



**1 BELLEVARDE PARADE,
MONA VALE**

**STATEMENT OF ENVIRONMENTAL EFFECTS
FOR ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING**



Report prepared for
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September 2025

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1. Introduction

- 1.1 This is a statement of environmental effects for alterations and additions to a dwelling house at 1 Belvedere Parade, Mona Vale including a new first floor level and double garage.
- 1.2 The report describes how the application addresses and satisfies the objectives and standards of relevant State Environmental Planning Policies, the Pittwater Local Environmental Plan 2014, the Pittwater 21 Development Control Plan 2014 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3 This statement of environmental effects has been prepared with reference to the following:
- Site visit,
 - Site Survey prepared by CMS Surveyors,
 - Drawings prepared by Action Plans,
 - BASIX Certificate prepared by Action Plans,
 - Stormwater Plans prepared by Taylor Consulting,
 - Geotechnical Report prepared by Soilsrock,
- 1.4 The development is compliant with the objectives of Council controls, considerate of neighbouring residents and results in improved amenity for the residents. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1 The site is located on the eastern side of Belvedere Parade, approximately 100 metres east of its intersection with Mount Pleasant Avenue, its secondary road frontage. It is legally described as Lot 14 DP 8212 and is known as 1 Belvedere Parade, Mona Vale.
- 2.2 It is an irregular shaped lot with boundaries of 26.96 metres (north), 18.79 metres and 14.055 metres (west – Belvedere Parade frontage), 18.14 metres and 11.5 metres (north – Belvedere Parade frontage), 46.115 metres (south - Mount Pleasant Avenue secondary frontage) and 43.275 metres (east). The site comprises an area of 1,216.5m².
- 2.3 The subject site is occupied by a one and two storey rendered and clad dwelling house with a metal roof, and a single storey, clad secondary dwelling and pool in the rear yard, set within landscaped grounds. A small metal shed is located in the north western corner of the lot. The lot has a fall of approximately 3 metres from the north-western corner to the south-eastern corner.
- 2.4 The site is surrounded by detached residential dwellings in all directions. It is located in close proximity to shops and services in Mona Vale to the south and Barrenjoey Road to the east.

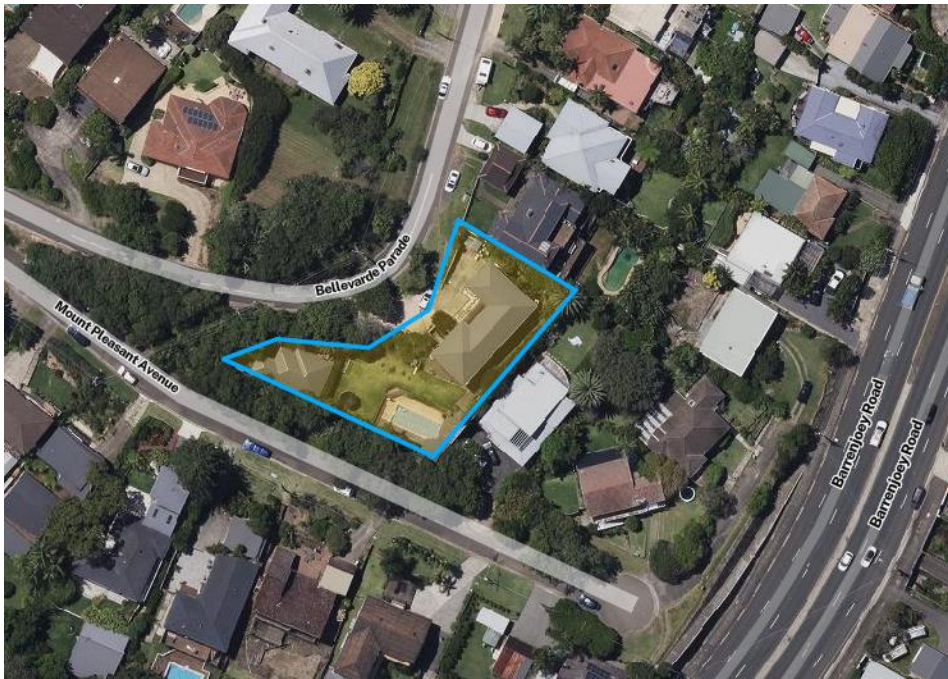


Figure 1. Aerial Image of the subject site

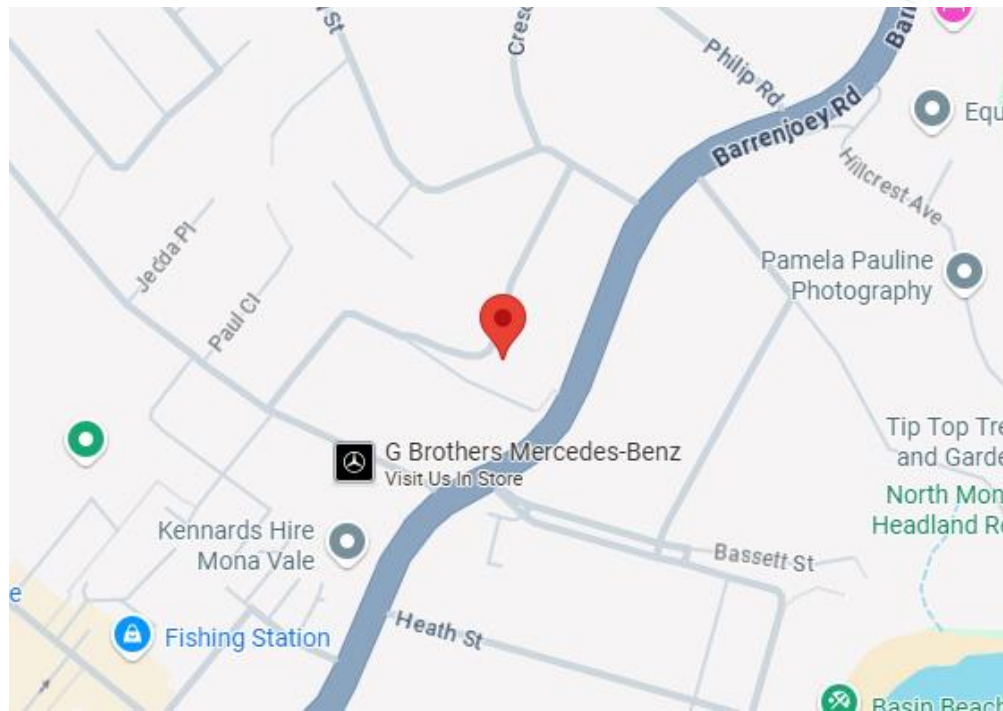


Figure 2. The site within the locality

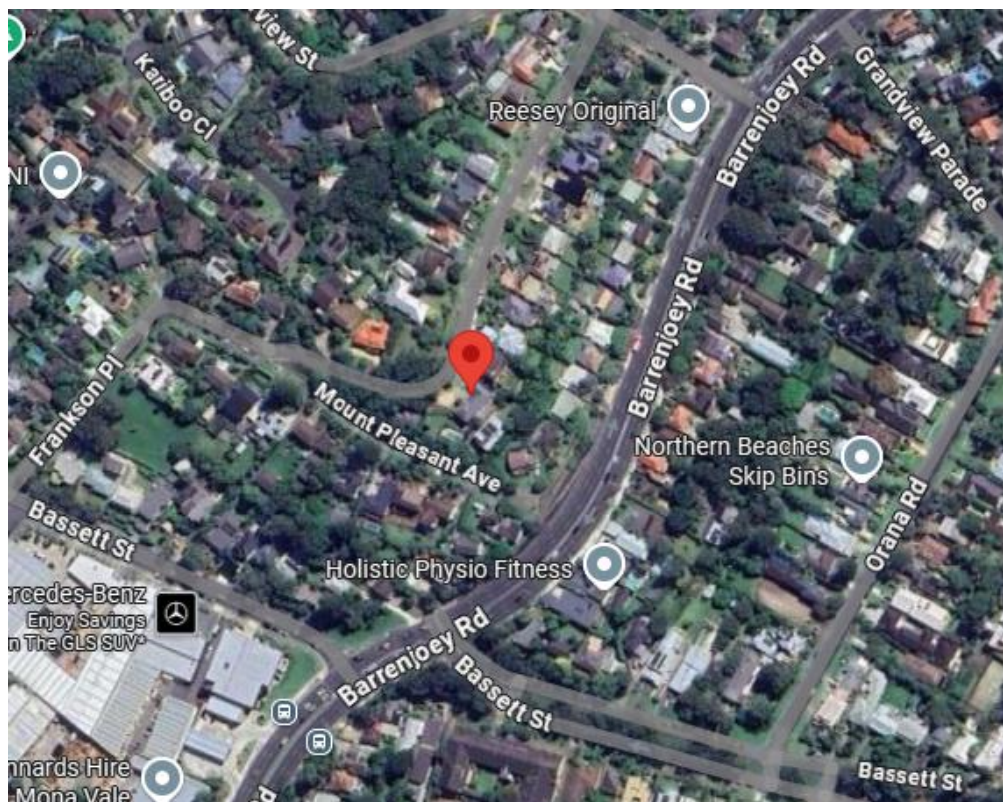


Figure 3. Aerial Image of the site within the locality

3. Site Photos



Figure 4. The subject site, looking south-east towards the front of the existing dwelling



Figure 5. Looking north-west, the existing driveway and hardstand at the front of the site



Figure 6. The rear (southern elevation) of the existing dwelling, looking north



Figure 7. The eastern side boundary, looking north towards the eastern elevation



Figure 8. The northern boundary, looking west



Figure 9. The rear yard, pool and secondary dwelling, looking south-west



Figure 10. The rear yard and existing landscaping, looking north

4. Proposed Development

- 4.1** The proposed development is for alterations and additions to the existing dwelling house, including a new first floor level, double garage, new driveway and internal reconfiguration of the ground and lower ground floor levels.
- 4.2** The alterations and additions have been designed to ensure that the appearance of the dwelling is improved and remains consistent with the existing streetscape. The proposed additions maintain a scale consistent with the existing dwelling, neighbouring development and is compatible with the streetscape.
- 4.3** The proposed alterations and additions will be made up as follows:

Lower Ground Floor

- Demolition of internal wall and southern wall of bedroom 4,
- Removal of laundry fittings and demolish internal stairs,
- Create a second living room from the existing storage area and bed 4,
- Laundry becomes a wine cellar,
- Retain bedroom 3, bathroom and convert rumpus to a gym/rec area,
- Replace internal stairs with new stairs,
- New doors and windows.

Ground Floor

- Demolition of front deck, entry, stairs, study nook, kitchen, balcony, bedroom 2, bathroom fittings and wall shared with walk-in robe and master ensuite,
- Construct a new double garage with internal access at the front of the dwelling,
- New dwelling entry and internal staircase,
- Open plan kitchen/dining/living area with fireplace and access to new balcony,
- New laundry in place of existing bathroom and new powder room,
- New study adjacent the living area (formerly master bed),
- Side addition to create a new storage area and drying area to the northern elevation,
- New doors and windows.

New First Floor

- Master bedroom with 2 x WIRs and ensuite,
- Bedrooms 2 and 3 with robes and ensuites,
- Staircase and sitting room,
- Balcony off master suite and sitting room.

Site

- Demolition of shed on northern boundary,
- New crossover, strip driveway across Council road reserve and driveway on subject site,
- New retaining wall within road reserve.

5. Statutory Framework

5.1 State Environmental Planning Policies

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in non-rural areas

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as it does not propose to remove any significant vegetation.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 Remediation of Land

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

State Environmental Planning Policy (Sustainable Buildings) 2022

Schedule 1 of SEPP (Sustainable Buildings) 2022 sets out the standards for thermal performance and energy requirements for *BASIX development* in NSW. The proposal is *BASIX development* (as defined by the EPA Regulation 2021), and a compliant BASIX certificate is provided with this application.

5.2 Pittwater Local Environmental Plan 2014

The relevant clauses of the Pittwater Local Environmental Plan 2014 are addressed below.

Zoning

The site is zoned C4 – Environmental Living, pursuant to the provisions of the Pittwater Local Environmental Plan 2014.

The proposed development is for alterations and additions to a dwelling house and dwelling houses are permitted with consent in the C4 Zone.



Figure 11. Extract from Pittwater LEP 2014 Zoning Map

Demolition

Demolition works are proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the proposed alterations and additions.

Minimum Lot Size

The site is mapped with a minimum subdivision lot size of 700m². The subject site comprises a compliant lot of 1,216.5m² and no subdivision is proposed.

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a maximum building height of 9.337 metres.

A Clause 4.6 to vary the LEP Height control is attached.

Floor Space Ratio

The site is not identified on the floor space ratio map.

Heritage Conservation

The site is not a heritage item, is not located within a heritage conservation area and is not located in close proximity to any heritage items.

Bushfire Prone Land

The subject site is not identified on the NBC Bushfire Prone Land map.

Flood Planning

The subject site is not identified on the NBC Flood Hazard Map.

Acid Sulfate soils

The site is mapped with class 5 acid sulfate soils. The minor development is not likely to lower the watertable below 1 metre AHD on adjacent class 1, 2, 3 or 4 land.

Earthworks

Minor earthworks are proposed to prepare the site for construction. Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed.

Biodiversity

The subject site is not identified on the Pittwater Biodiversity Map.

Geotechnical Hazard

The subject site is identified on the Pittwater Geotechnical Hazard Map as both Geotechnical Hazard H1 and H2. A supportive Geotechnical Assessment is attached to this development application package.

Essential Services

All essential services are existing on the site.

5.3 Pittwater 21 Development Control Plan

The relevant sections of the DCP are addressed below.

Objectives

The development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

Section A Shaping Development in Pittwater

Mona Vale Locality

The site is located within the Mona Vale Locality.

The desired character statement for Newport is:

The Mona Vale locality will contain a mix of residential, retail, commercial, industrial, recreational, community, and educational land uses.

Existing residential areas will remain primarily low-density with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies will be located on the valley floor and lower slopes that has less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities.

Retail, commercial and light industrial land uses will be employment-generating. The Mona Vale commercial centre status will be enhanced to provide a one-stop convenient centre for medical services, retail and commerce, exploiting the crossroads to its fullest advantage and ensuring its growth and prosperity as an economic hub of sub-regional status. The permissible building height limit is increased to promote economic growth within the centre. The Mona Vale Hospital, as a regional facility servicing the Peninsula, is an essential part of the future local economy.

Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport.

Future development will maintain a building height limit below the tree canopy and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with the development. Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be

designed to be safe from hazards.

The design, scale and treatment of future development within the Mona Vale commercial centre will reflect principles of good urban design. Landscaping will be incorporated into building design. Outdoor cafe seating will be encouraged.

Light industrial land uses in Darley and Bassett Streets will be enhanced as pleasant, orderly, and economically viable areas.

A balance will be achieved between maintaining the landforms, landscapes and other features of the natural environment, and the development of land. As far as possible, the locally native tree canopy and vegetation will be retained and enhanced to assist development blending into the natural environment, and to enhance wildlife corridors.

Heritage items and conservation areas indicative of the Guringai Aboriginal people and of early settlement in the locality will be conserved.

Vehicular, pedestrian and cycle access within and through the locality will be maintained and upgraded. Improved public transport, pedestrian accessibility and amenity, carparking and an efficient surrounding local network will support the commercial centre, moving people in and out of the locality in the most efficient manner. The design and construction of roads will manage local traffic needs, minimise harm to people and fauna, and facilitate co-location of services and utilities.

The development has been designed taking into consideration the desired character of the location. The single residential dwelling density is retained and the dwelling scale is well designed to ensure retention of the character sought by Council, whilst being mindful of the natural environment and topography.

Section B General Controls

B1 Heritage Controls

As described above the site is not a heritage item, is not located in a heritage conservation area and is not located in close proximity to any heritage items.

Aboriginal Heritage Significance

The site is not known or anticipated to be home to any aboriginal relics. Should any objects be discovered during construction, appropriate measures will be taken according to NSW Office of Environment and Heritage.

B3 Hazard Controls

Landslip Hazard

As described above the site is located within the geotechnical hazard H1 and H2 zones and a Geotechnical Report prepared by Soilsrock demonstrates compliance with this clause and accompanies this application.

Contaminated and potentially contaminated lands

The site is not known to be contaminated and to our best knowledge has only ever been used for low density residential purposes.

Flood Prone Land

The subject site is not mapped as flood prone.

B4 Controls Relating to the Natural Environment

The proposal will have no impact on the natural environment in the locality as the development is located within a disturbed portion of the site. The development does not propose to remove any significant native vegetation.

B5 Water Management

The site is connected to the reticulated sewer system.

The architectural plans demonstrate that the proposed development will not increase the impervious area on the site by 50m², as such Taylor Consulting has advised that on-site detention is not required.

Stormwater from the site will be managed in accordance with Councils controls, with water to be directed to existing infrastructure in Mount Pleasant Avenue as illustrated on the Stormwater Plan provided with this application.

B6 Access and Parking

The DCP requires a minimum of 2 car parking spaces (2 or more bedrooms).

The property has an existing driveway and hardstand parking area at the front of the dwelling.

The development proposes a new crossover, driveway and double garage as illustrated within the attached DA Plan set.

B6.1 Access driveways and Works

The development proposes a new crossover and driveway from Bellevarde Parade, providing safe vehicular access, travelling in a southerly direction, to the site. The existing crossover and driveway will be retained to provide access to the site when travelling in a northerly direction. See Figure 12 below.

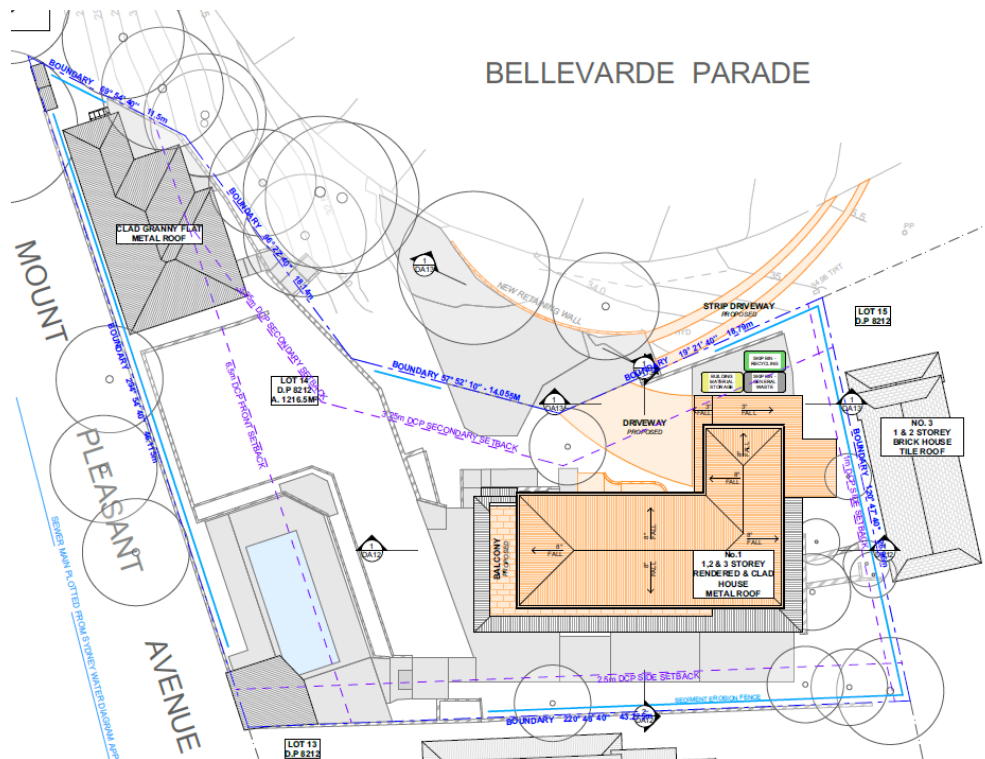


Figure 12. Extract from plans showing the new crossover, driveway across road reserve and on-site driveway (Drawing DA04)

The existing crossover and driveway providing vehicular access to the site is located on a sharp bend within Bellevarde Parade resulting in a dangerous entry and exit to the property.

See Figure 13 below.



Figure 13. Looking south (subject site on left hand side of photo), showing the existing access towards the southern end of the property frontage.

As illustrated within the attached DA Plan set, the proposed Access Driveway has been designed in accordance with the relevant Australian Standards, including the driveway gradient and width.

No trees or native vegetation is required to be removed to cater for the new access driveway.

It is noted that on 13 October 2014 Council issued a Section 139 Consent (Roads Act 1993) to construct a driveway crossing in the public road reserve at 1 Belvedere Parade, Mona Vale. The driveway was not constructed and the proposed development seeks approval for a driveway profile of a similar design to that previously approved by Council.

B8 Site works and management

Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed and all works will be undertaken in accordance with engineering details.

Appropriate waste management will be undertaken during the excavation and construction process. All waste materials will be recycled where possible which is detailed in the accompanying Waste Management Plan.

Section C Development Type Controls

C1 Design Criteria for Residential Development

Landscaping

The DCP requires front of buildings (between the front boundary and any built structures) to be landscaped to screen those buildings from the street. The development proposes ample landscaping between the front boundary and the dwelling, given the length of the street frontage and the width of the Council road reserve.

The proposed development does not require the removal of any significant or native vegetation on the site.

Safety and Security

An ability to view the street frontage is retained allowing for casual surveillance which is to the benefit of the safety and security.

View Sharing

A site visit has been undertaken and it is considered no unreasonable view loss will occur as a result of the proposed development.

Solar Access

The DCP requires 3 hours solar access is maintained to 50% of the required private open space and 50% of glazing to the principle living area, to both the subject site and adjoining properties on 21 June. In addition, 6 hours sunlight is required to solar collectors between 8am and 4pm on 21 June.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in additional shadowing to small portions of the subject site, to the east and south of the dwelling only.

12pm – The development will result in a negligible increase in shadowing within the subject site and to a small portion of the front yard of No. 4 Mount Pleasant Avenue.

3pm – The development will result in a negligible increase in shadowing within the subject site and a small increase in shadowing to the rear yard at No. 4 Mount Pleasant Avenue.

It is concluded that the development will not significantly alter existing solar access to adjoining properties between 9am and 3pm.

There will be no unacceptable increase in shadowing to living room windows or solar collectors.

Visual Privacy

Privacy will be retained for neighbours with compliant side setbacks proposed and no direct overlooking into any key living areas.

The ground floor is visually separated from neighbouring properties by existing boundary fencing and landscaping. The additional storey incorporates a number of privacy measures including wall articulation, higher sill heights, orienting larger glazing to the front and sides of the dwelling and offset windows.

Acoustic Privacy

The development will not result in noise levels inappropriate to the residential area and the site is not located in close proximity to a noise generating activity.

Private Open Space

A minimum private open space area of 80m² is required by the DCP. A compliant private open space area, well in excess of 80m² is retained on the site, for the enjoyment of the residents.

Waste and Recycling Facilities

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible. This is detailed further in the accompanying Waste Management Plan.

The existing dwelling has appropriate waste storage areas which will be retained with the proposed works.

Part D – Mona Vale Locality

The site is located in the Mona Vale Locality and will be appropriate within the desired character, built form and natural environment criteria as specified in the DCP.

Character

The proposed development is an appropriate architectural design for the locality. The materials and colours complement the streetscape and present a pleasing façade when viewed from the public domain. The resulting dwelling is a modern design enhancing the site and streetscape, while sitting comfortably in the locality.

Scenic Protection

The site is visible from Belvedere Parade and the proposed alterations and additions remain consistent with this clause, as there will be no negative visual impacts from the public road, as a result of the development.

Building colours, materials and construction

The proposed building materials include light and dark external render, timber screening and metal roofing, in colours consistent with the existing dwelling and the coastal setting. A full schedule of materials and colours are provided with the DA plan set.

Front Building Line

The DCP requires a front setback of 6.5 metres (or the established building line, whichever is greater), on the subject site. Belvedere Parade is considered to be the primary frontage and Mount Pleasant Avenue to be the secondary frontage.

No change is proposed to the existing setback to the dwelling at lower ground and ground floor levels from the secondary frontage of Mount Pleasant Avenue.

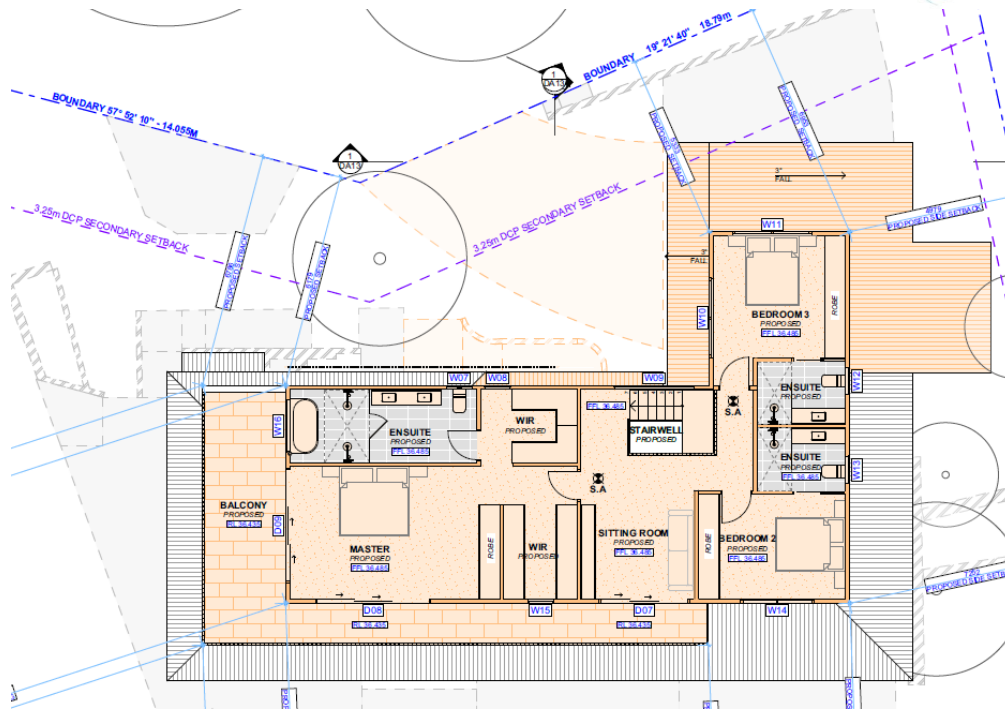


Figure 15. Extract from DA Plan Set (Proposed First Floor Plan, Drawing DA09) showing the proposed front setback to the new first floor level

A variation to the front setback control at ground and first floor levels is considered appropriate, in this case, as the proposal remains consistent with the outcomes of the control, despite the variation, as assessed below:

Achieve the desired future character of the locality

Comment

Consistent. The proposed development has been designed taking into consideration the desired character of the location. The dwelling largely retains the setbacks of the existing dwelling on the site, with the exception of the new double garage on the front elevation to provide compliant, weatherproof parking for the residents. Due to the site topography, the garage will not be highly discernible from Belvedere Parade, as it will sit below street level.

See Figure 16 below.



Figure 16. Looking north towards the proposed location of the garage

The existing dwelling has a non-compliant front setback and the development proposes an increased front setback at first floor level.

Equitable preservation of views and vistas to and/or from public/private places.

Consistent. A site visit has been undertaken and it is concluded the proposed development will not result in any unreasonable view loss impacts.

The amenity of residential development adjoining a main road is maintained.

Comment

Consistent. The subject site adjoins Bellevarde Parade and the reduced setback to provide a secure lock up garage, and first floor level, will not adversely affect residential amenity for its occupants.

Vegetation is retained and enhanced to visually reduce the built form.

Comment

Consistent. No tree removal is proposed as a part of this application and substantial existing landscaping will be retained.

Vehicle manoeuvring in a forward direction is facilitated.

Comment

Consistent. The new driveway provides improved access to the site and the new garage, as described above. The proposed design ensures vehicle manoeuvring in a forward direction.

To enhance the existing streetscapes and promote a scale and density that is in keeping with the height of the natural environment.

Comment

Consistent. The development proposes a 2 – 3 storey dwelling, with a scale that is appropriate within the local neighbourhood. As stated above, the resultant dwelling will have a positive impact on the streetscape character of Belvedere Parade. Additionally, the reduced setback to the dwelling will not be highly discernible from the street due to the change in the ground level.

There are other examples of carports and garages located within the front setback of neighbouring properties. These include double garage/carport structures at Nos. 3 and 5 Belvedere Parade, immediately adjoining the site to the north. These structures being highly visible as they sit directly on the street frontage.

See Figures 17 and 18 below.



Figure 17. The garage/carport structure at No. 3 Bellevarde Parade



Figure 18. The existing garage/carport structure at No. 5 Bellevarde Parade

To encourage attractive street frontages and improve pedestrian amenity.

Comment

Consistent. The proposed alterations and additions will result in an attractive addition to Belvedere Parade, with the garage having a minimal impact on the street frontage to its proximity below street level. The proposed design of the dwelling ensures that a high level of pedestrian amenity is provided.

To ensure new development responds to, reinforces, and sensitively relates to the spatial characteristics of the existing urban environment.

Comment

Consistent. The development remains consistent with the spatial characteristics of the existing dwelling, sitting within a disturbed footprint within the site, and other dwellings in the locality, resulting in a 2 -3 storey single residential dwelling.

Side and Rear setbacks

Side setbacks of 2.5 metres on 1 side and 1 metre for the other side are required by the DCP. Given the site has two street frontages, it has been assumed that the side boundaries are the northern boundary (26.96m) and the eastern boundary (43.275m). No rear setback applies to the site.

The development proposes the following compliant **side** setbacks:

Lower Ground Level

No change.

Ground Floor Level - compliant

1.071m to storage area (north)

5.16m to study (existing eastern setback – no change)

New First Floor Level - compliant

4.979m – (north)

6.009m – (east)

A rear setback of 6.5 metres is required by the DCP. As stated above, the site has two street frontages and does not have a rear boundary.

Building envelope

A building envelope of 45° measured at a height of 3.5 metres when viewed from the street frontage, applies to the site.

The proposed new works are located within the permitted building envelope as illustrated on the DA plan set.

Landscaped Area

A landscaped area of 60% is required by the DCP in the C4 zone, of which 6% of the site area can comprise of impervious areas used for outdoor recreation and can include impervious areas less than 1 metre in width (pathways and the like).

This equates to a landscaped area of 729.9m² for the site area of 1216.5m². The development proposes a landscaped area of 641.41m² or 53% (including the impervious area of 72.99m². This equates to a minor shortfall of 88.5m².

A variation to the landscaped area control is appropriate, as the development remains consistent with the objectives of the control, despite the variation, as assessed below:

Achieve the desired future character of the Locality.

Comment

Consistent. The proposed development has been designed taking into consideration the desired character of the seaside location. The proposal results in an increase to the existing landscaped area on the site and the variation to the control is resultant of the irregular shape of the block, site topography, the existing swimming pool and secondary dwelling on the site.

The dwelling remains consistent with the character of the locality.

The bulk and scale of the built form is minimised.

Comment

Consistent. The development remains consistent with the bulk and scale of a two storey dwelling when viewed from the street, with a compliant side setbacks. Further, the wide landscaped street verge also provides a positive visual contribution to the front of the site.

A reasonable level of amenity and solar access is provided and maintained.

Comment

Consistent. As outlined above, privacy and amenity is retained for neighbours and the subject site, with existing privacy levels retained.

As assessed above, appropriate and compliant solar access is retained for the subject site and adjoining properties.

Vegetation is retained and enhanced to visually reduce the built form.

Comment

Consistent. The alterations and additions largely retain the existing building footprint, with no trees proposed for removal. Also, the proposed landscaped area is an improvement to the existing landscaped area on the site.

Conservation of natural vegetation and biodiversity.

Comment

Consistent. No native vegetation will be impacted by the proposal.

Stormwater runoff is reduced, preventing soil erosion and siltation of natural drainage channels.

Comment

Consistent. Stormwater from the site will be managed in accordance with Councils controls, with water directed to existing drainage infrastructure on the site.

To preserve and enhance the rural and bushland character of the area.

Comment

Consistent. The proposed alterations and additions improve the visual character of the dwelling and propose an increase to the existing landscaped area, ensuring the character of the locality is retained.

Soft surface is maximised to provide for infiltration of water to the water table, minimise run-off and assist with stormwater management.

Comment

Consistent. The development retains and enhances the soft landscaped area on the site, assisting in the infiltration of water and stormwater management.

Fences

No changes are proposed to the existing boundary fencing on the site. A new retaining wall is proposed within the Council road reserve, as illustrated within the attached DA Plan set.

6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Pittwater LEP 2014 and the Pittwater 21 DCP 2014.

	Standard	Proposed	Compliance
Pittwater LEP 2014			
Lot Size	700m ²	1216.5m ²	Yes – no change
Building Height	8.5m	9.377m	Clause 4.6 attached
Floor Space Ratio	Not identified	-	-
Pittwater DCP 2014			
Car Parking	2 spaces (2 or more bedrooms)	New double garage – 2 spaces	Yes
Solar Access	<p>3 hours sunlight to the following areas of the subject site and adjoining properties between 9am and 3pm on June 21:</p> <ul style="list-style-type: none"> • 50% (40sqm) of POS and • 50% of glazing to principle living area <p>6 hours sunlight to solar collectors between 8am and 4pm on 21 June.</p>	Complies	Yes
Private Open Space	80m ² (min. dimension 3m, max. 75% in front yard)	>80m ²	Yes
Newport Locality			
Front setback	6.5m (or the established building line, whichever is greater)	<p><u>Lower Ground Floor Level</u> No change <u>Ground Level:</u> Proposed front setback to garage 2.444m <u>New first floor:</u> 5.33m</p>	<p>Yes – no change</p> <p>Compliance with objectives achieved</p> <p>Compliance with objectives achieved</p>

Side Boundary Setbacks	2.5m on one side and 1m on the other side Assumed northern and eastern boundaries as side boundaries	<u>Lower Ground Level</u> No change <u>Ground Floor Level</u> 1.071m to storage area (north) 5.16m to study (existing eastern setback – no change) <u>New First Floor Level</u> 4.979m – (north) 6.009m – (east)	Yes – no change Yes Yes
Rear Boundary Setbacks	6.5m		N/A
Building Envelope (street frontage)	3.5m/45 degrees	Complies	
Landscaped Open Space and Bushland Setting	60% of lot area = 729.9m ²	53% or 641.41m ² (including the 6% variation)	Compliance with objectives achieved

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

7.1 The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Pittwater LEP and DCP.

The development is permissible in the R2 zone.

7.2 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of this statement and in the attached reports and plans.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The alterations and additions have been designed to complement the site and its surrounds. The proposal is appropriate and will have negligible impact on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the development.

Public domain

There will be no impact.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The natural hazard of acid sulfate soils and landslip can be effectively managed to permit the development to proceed in its current form.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed development is appropriate to the site with regards to all of the above factors. It fits well within the context of the site and is well suited to the residential surrounds and seaside character of Newport.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The development is compliant with the provisions of the Building Code of Australia and all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise.

7.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the development.

7.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the development.

7.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1 The proposed development for alterations and additions to an existing dwelling at 1 Belvedere Parade, Mona Vale, including a new double garage and first floor level, is appropriate considering all State and Council controls.
- 8.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the development is meritorious and should be granted consent.
- 8.3 Considering all the issues, the development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

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Document Control Table

Document Purpose:	Statement of Environmental Effects	
Date	Prepared by	Approved by
10/09/2025	Susan May-Roberts Senior Planner	Sarah McNeilly Director

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