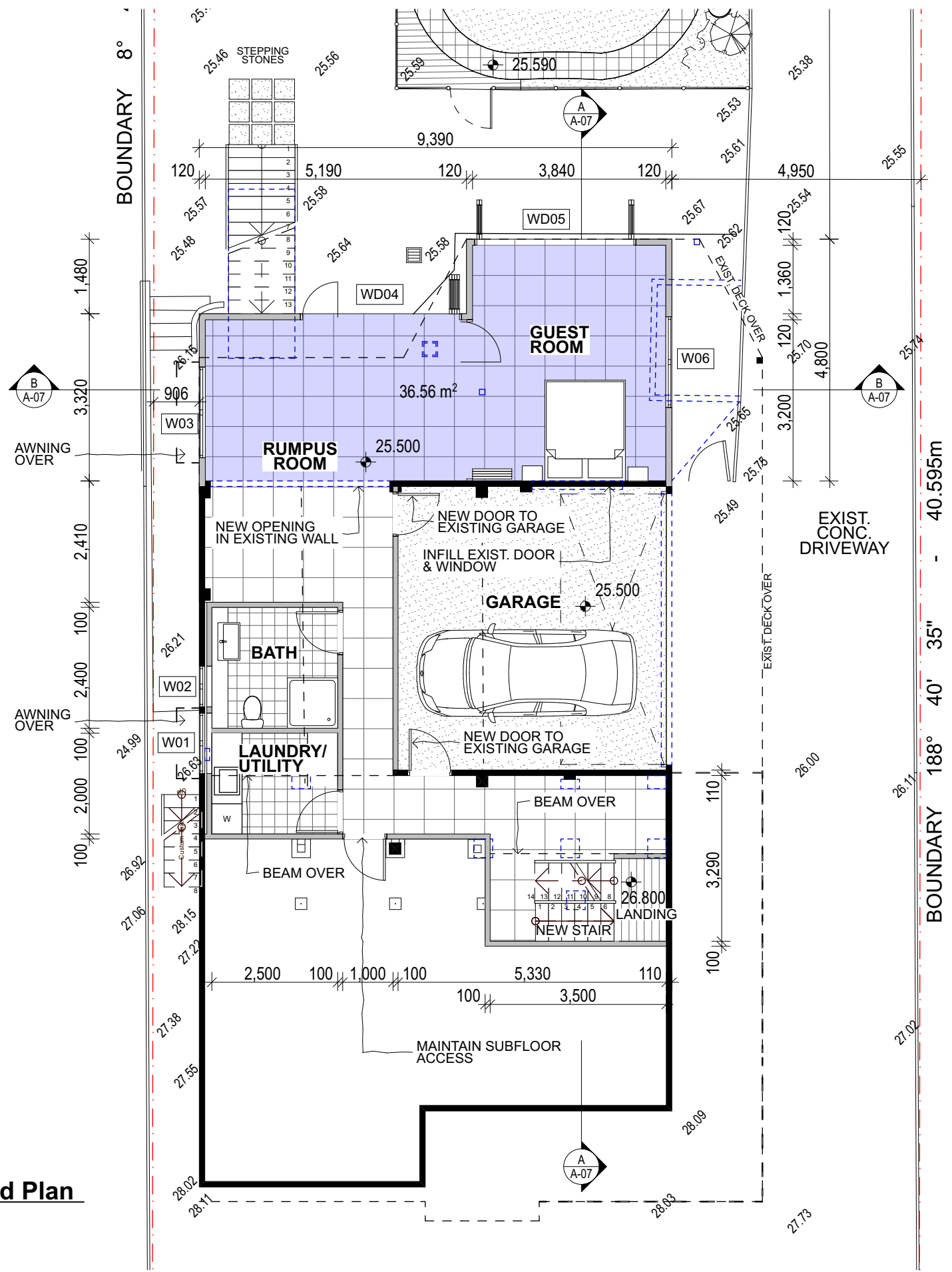
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DRAWING TITLE
**SITE PLAN &
SITE ANALYSIS PLAN**
SCALE
1:200@A3
PROJECT NO.
1089
DRAWN BY
GS
PLOT DATE
16/12/19
REVISION
DA-02
A



LEGEND

PROPOSED NEW FLOOR AREA

W01

WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's

WD01

GLASS DOOR NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's

Ex.W

EXISTING WINDOW

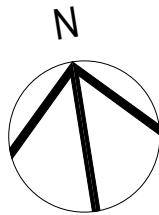
Ex.D

EXISTING DOOR

1

Lower Ground Plan

1:100



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DRAWING TITLE

LOWER GROUND PLAN

SCALE

PROJECT NO.

1089

DRAWN BY

GS

DRAWING NO.

DA-03

PLOT DATE

16/12/19

REVISION

A

LEGEND

PROPOSED NEW WORK

W01

WD01

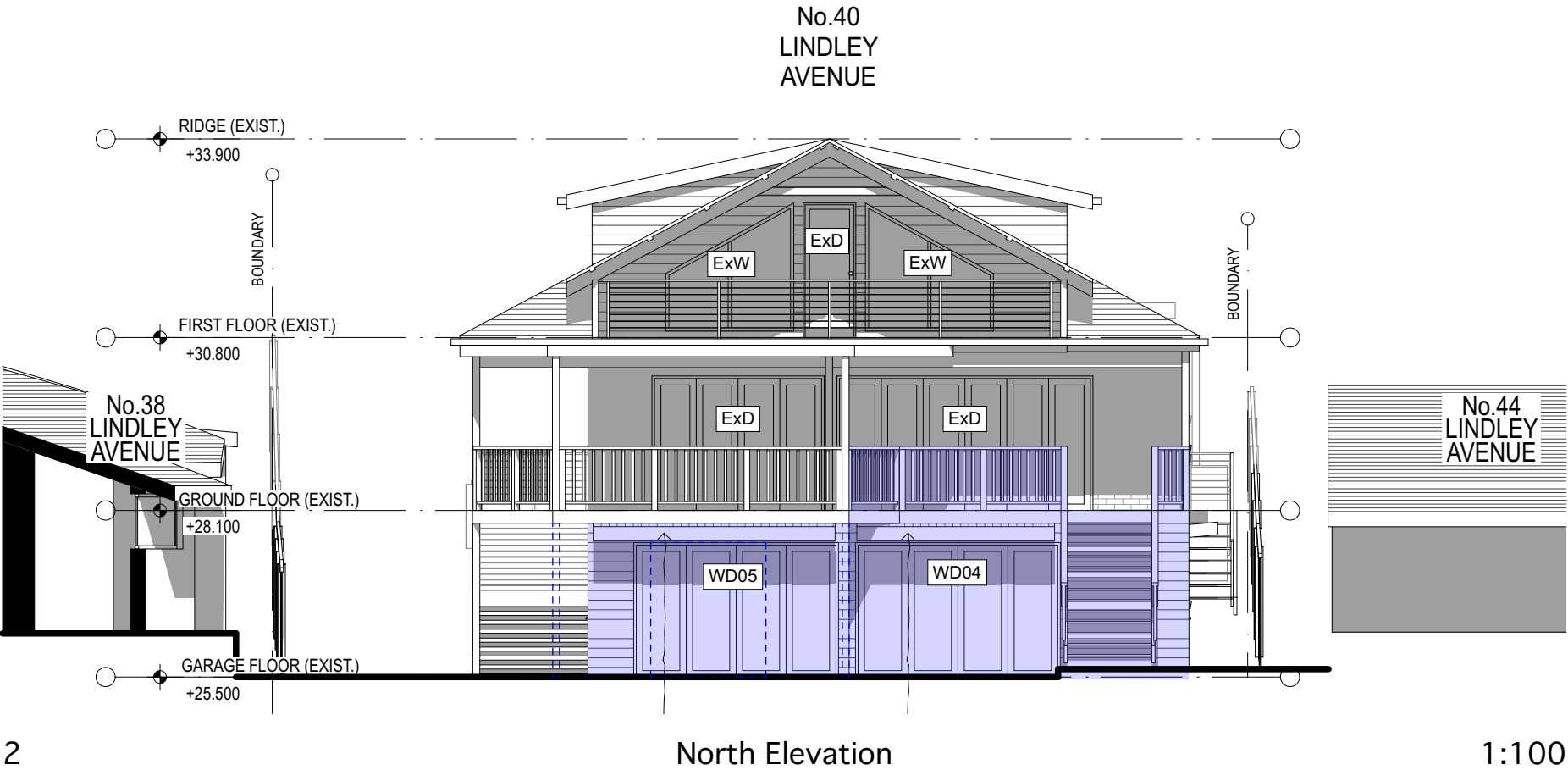
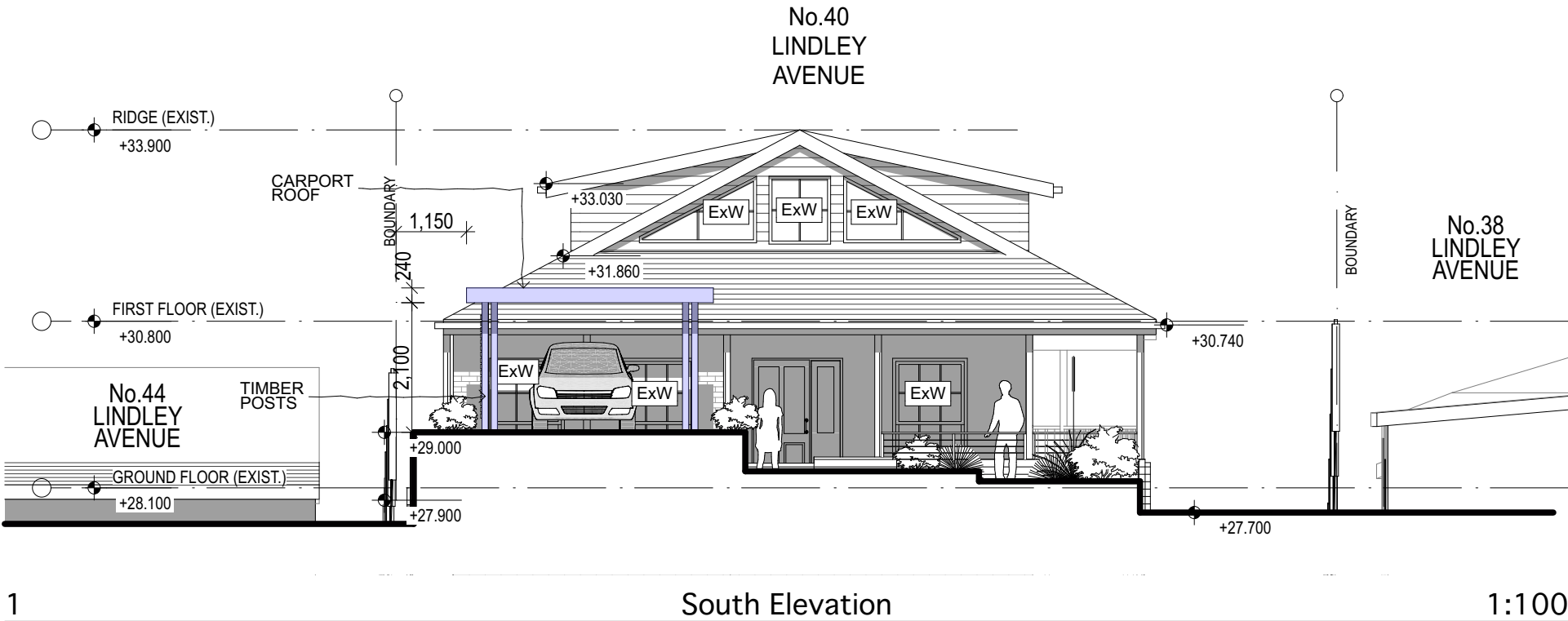
WINDOW & GLASS DOOR NUMBERS SHOWN CORRESPOND TO BASIX WINDOW NUMBERS

Ex.W

EXISTING WINDOW UNALTERED

Ex.D

EXISTING DOOR UNALTERED



NOTES

REV

DATE

AMENDMENT

A

DEC 2019

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DRAWING TITLE

ELEVATIONS

SCALE

1:100@A3

PROJECT NO.

1089

DRAWN BY

GS

PLOT DATE

16/12/19

DRAWING NO.

DA-06

REVISION

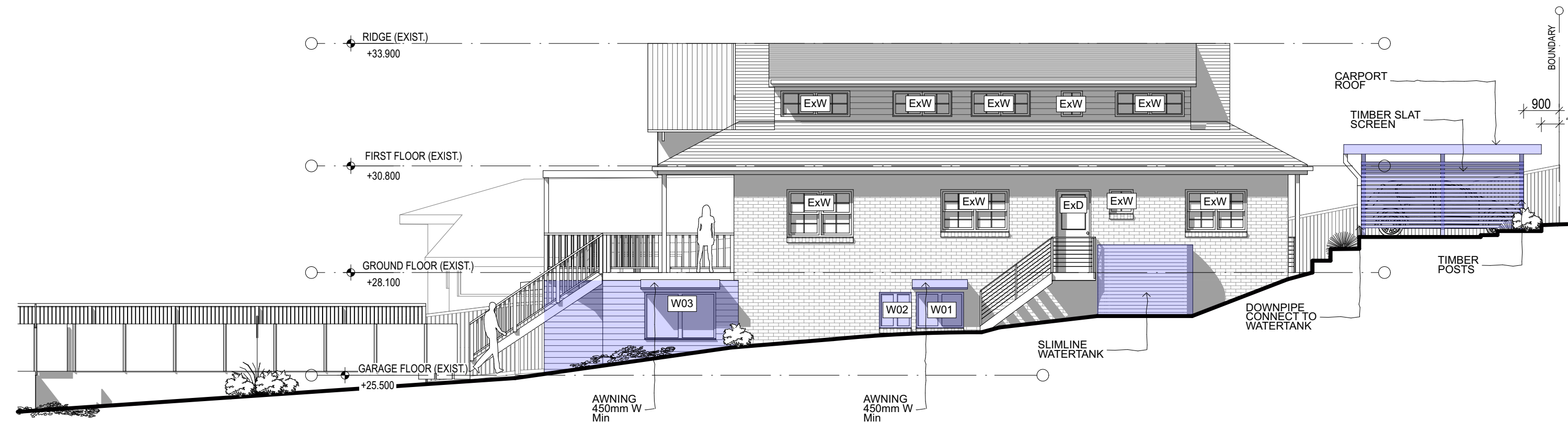
A



1

East Elevation

1:100



2

West Elevation

1:100

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REV DATE AMENDMENT
A DEC 2019 DEVELOPMENT APPLICATION SUBMISSION

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DRAWING TITLE
ELEVATIONS

SCALE
1:100@A3

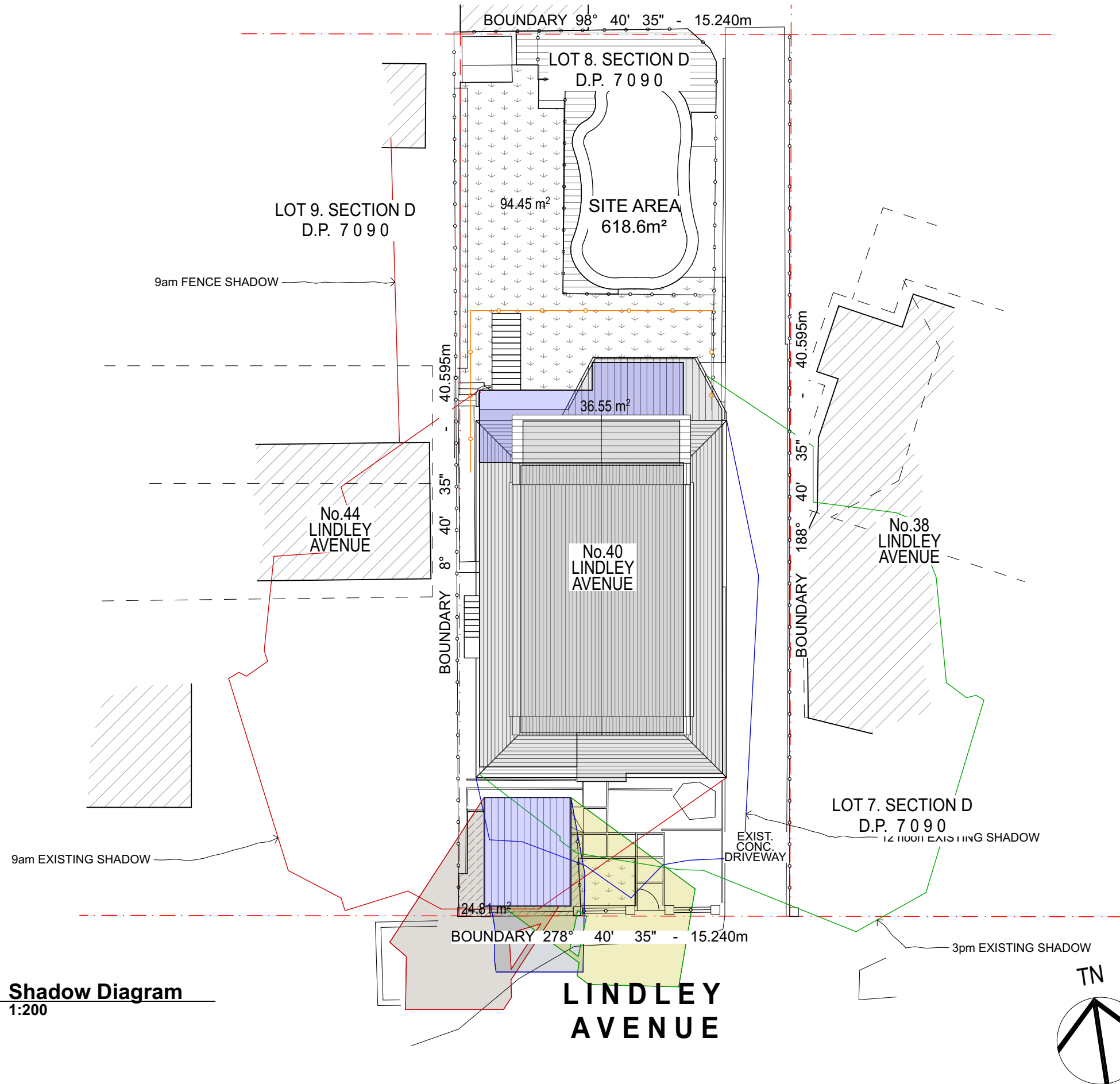
PROJECT NO.
1089

DRAWN BY
GS

PLOT DATE
16/12/19

REVISION
A

DRAWING NO.
DA-07



SHADOWS CAST ON THE WINTER SOLSTICE JUNE 21

- 9 am
- 12 noon
- 3 pm

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DRAWING TITLE
SHADOW DIAGRAM

SCALE	DRAWN BY	PLOT DATE
1:200@A3	GS	16/12/19

PROJECT NO.	DRAWING NO.	REVISION
1089	DA-09	A