



Warringah Council

Certification of Shadow Diagrams

Address the application to:

- ☒ The General Manager
Warringah Council
Civic Centre, 725 Pittwater Rd
Dee Why NSW 2099

Or

- ☒ Customer Service Centre
Warringah Council
DX 9118
Dee Why

If you need help lodging your application:

- ☒ Phone our Customer Service Centre on (02) 9942 2111 or come in and talk to us

Office Use Only

(Keep this blank)

Feb 2012

PART 1 Declaration

Declaration

I hereby certify that the shadow diagrams submitted with the proposal at

Address

10 IAN AVENUE
NORTH CURL CURL

For the erection of
Description of development

NEW DWELLING + POOL

Have been prepared as follows

- ☒ In accordance with the survey (prepared by a registered surveyor) which is required to be submitted with the application
- ☒ Drawn to true north
- ☒ Indicate shadow cast by the proposal at 9am, noon, 3pm, 21 June
- ☒ Indicate the shadow cast by existing buildings and structures on the site and in the surrounding area and
- ☒ Elevated shadow diagrams are required for all residential housing which will be over shadowed
This is to include extent of windows to be over shadowed and the use of those rooms

PART 2 Certification

Certifier

Mr ☐

Mrs ☐

Ms ☐

Other ☐

Full family name (no initials)
(or company)

RAPID PLANS

Full given names (no initials)
(or A C N)

Phone number

(02) 9905 5000

Alternate ()

Mobile number

()

Facsimile ()

Qualification

Dip Arch, Member BDA

(i.e. Architect Planner Computer Technician Surveyor)

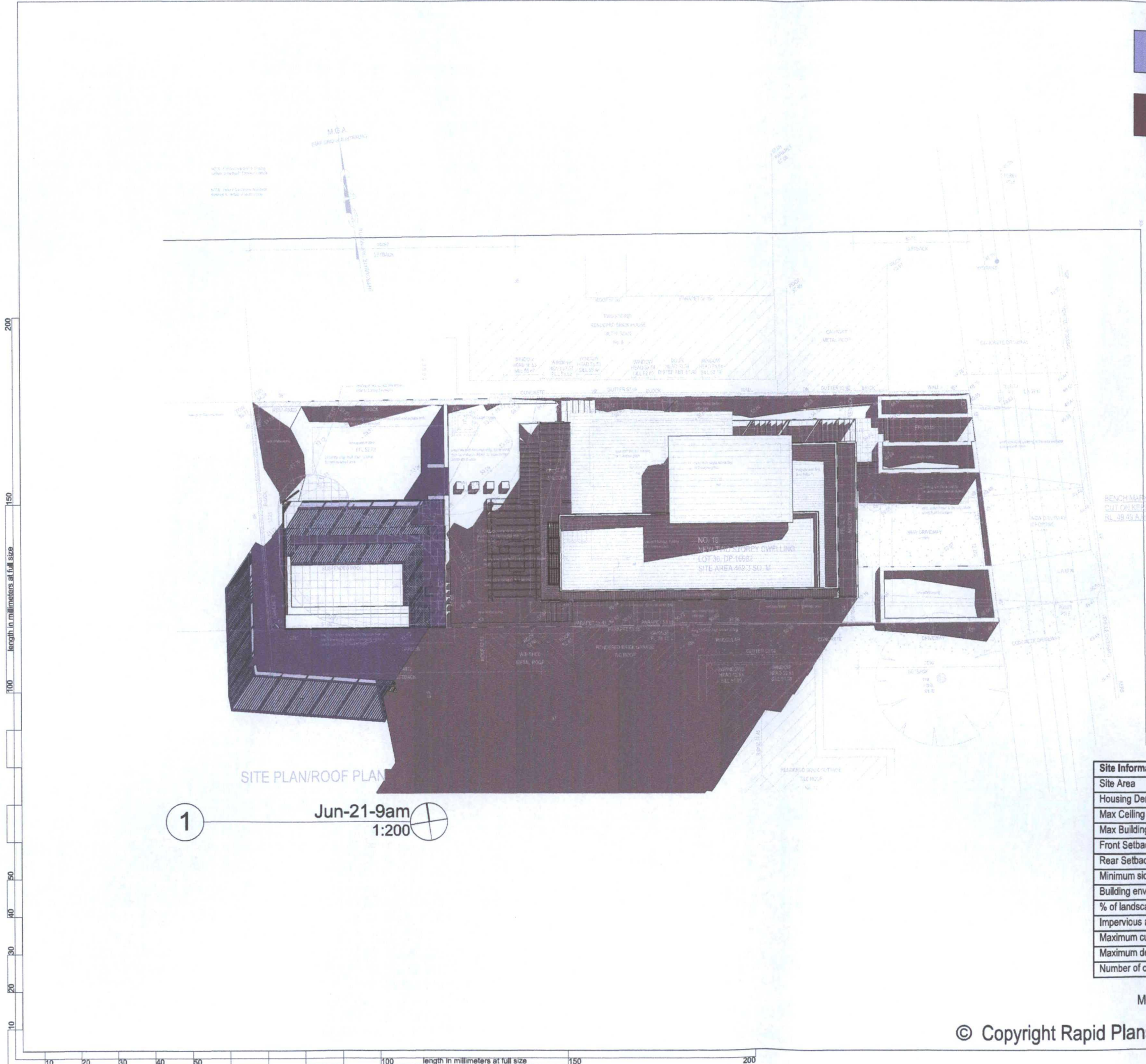
PART 3 Applicant(s) Signature

Signature(s)

Signature(s)

[Handwritten Signature]

Date 24/02/2015



Denotes Proposed Shadow

Denotes Existing Approved Shadow

Rapid Plans
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest DC NSW 2056
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : greg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
10 Ian Avenue, North Curl Curl is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
10 Ian Avenue, North Curl Curl is not considered a heritage item.

Construction
Conc & Timber Floors, Masonry & Cladded Walls.
Roof Sheet Metal to have Insulation as per Basic Insulation to External Walls as per Basic.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3680.1.
Glazing to BCA and AS 1288-2004.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number 554908S_02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North N

DA MOD
Application Only
Not for Construction

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Glen Van Den Hoek
Project Name
Alterations & Additions
10 Ian Avenue, North Curl Curl
2099

Lot 36 D.P.16602
Drawing Title:

Sunstudy - June 21st Shadow - 9am
Jun-21-9am

Scale: A3 as noted Date: 23-02-2015
Status: DA MOD Checked By: GBJ

Project No:
RP1014VAN
Drawing No:
DAMod5001

Site Information	Proposed	Compliance
Site Area	469.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	36%	Yes
Impervious area (m ²)	303.83m ²	Yes
Maximum cut into ground (m)	1000m	Yes
Maximum depth of fill (m)	500m	Yes
Number of car spaces provided	2	Yes

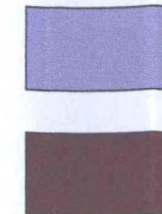
Builder to Check and Confirm all
Measurements Prior to Commencement

length in millimeters at full size



1

Jun-21-12pm
1:200



Denotes Proposed Shadow

Denotes Existing
Approved Shadow



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Mobile: 0414-945-024
Email : qreag@rapidplans.com.au



NOTES
10 lan Avenue North Curt Curl is zoned R2 Low
Density Residential.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
10 lan Avenue North Curt Curl
is not considered a heritage item.

Construction
Conc & Timber Floor, Masonry & Cladded Walls
Roof Sheet Metal to have insulation as per Basic
Insulation to External Walls as per Basic
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3680.1
Glazing to BCA and AS 1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number 5548096_02
All Plans to be read in conjunction with Basic
Certificate
The applicant must construct the new or altered
construction (floor(s), walls, and ceilings/roofs) in
accordance with the specifications listed in
the table below, except that a) additional insulation
is not required where the area of new construction
is less than 2m2, b) insulation specified
is not required for parts of altered construction
where insulation already exists.
The applicant must install the windows, glazed
doors and shading devices, in accordance with
the specifications listed in the table below.
Relevant overshadowing specifications must be
satisfied for each window and glazed door.
For projections described in millimetres, the
leading edge of each eave, pergola, verandah,
balcony or awning must be no more than 500 mm
above the head of the window or glazed door and
no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of
the height and distance from the centre and the
base of the window and glazed door.

Project North N

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dimensions and verify all errors and omissions to the
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Client
Glen Van Den Hoek
Project Name
Alterations & Additions
10 lan Avenue, North Curt Curl
2099

Lot 36 D.P.16602

Drawing Title:

Sunstudy - June 21st Shadow - 12pm

Jun-21-12pm

Scale: A3 as noted Date: 23-02-2015

Status: DA MOD Checked By: GBJ

Project No: Drawing No:

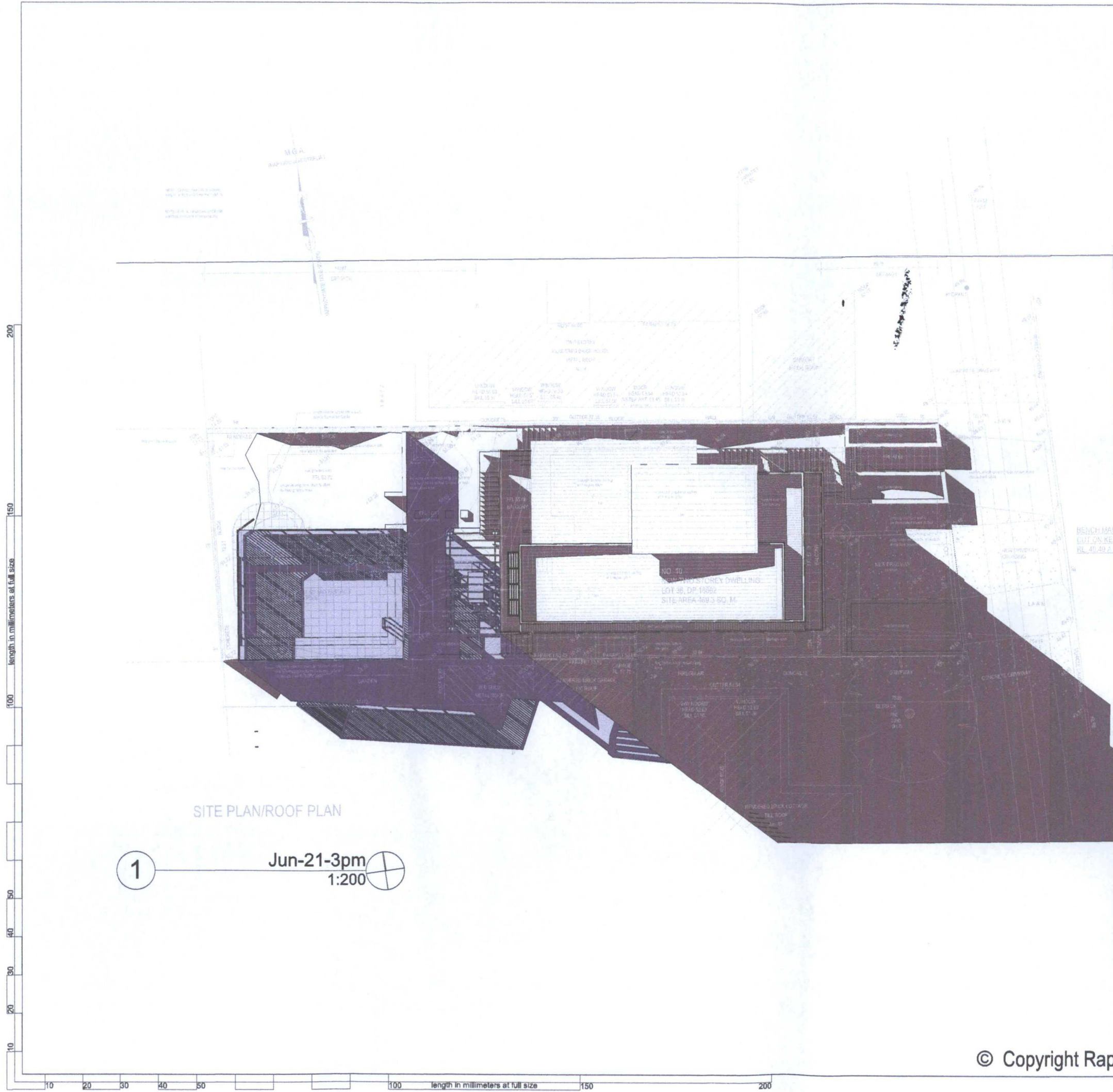
RP1014VAN DAMod5002

Site Information	Proposed	Compliance
Site Area	469.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	36%	Yes
Impervious area (m2)	303.83m2	Yes
Maximum cut into ground (m)	1000m	Yes
Maximum depth of fill (m)	500m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to Commencement

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Denotes Existing Approved Shadow

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bda BUILDING DESIGNERS AUSTRALIA NSW

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Refer to Engineers drawings for structural details.
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Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3680.1.
Glazing to BCA and AS01288-2004.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number 554809S_02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Project North N

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Client
Glen Van Den Hoek
Project Name
Alterations & Additions
10 Ian Avenue, North Curl Curl
2089

Lot 36 D.P.16602

Drawing Title:
Sunstudy - June 21st Shadow - 3pm

Jun-21-3pm

Scale: A3 as noted Date: 23-02-2015

Status: DA MOD Checked By: GBJ

Project No: Drawing No:
RP1014VAN DAMod5003

Site Information	Proposed	Compliance
Site Area	469.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	36%	Yes
Impervious area (m ²)	303.83m ²	Yes
Maximum cut into ground (m)	1000m	Yes
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Number of car spaces provided	2	Yes

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Measurements Prior to Commencement