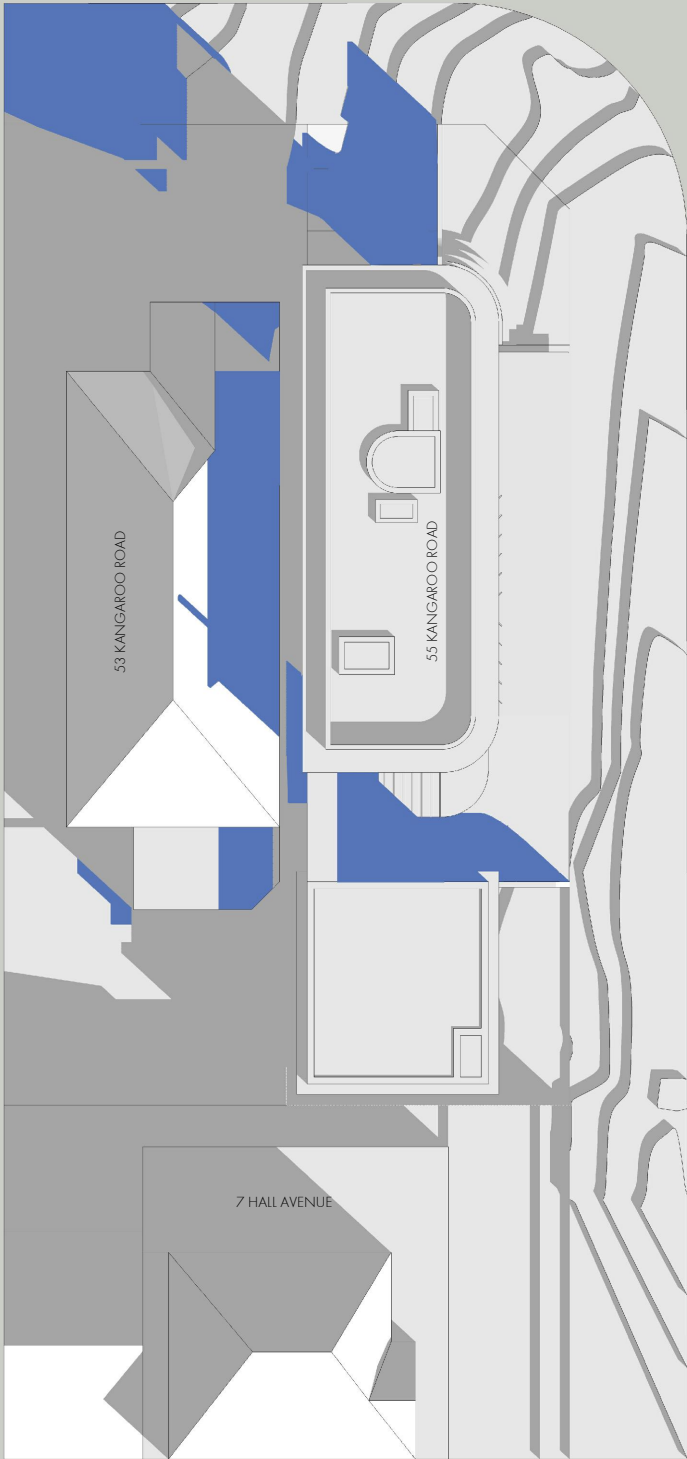


21 JUNE 9AM

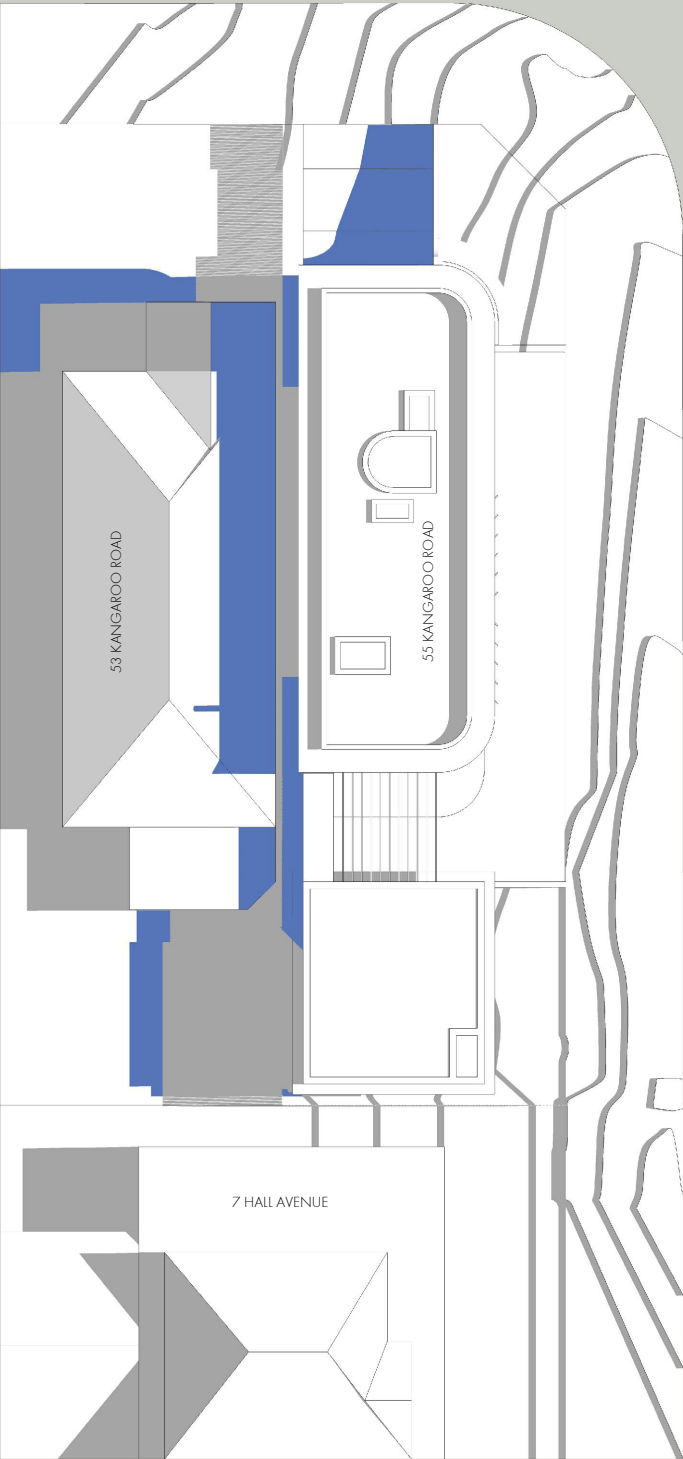
KANGAROO ROAD



HALL AVENUE

21 JUNE 12 NOON

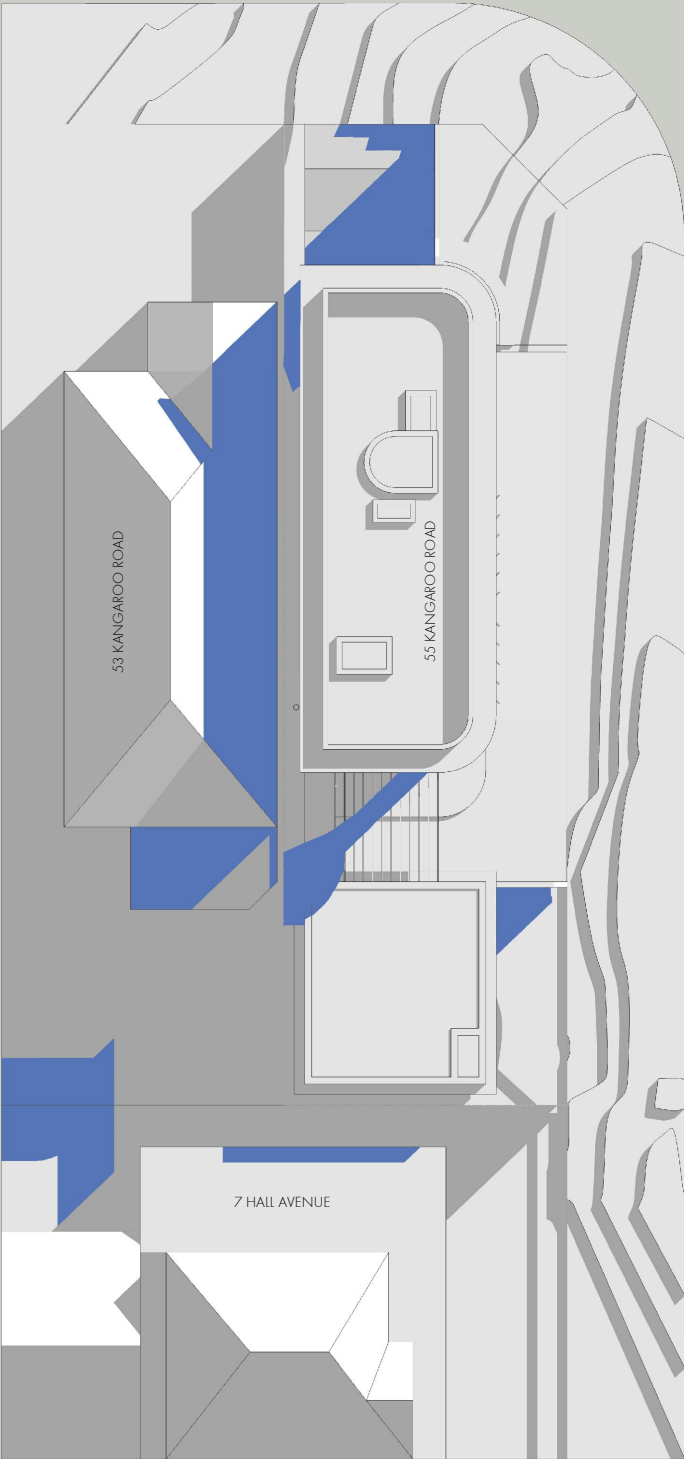
KANGAROO ROAD



HALL AVENUE

21 JUNE 3PM

KANGAROO ROAD



HALL AVENUE

KEY:



AREA OF INCREASED SHADOW
CAUSED BY PROPOSED DESIGN

NOBLE ARCHITECTURE PTY LTD

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ALL DIMENSIONS TO BE CHECKED ON SITE
ANY DISCREPANCIES TO BE RESOLVED WITH NOBLE ARCHITECTURE PTY LTD BEFORE PROCEEDING
SUBJECT TO:
SITE SURVEY AND INVESTIGATION
DEVELOPMENT APPROVAL/ SECTION 95 APPROVAL & CONSTRUCTION CERTIFICATE
STRUCTURAL & SERVICES ENGINEERS DESIGN, DETAIL AND CERTIFICATION
SUBCONTRACTOR SETOUT
COMPLIANCE WITH NCC & AUSTRALIAN STANDARDS

project
Proposed New Dwelling & Granny Flat - Development Application
Lot 49, Section A, DP 11449
55 Kangaroo Road Collaroy Plateau NSW 2097

rev.	date	by	description

project	2021-06
location	55 KANGAROO ROAD, COLLAROY PLATEAU, NSW 2097
client	SUZIE & SHANE SMITH
drawing title	SHADOW DIAGRAMS - WINTER SOLSTICE
scale	NTS
date	SEPTEMBER 2021
drawn by	KB
revision	
checked by	KB


DA-0210
DA