



ACTION PLANS

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DEVELOPEMENT APPLICATION

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	8/03/2019
DA01	SITE ANALYSIS	8/03/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	8/03/2019
DA03	EXISTING LOWER GROUND FLOOR PLAN	8/03/2019
DA04	PROPOSED LOWER GROUND FLOOR PLAN	8/03/2019
DA05	EXISTING GROUND FLOOR PLAN	8/03/2019
DA06	PROPOSED GROUND FLOOR PLAN	8/03/2019
DA07	EXISTING FIRST FLOOR PLAN	8/03/2019
DA08	PROPOSED FIRST FLOOR PLAN	8/03/2019
DA09	NORTH / WEST ELEVATION	8/03/2019
DA10	SOUTH / EAST ELEVATION	8/03/2019
DA11	LONG / CROSS SECTION	8/03/2019
DA12	AREA CALCULATIONS	8/03/2019
DA13	SAMPLE BOARD	8/03/2019
DA14	WINTER SOLSTICE 9 AM	8/03/2019
DA15	WINTER SOLSTICE 12 PM	8/03/2019
DA16	WINTER SOLSTICE 3 PM	8/03/2019
DA17	BASIX	8/03/2019

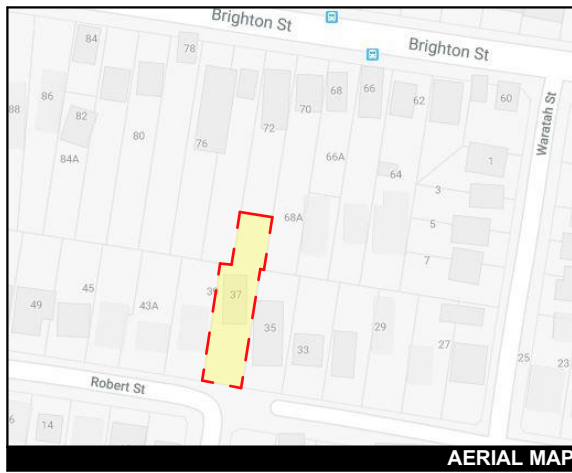
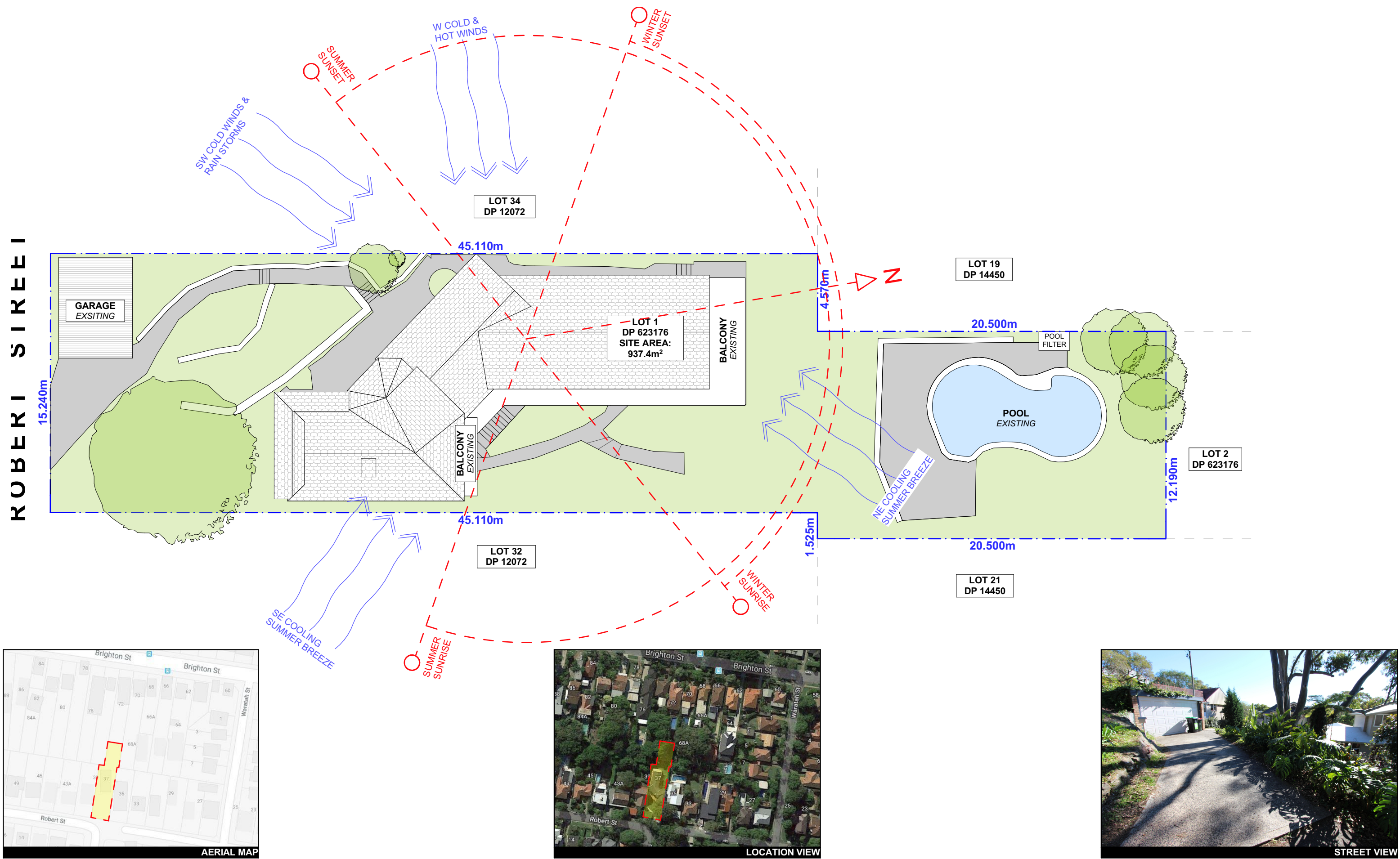
ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	39 ROBERT STREET, FRESHWATER, NSW 2096			
LOT & DP/SP	LOT 1 DP 623176			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
SITE AREA	937.4m ²			
FRONTAGE	15.240m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	450m ²	937.4m ²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	8.5m	UNCHANGED	YES
HAZARDS				
ACID SULFATE SOILS	NOT IDENTIFIED	N/A	N/A	N/A
FLOOD PLANNING	NOT IDENTIFIED	N/A	N/A	N/A
DEVELOPMENT ON SLOPING LAND	LANDSLIP AREA A & B	N/A	N/A	N/A
COASTAL HAZARDS	NOT IDENTIFIED	N/A	N/A	N/A
HIGH/MED/LOW FLOOD RISK PRECINCT	NOT IDENTIFIED	N/A	N/A	N/A
NATIVE VEGETATION	NOT IDENTIFIED	N/A	N/A	N/A
WILDLIFE CORRIDORS	NOT IDENTIFIED	N/A	N/A	N/A
WATERWAYS AND RIPARIAN LAND	NOT IDENTIFIED	N/A	N/A	N/A
THREATEND HIGH CONSERVATION HABITAT	NOT IDENTIFIED	N/A	N/A	N/A
LAND ADJOINING PUBLIC OPEN SPACE	NOT IDENTIFIED	N/A	N/A	N/A
DCP				
WALL HEIGHT	7.2m	7.2m	UNCHANGED	YES
NUMBER OF STOREYS	N/A	3	UNCHANGED	YES
SIDE BOUNDARY SETBACKS	0.9m	E: 0.98m W: 0.0m	E: UNCHANGED W: UNCHANGED	NO
FRONT BOUNDARY SETBACK	6.5m	0.26m	UNCHANGED	NO
REAR BOUNDARY SETBACK	6.0m	24.695m	24.695m	YES
LANDSCAPE OPEN SPACE	40% (374.96m ²)	484.06m ²	415.19m ²	YES
PRIVATE OPEN SPACE	60m ²	218.77m ²	UNCHANGED	YES

39 ROBERT STREET, FRESHWATER 2096

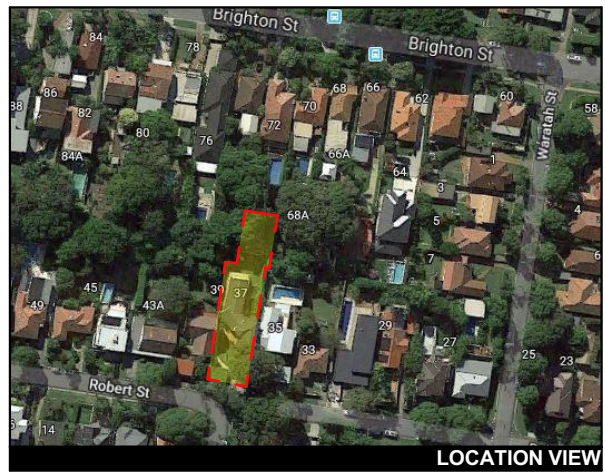


NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS: METHOD OF EXCAVATIONAND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991



AERIAL MAP



LOCATION VIEW



STREET VIEW



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A	19/07/2018	INITIAL DESIGN PLAN	DLR
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D	24/10/2018	DRAFT DA SET	DLR
E	06/03/2019	DA SET	WE

NOTES

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All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.

Do no scale on drawings. Use figured dimensions.

LEGEND

-  HARD SURFACE
-  LANDSCAPE

CLIENT

CRAIG & NICOLE POOLE

PROJECT ADDRESS

39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.

DA01

DATE

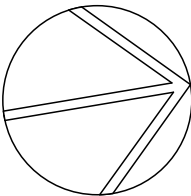
Friday, 8 March 2019

DRAWING NAME

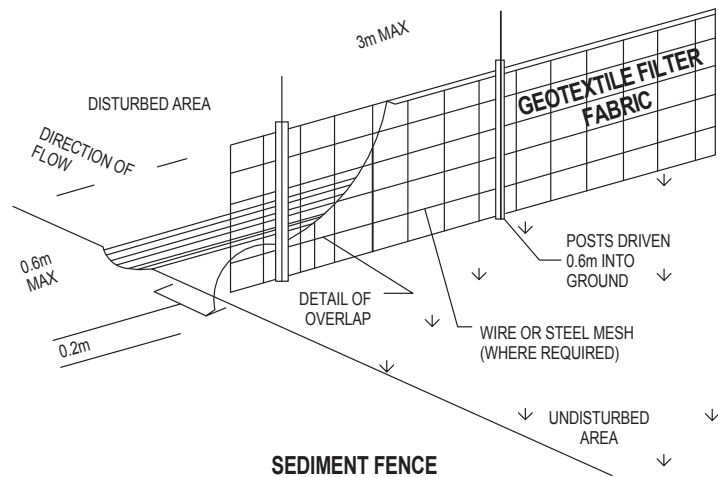
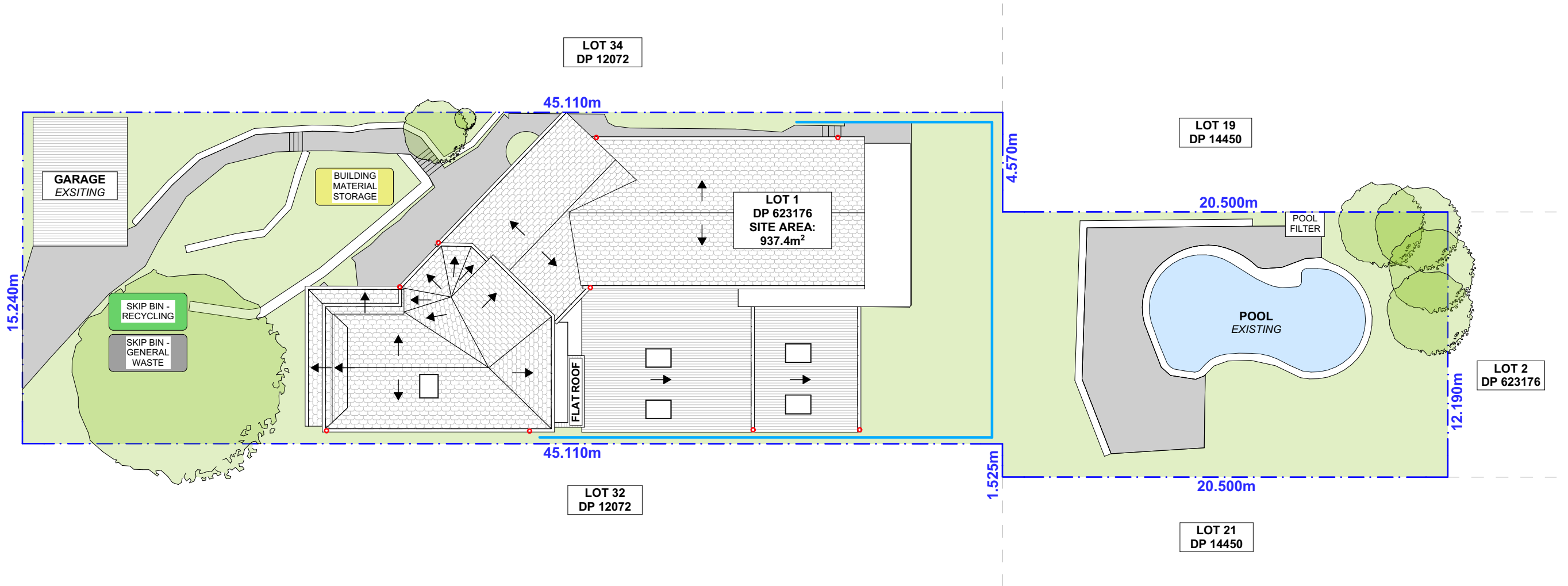
SITE ANALYSIS

SCALE

1:200 @A3



ROBERT STREET



SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :

ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.

ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.

IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



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LEGEND

- HARD SURFACE
- LANDSCAPE
- FALL
- SEDIMENT EROSION FENCE
- PROPOSED DOWNPIPE

CLIENT

CRAIG & NICOLE POOLE

PROJECT ADDRESS

39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.

DA02

DATE

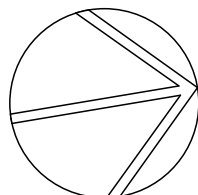
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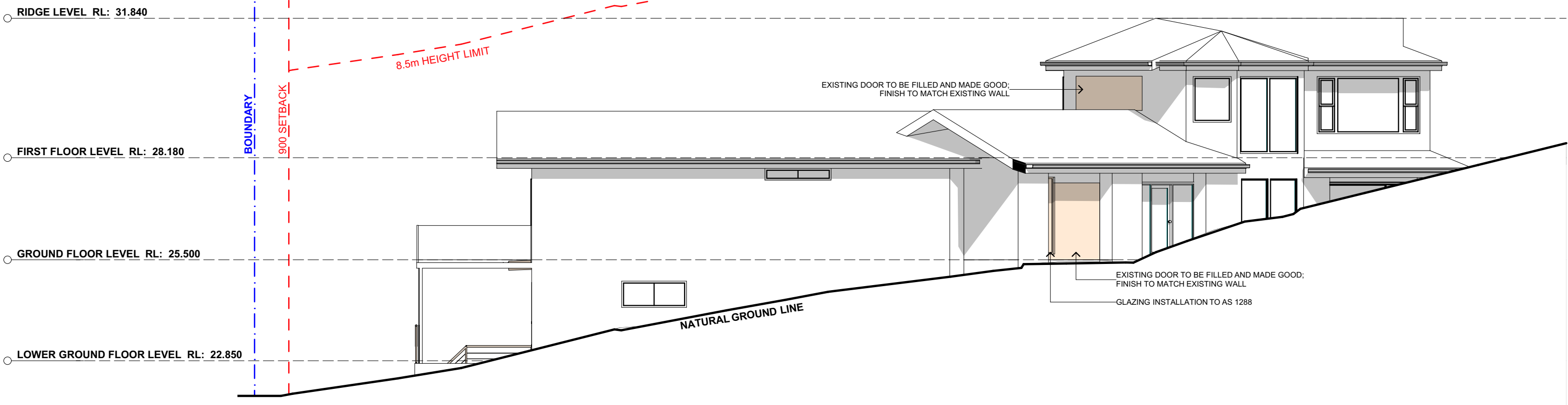
DRAWING NAME

SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

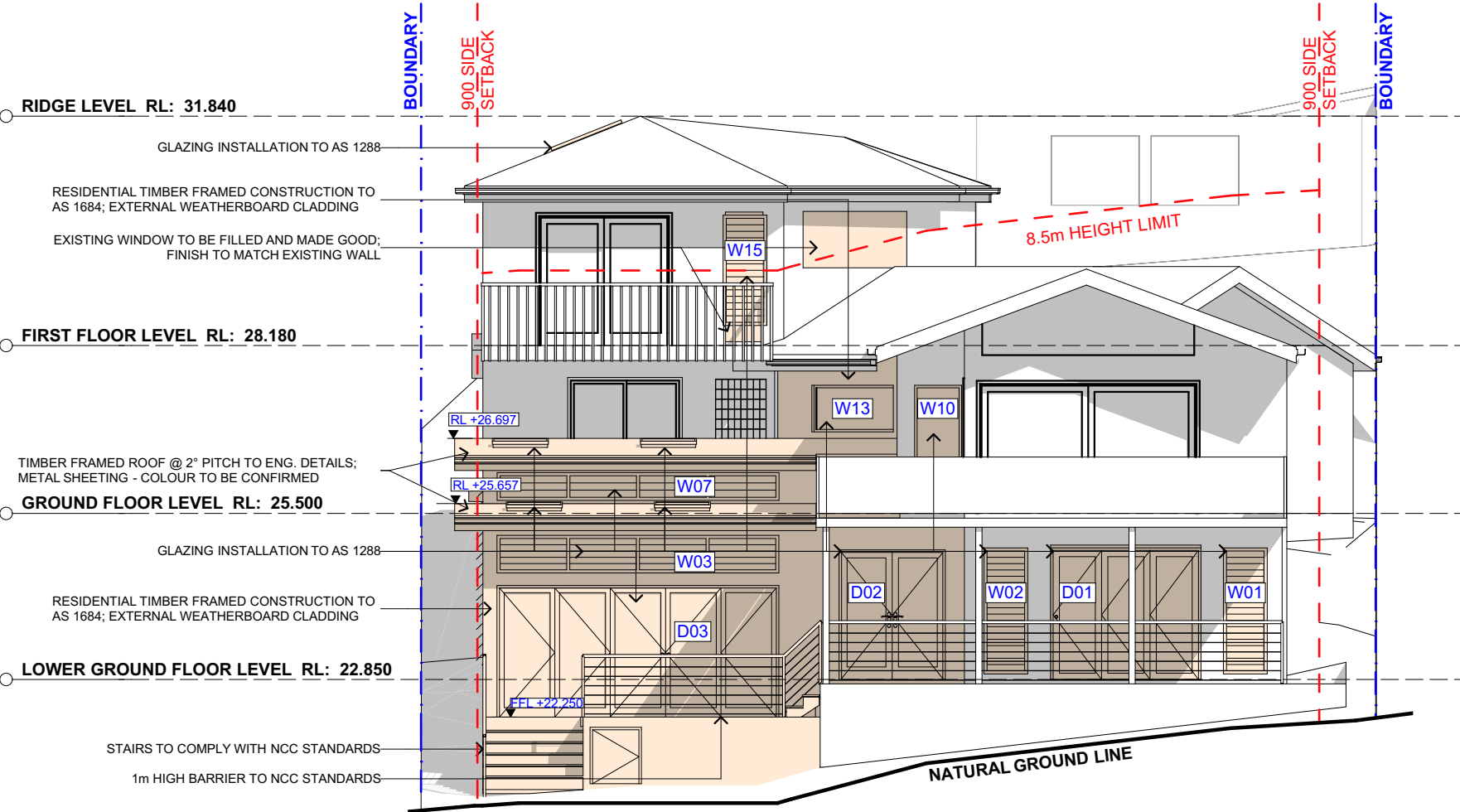
SCALE

1:200 @A3

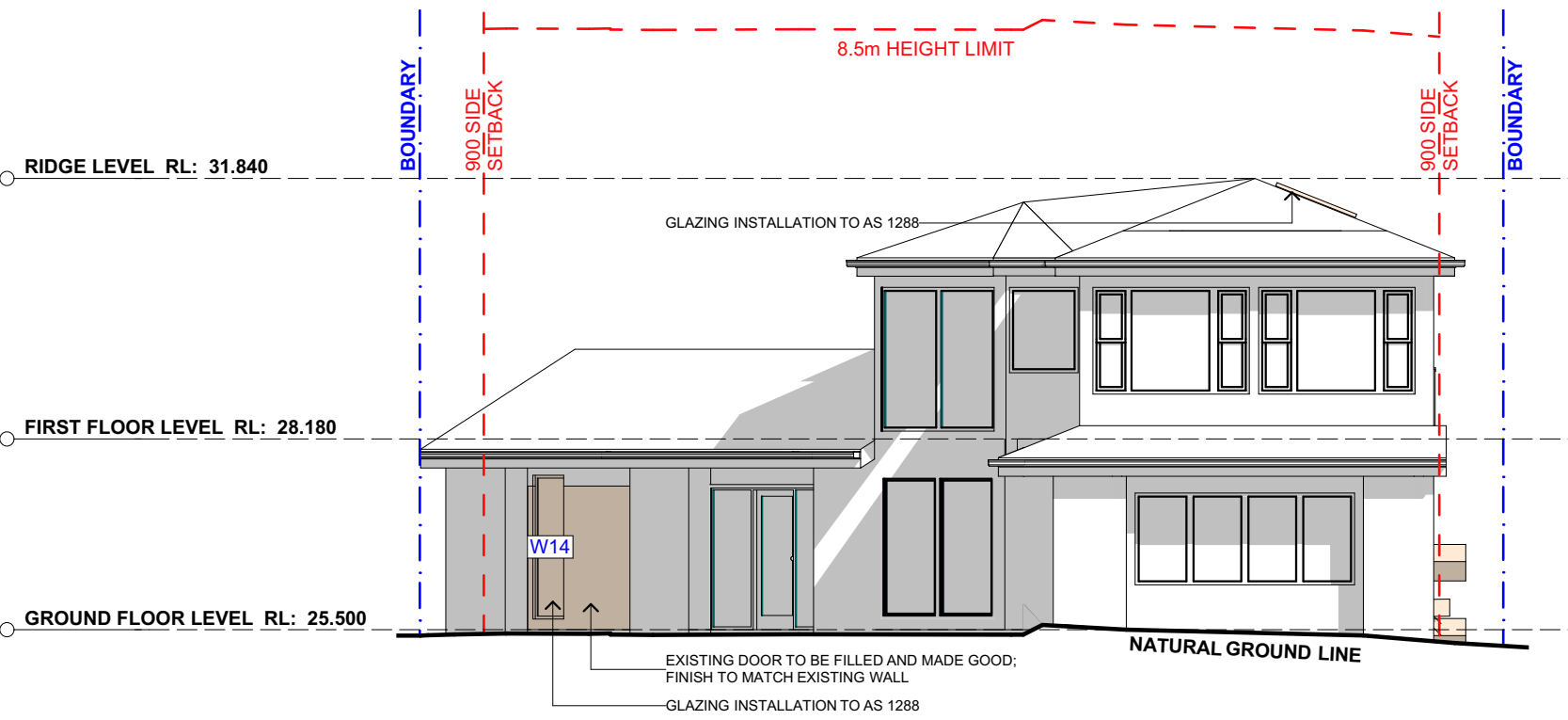
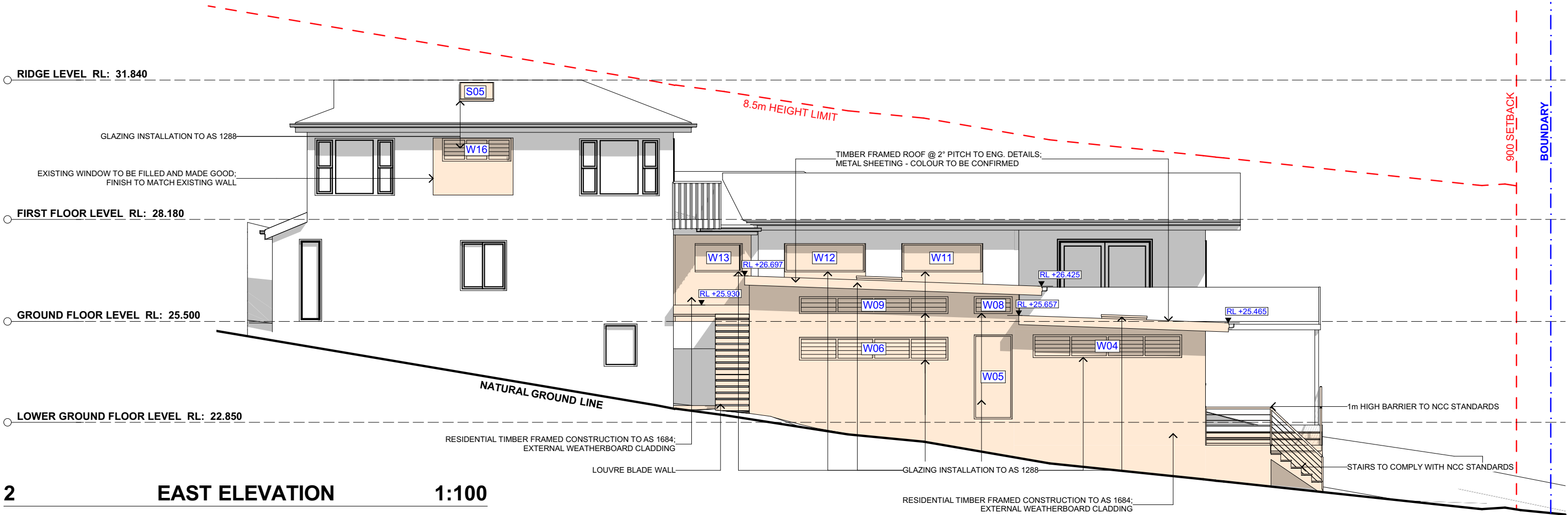




2 WEST ELEVATION 1:100



1 NORTH ELEVATION 1:100



1 SOUTH ELEVATION 1:100



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LEGEND

EXISTING
PROPOSED

CLIENT
CRAIG & NICOLE POOLE

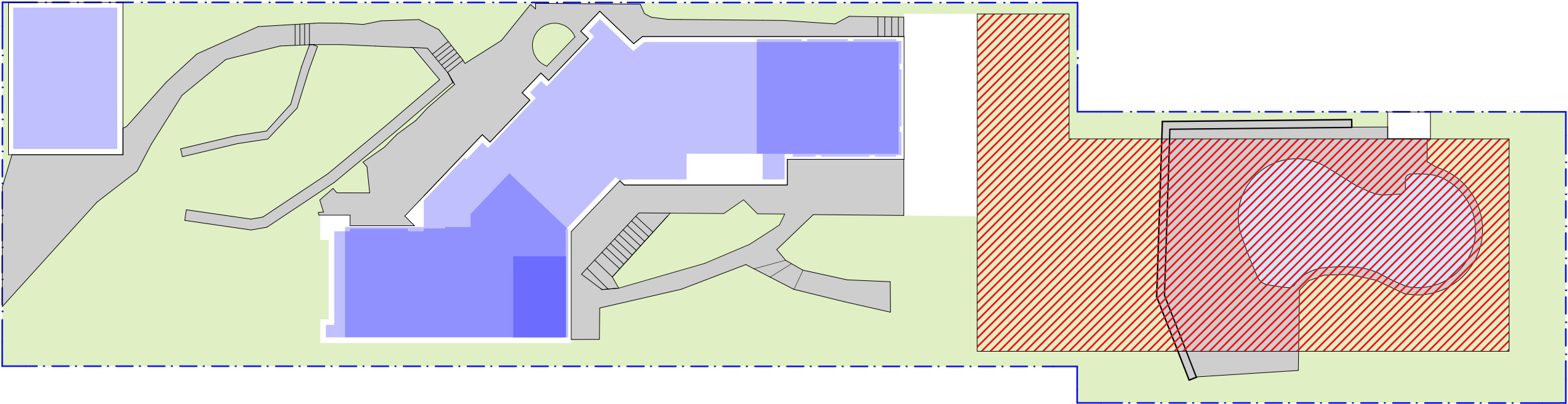
PROJECT ADDRESS
39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.
DA10

DATE
Friday, 8 March 2019

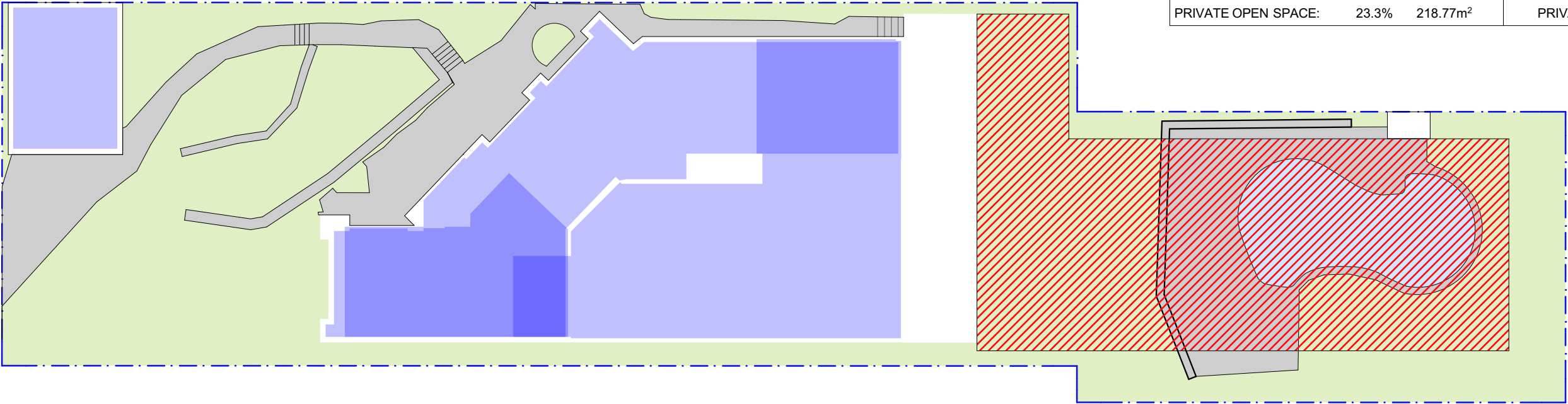
DRAWING NAME
SOUTH / EAST ELEVATION

SCALE
1:100 @A3

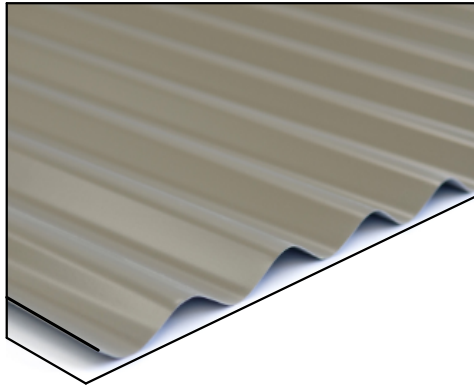


1 EXISTING AREA CALCULATIONS 1:200

AREA CALCULATIONS					
SITE AREA: 937.4m ²					
EXISTING			PROPOSED		
FSR:	26.9%	252.86m ²	FSR:	37%	347.64m ²
LANDSCAPE:	51.6%	484.06m ²	LANDSCAPE:	44.2%	415.19m ²
PRIVATE OPEN SPACE:	23.3%	218.77m ²	PRIVATE OPEN SPACE:	23.3%	218.77m ²



2 PROPOSED AREA CALCULATIONS 1:200



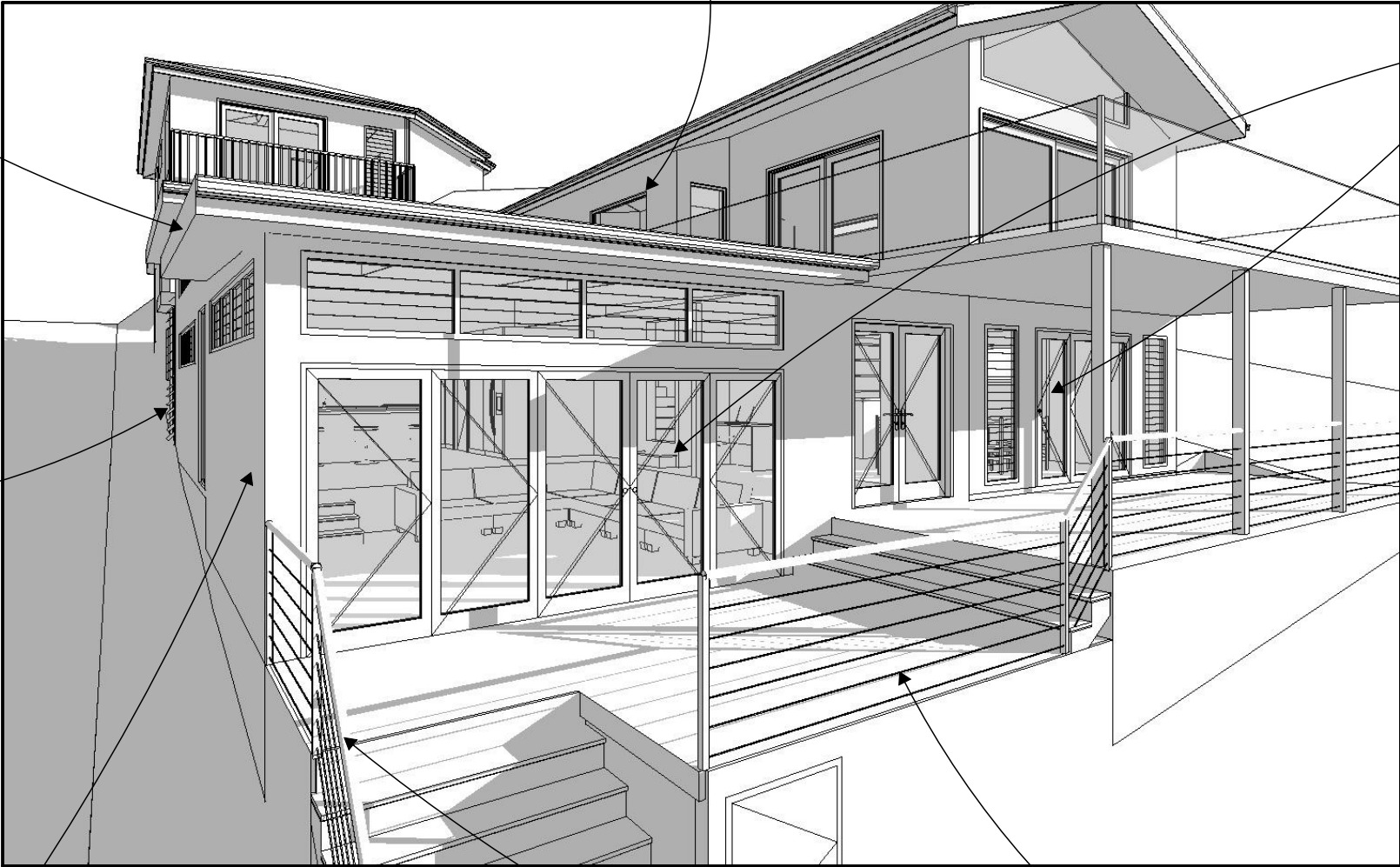
METAL SHEET ROOFING; COLOUR TO BE
CONFIRMED BY CLIENT



ALUMINIUM FRAMED WINDOWS
BY STEGBAR



ALUMINIUM FRAMED DOORS
BY STEGBAR



LOUVRE BLADE WALL



EXTERNAL WEATHERBOARD CLADDING;
COLOUR TO BE CONFIRMED BY CLIENT



STAINLESS STEEL HAND RAIL



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LEGEND

CLIENT

CRAIG & NICOLE POOLE

PROJECT ADDRESS

39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.

DA13

DATE

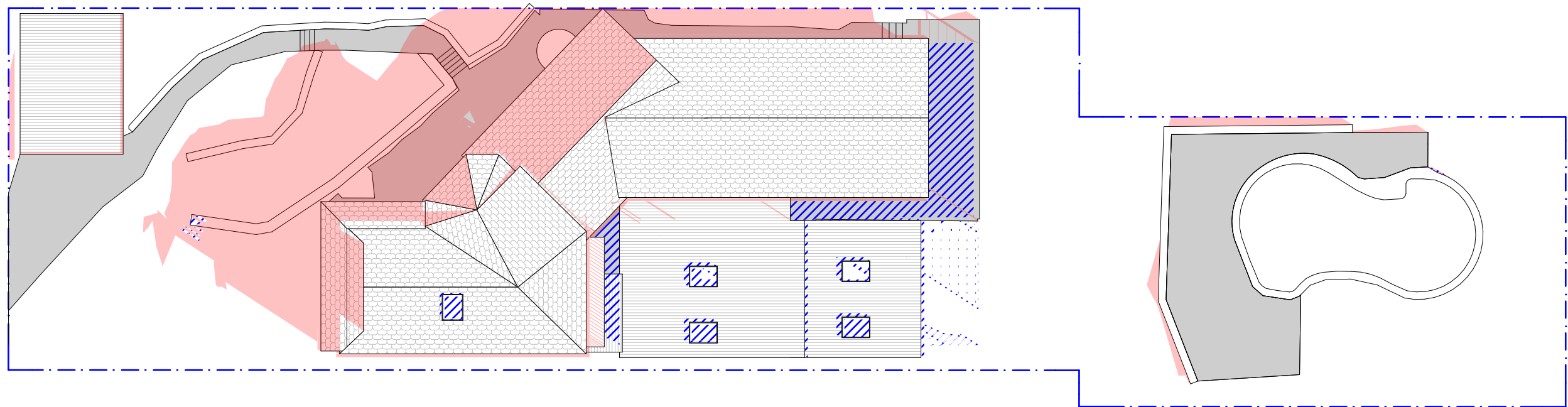
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DRAWING NAME

SAMPLE BOARD

SCALE

@A3



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LEGEND

-  EXISTING SHADOWS
-  PROPOSED SHADOWS

CLIENT

CRAIG & NICOLE
POOLE

PROJECT ADDRESS

39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.

DA14

DATE

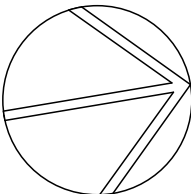
Friday, 8 March 2019

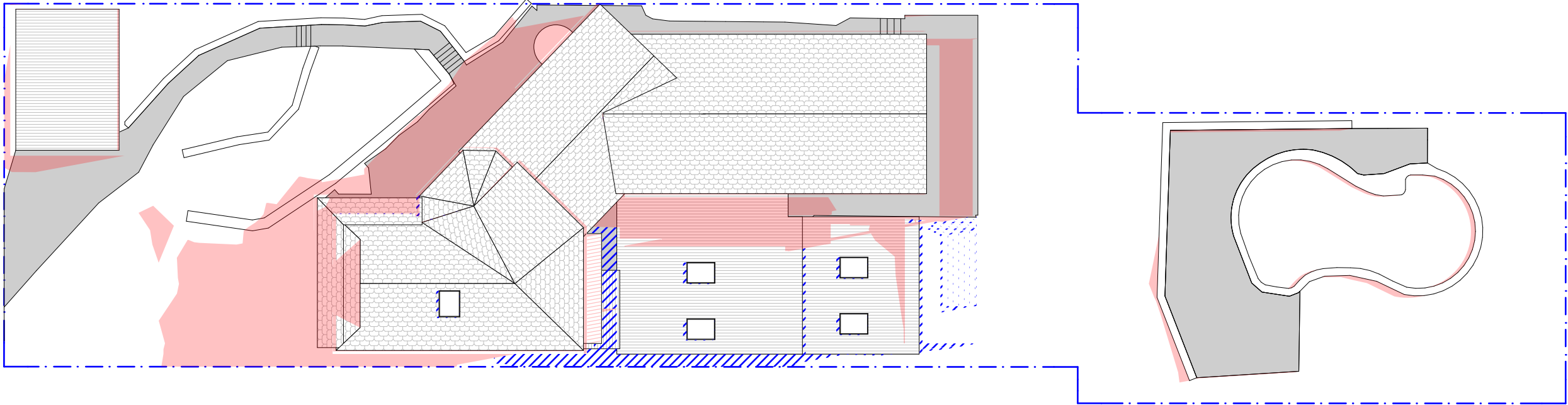
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WINTER SOLSTICE 9 AM

SCALE

1:200 @A3





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LEGEND

-  EXISTING SHADOWS
-  PROPOSED SHADOWS

CLIENT

CRAIG & NICOLE
POOLE

PROJECT ADDRESS

39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.

DA15

DATE

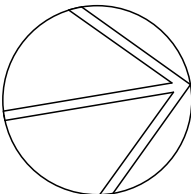
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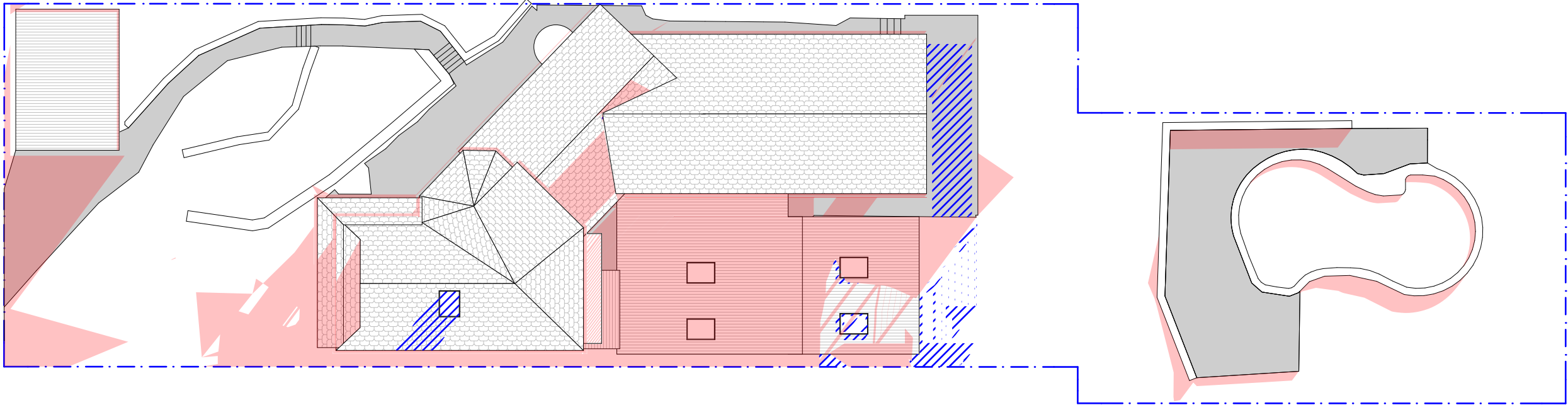
DRAWING NAME

WINTER SOLSTICE 12 PM

SCALE

1:200 @A3





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LEGEND

-  EXISTING SHADOWS
-  PROPOSED SHADOWS

CLIENT

CRAIG & NICOLE
POOLE

PROJECT ADDRESS

39 ROBERT STREET,
FRESHWATER 2096

DRAWING NO.

DA16

DATE

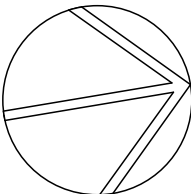
Friday, 8 March 2019

DRAWING NAME

WINTER SOLSTICE 3 PM

SCALE

1:200 @A3



Alterations and Additions

Certificate number: A331734_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 05, March 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	0400_39 Robert St, Freshwater_02
Street address	39 Robert Street Freshwater 2096
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 623176
Lot number	1
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R2.26 (up), roof: foil/sarking	light (solar absorptance < 0.475)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

 ACTION PLANS m: 0426 957 518 e:operations@actionplans.com.au w: www.actionplans.com.au	REV.	DATE	COMMENTS	DRWN	NOTES
	A	19/07/2018	INITIAL DESIGN PLAN	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components. Do no scale on drawings. Use figured dimensions.
	B	21/08/2018	FIRST DESIGN AMENDMENT	DLR	
	C	17/09/2018	SECOND DESIGN AMENDMENT	DLR	
	D	24/10/2018	DRAFT DA SET	DLR	
	E	06/03/2019	DA SET	WE	

LEGEND

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W01	N	1.41	7	18.3	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W02	N	1.41	7	18.3	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W03	N	2.7	3.8	26	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W04	E	2.34	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W05	E	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W06	E	2.34	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W07	N	2	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W08	E	2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W09	E	0.44	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W10	N	1.53	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W11	E	1.56	1.6	8.3	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W12	E	1.56	1.6	8.3	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W13	NE	1.34	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W14	SW	1.21	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W15	N	1.23	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
W16	E	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D01	N	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
D02	N	3.51	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
D03	N	9.45	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓	✓
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.								✓	✓
Skylights glazing requirements									
Skylight number	Area of glazing inc. frame (m2)	Shading device			Frame and glass type				
S01	1.026	external adjustable awning or blind			aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				
S02	1.026	external adjustable awning or blind			aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				
S03	1.026	external adjustable awning or blind			aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				
S04	1.026	external adjustable awning or blind			aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				
S05	1.026	external adjustable awning or blind			aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				

CLIENT

CRAIG & NICOLE POOLE

PROJECT ADDRESS

39 ROBERT STREET, FRESHWATER 2096

DRAWING NO.

DA17

DATE

Friday, 8 March 2019

DRAWING NAME

BASIX

SCALE

1:1 @A3