

- ① 31 - 29.70 = 1.30m H
- ② 31 - 29.52 = 1.48m H
- ③ 31 - 29.43 = 1.57m H
- ④ 31 - 30.10 = 0.90m H

1. No coping - to increase garden bed width.  
2. Construct edge to retain garden soil.

Fence not on boundary.  
Survey pegs before re-siting.

#### LEGEND:

	Boundary
	Sewer
	Sewer ZOI
	Paving
	Stepping stones - 400x400mm in gravel
	Turf
	Garden

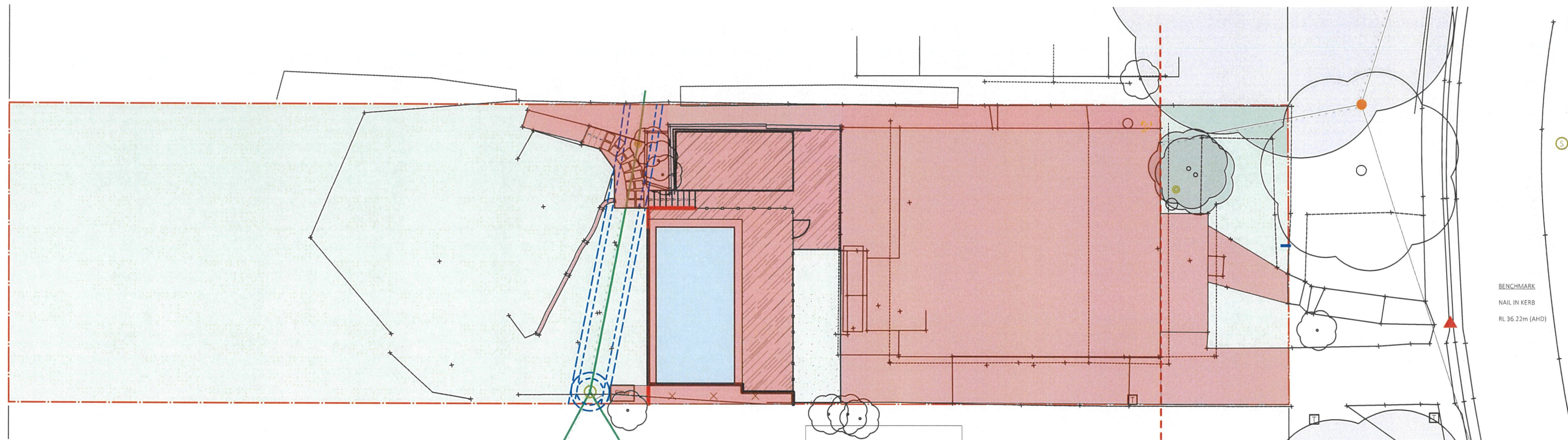
#### NOTES:

- This plan is not for construction purposes, indicative levels only/no engineering details provided
- Do not scale from plan
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- Before landscape work is commenced, contractor is to establish the position of all service lines, service lids; vents and hydrants shall be left exposed and not covered by any landscape finish (turfing, paving, mulch, garden beds etc)
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- Mulch can be leaf mulch, ANL or similar, or gravel
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- Services to be located before excavation
- VTA method used for Tree Assessment
- ©copyright of Urban & Rural Design
- Surveyor's pegs to be installed before any built structures eg. retaining walls/pool constructed on boundaries/fences
- Pool location and Sewerage ZOI as per Engineers Drawing by J. Cavasinni & Assoc. Drawing No. 2022PR1500 dated March 2022
- When rear retaining wall removed for pool demolition, wall to front and around trees may fail.
- All work to be done according to best practice guidelines, N.C.C., Australian Standards, manufacturers' specifications, Local Council and State Legislations

Client: Mr & Mrs Johnson	
Site: 26 Orlando Road CROMER NSW 2099	
<b>URBAN &amp; RURAL</b> DESIGN   LANDSCAPE ARCHITECTS Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258	
Drawing Purpose: Rear Levels Plan	
Date: 21 March 2022	
Scale: 1:100 @ A3	Drawn By: IF Checked By: AM
Plan No:	Job No: 20211112







DA CALCULATIONS:		
	TOTAL AREA	992.70
MAX ALLOWABLE BUILT UPON AREA (BUA)	60%	
MIN ALLOWABLE LANDSCAPED OPEN SPACE (LOS)	40%	
	100%	
BUA:		
House incl. deck, patio, porch	205.21	
Concrete driveway	60.34	
Front concrete path and step	8.99	
Side concrete path	30.03	
Pool Coping	8.32	
Paving	68.43	
Pool garden and filter	8.21	
Retaining walls and gardens	15.45	
Steps	5.98	
TOTAL BUILT UPON AREA (BUA)	410.96	
TOTAL BUA AS % OF TOTAL AREA	41.4%	
TOTAL LANDSCAPED OPEN SPACE (LOS)	581.75	
TOTAL LOS AS % OF TOTAL AREA	58.6%	Complies with 1.
Warringah Council DCP		
1. D1 Minimum area of Landscaped Open Space (LOS): 40% of total lot area	Complies.	
2. D1 (1) (a) Any open space areas with a dimension of less than 2m is excluded from the calculation of LOS	Complies.	
3. D1 (1) (b) The water surface of pools is included in the calculation of LOS	Complies.	
4. D1 (1) (c) LOS must be at ground level (finished)	Complies.	
5. D1 (1) (d) The min. soil depth of land that can be included in LOS is 1m	Complies.	

LEGEND:	
	Boundary
	Sewer
	Sewer ZOI
	Landscaped Open Space
	Built Up Area (BUA)

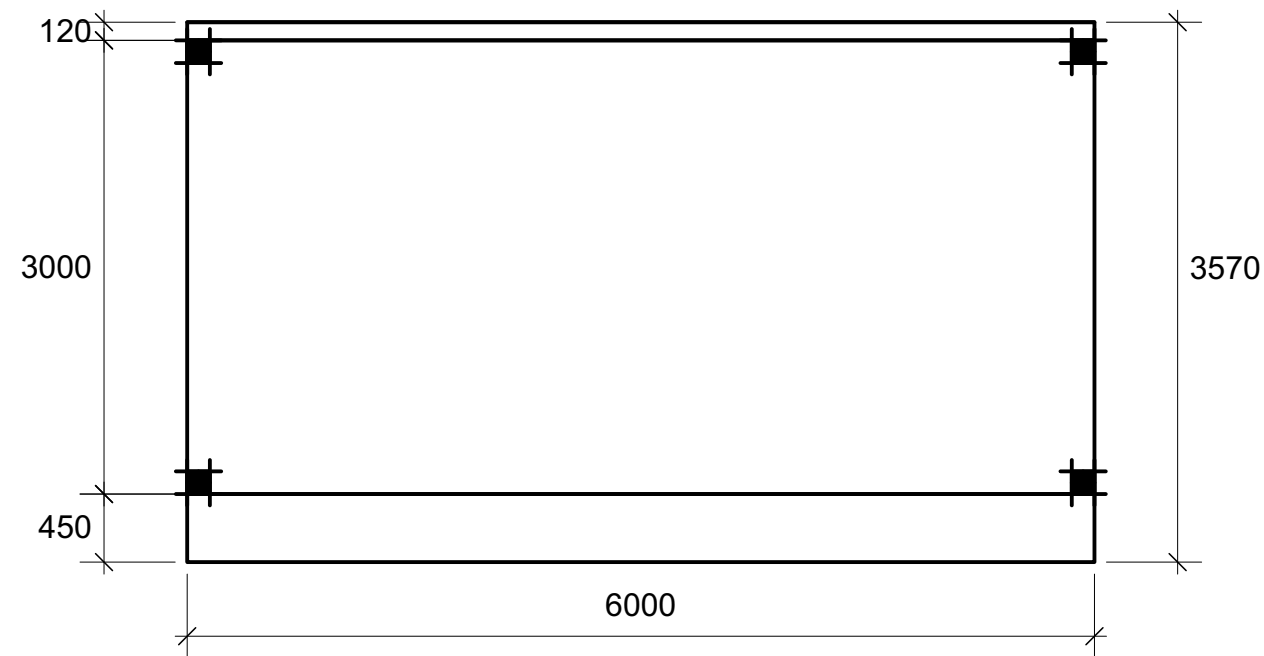
NOTES:

1. This plan is not for construction purposes, indicative levels only/no engineering details provided
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7. All hard landscaping structures to be to Engineer's specifications
8. Mulch can be leaf mulch, ANL or similar, or gravel
9. All RLs, spot levels, boundaries and existing contours have been taken from survey plan by SurveyPlus dated 13/01/2022 Ref. 21184\_DET\_1A
10. Services to be located before excavation
11. VTA method used for Tree Assessment
12. ©copyright of Urban & Rural Design
13. Surveyor's pegs to be installed before any built structures eg. retaining walls/pool constructed on boundaries/fences
14. Pool location and Sewerage ZOI as per Engineers Drawing by J. Cavasinni & Assoc. Drawing No. 2022PR1500 dated March 2022
15. When rear retaining wall removed for pool demolition, wall to front and around trees may fail.
16. All work to be done according to best practice guidelines, N.C.C., Australian Standards, manufacturers' specifications, Local Council and State Legislations

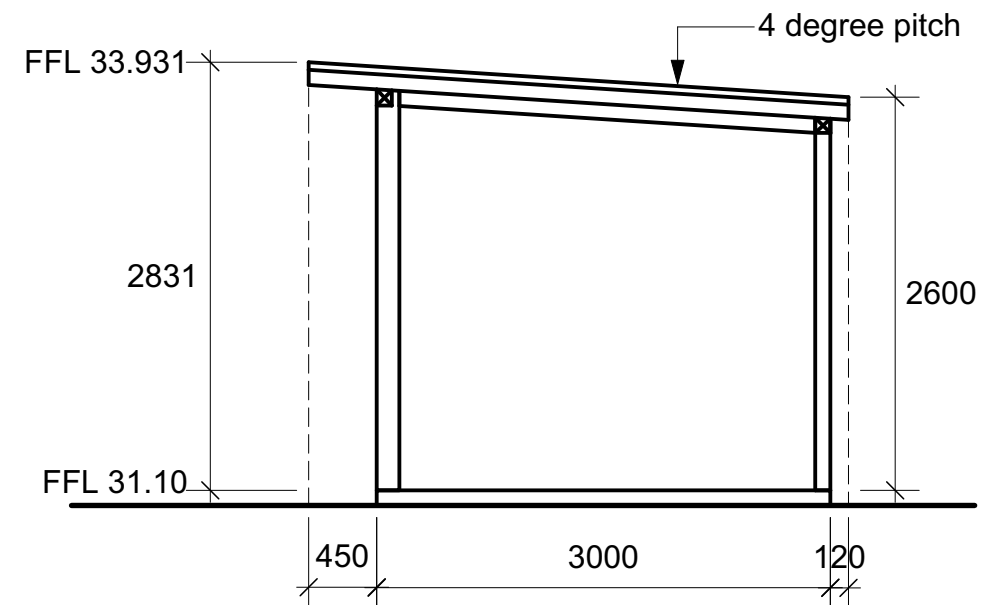


Client:	Mr & Mrs Johnson
Site:	26 Orlando Road CROMER NSW 2099
<b>URBAN &amp; RURAL</b> DESIGN   LANDSCAPE ARCHITECTS Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258	
Drawing Purpose:	D.A. BUA
Date:	21 March 2022
Scale:	1:200 @ A3
Drawn By:	IF
Checked By:	AM
Plan No:	Job No: 20211112





FLOOR PLAN



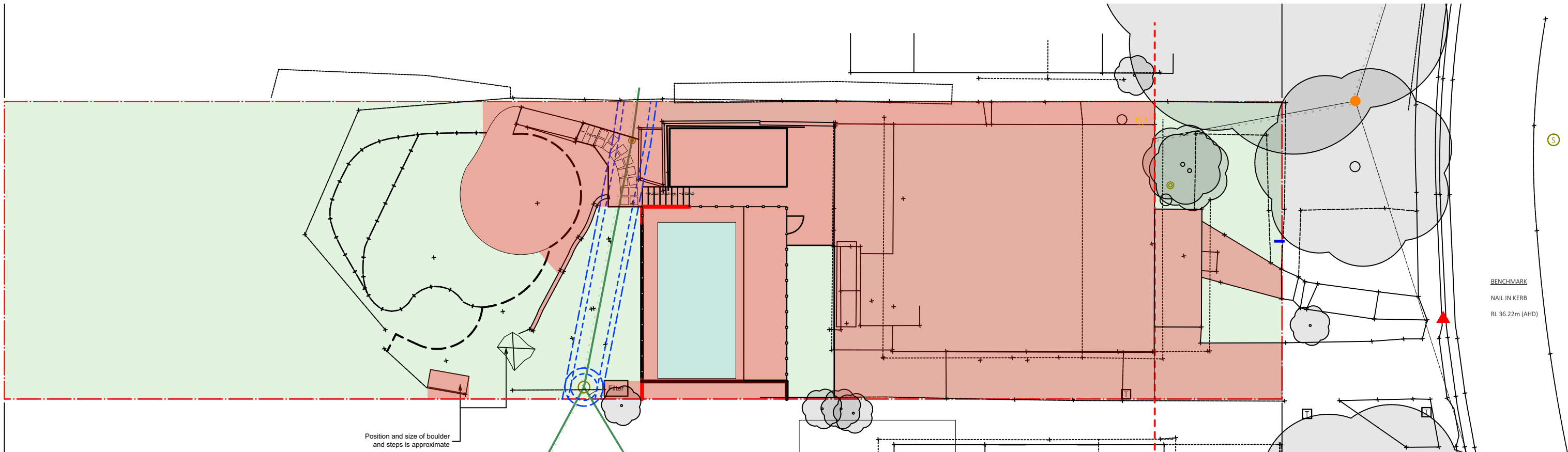
SIDE ELEVATION

#### NOTES:

1. This plan is not for construction purposes, indicative levels only/no engineering details provided
2. DO NOT SCALE FROM PLAN
3. The contractor shall be responsible for subgrade excavation and preparation to allow for top soil and mulch depth requirements, including stormwater engineer levels
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11. VTA method used for Tree Assessment
12. ©copyright of Urban & Rural Design
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16. All work to be done according to best practice guidelines, N.C.C., Australian Standards, manufacturers' specifications, Local Council and State Legislations
17. Australian Standard AS 1926 2012 applies for NCZ (Non Climbable Zone) to pool, to be maintained by client
18. Cubby and trampoline to be finally located as per manufacturer's safety instructions
19. Plant 'where able' on boundary and slopes
20. Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022

<b>Client:</b>	Mr & Mrs Johnson
<b>Site:</b>	26 Orlando Road CROMER NSW 2099
<b>URBAN &amp; RURAL</b> DESIGN   LANDSCAPE ARCHITECTS <b>Horticulture - Design - Consultation</b> PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258	
<b>Drawing Purpose:</b>	Pergola Detail
<b>Date:</b>	20 April 2022
<b>Scale:</b>	1:50 @ A3
<b>Drawn By:</b>	IF
<b>Checked By:</b>	AM
<b>Plan No:</b>	<b>Job No:</b> 20211112



CALCULATIONS:		
	TOTAL AREA	992.70
	MAX ALLOWABLE BUILT UPON AREA (BUA)	60%
	MIN ALLOWABLE LANDSCAPED OPEN SPACE (LOS)	40%
		100%
BUA:		
House incl. deck, patio, porch		205.21
Concrete driveway		60.34
Front concrete path and step		8.99
Side concrete path		30.03
Pool Coping		14.54
Paving		61.65
Pool garden and filter		8.48
Retaining wall, gardens and stepping stones		30.48
Rear steps		6.17
Paved Fire Pit Area		31.90
	TOTAL BUILT UPON AREA (BUA)	457.79
	TOTAL BUA AS % OF TOTAL AREA	46.1%
	TOTAL LANDSCAPED OPEN SPACE (LOS)	534.91
	TOTAL LOS AS % OF TOTAL AREA	53.9%
Warringah Council DCP		
1. D1 Minimum area of Landscaped Open Space (LOS): 40% of total lot area		Complies.
2. D1 (1) (a) Any open space areas with a dimension of less than 2m is excluded from the calculation of LOS		Complies.
3. D1 (1) (b) The water surface of pools is included in the calculation of LOS		
4. D1 (1) (c) LOS must be at ground level (finished)		Complies.
5. D1 (1) (d) The min. soil depth of land that can be included in LOS is 1m		Complies.

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  - Cubby and trampoline to be finally located as per manufacturer's safety instructions
  - Plant 'where able' on boundary and slopes
  - Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022

LEGEND:	
	Boundary
	Sewer
	Sewer ZOI
	Landscaped Open Space (LOS)
	Built Upon Area (BUA)

Client:	Mr & Mrs Johnson		
Site:	26 Orlando Road CROMER NSW 2099		
<div>URBAN RURAL &amp; DESIGN   LANDSCAPE ARCHITECTS Horticulture - Design - Consultation PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258</div>			
Drawing Purpose: BUA Plan			
Date:	28 April 2022		
Scale:	1:200 @ A3	Drawn By:	IF
		Checked By:	AM
Plan No:	Job No: 20211112		



A : NO CUBBY, LAWN TO EXTEND

B : WITH CUBBY, LAWN AND EDGING TO FRONT OF CUBBY

LEGEND:

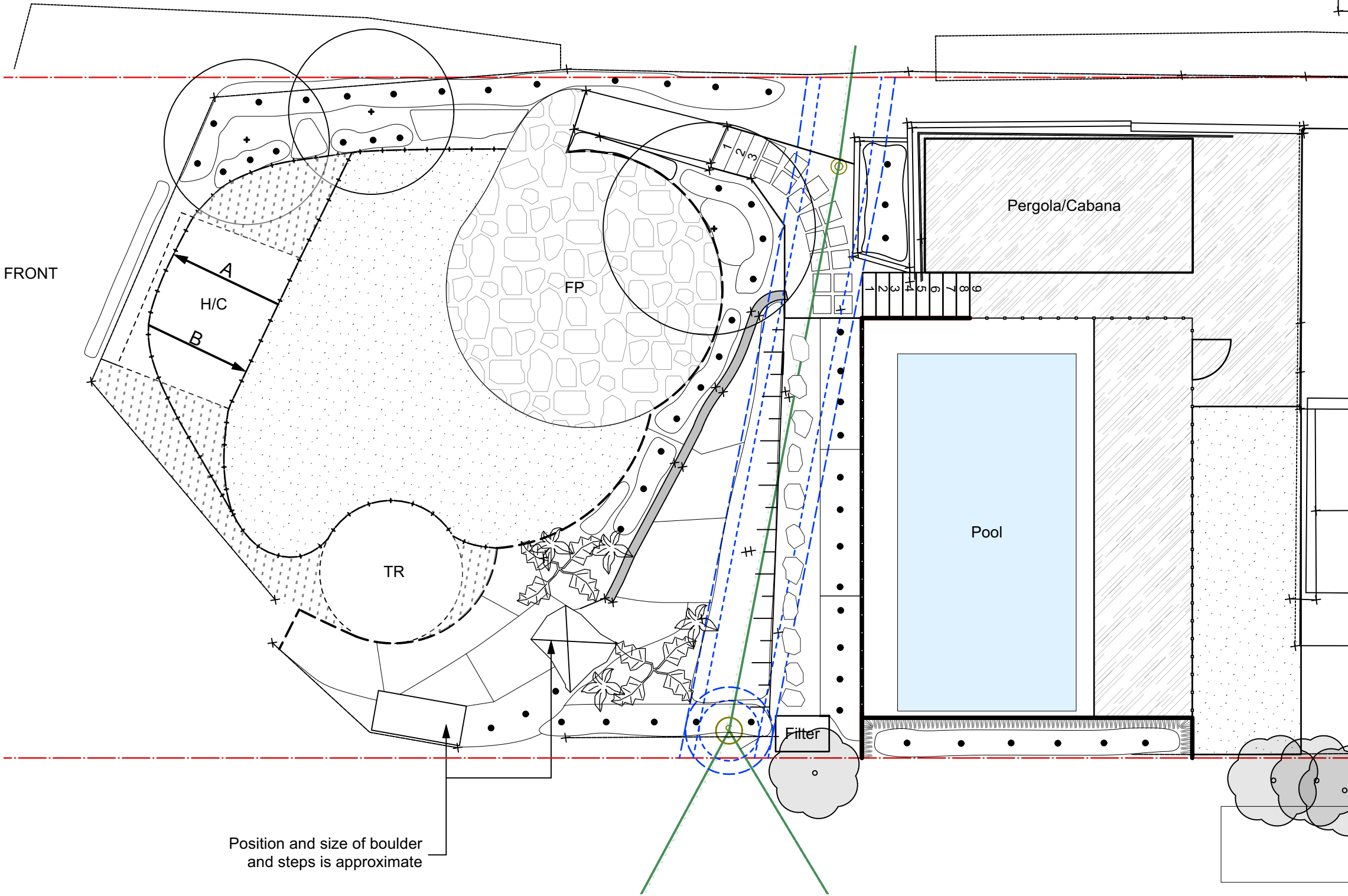
	Boundary
	Sewer
	Sewer ZOI
	Paving
	Crazy Paving
	Mulch
	Turf - Sir Walter Buffalo
	Edging - Corten 200mm high
	Edging - 400mm high
	Pool Fence
	Stepping stones - 400x400mm with Dichondra repens between
	Existing Retaining Wall

TR	Trampoline
FP	Fire Pit
H/C	Herbs or Cubby

NOTES:

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18. Cubby and trampoline to be finally located as per manufacturer's safety instructions
19. Plant 'where able' on boundary and slopes
20. Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022



**Client:** Mr & Mrs Johnson

**Site:** 26 Orlando Road  
CROMER NSW 2099

**URBAN & RURAL**  
DESIGN | LANDSCAPE ARCHITECTS  
Horticulture - Design - Consultation  
PO Box 56  
GALSTON NSW 2159  
ABN: 97 003 499 438  
MOB: 0416 397 258

**Drawing Purpose:** Concept Plan

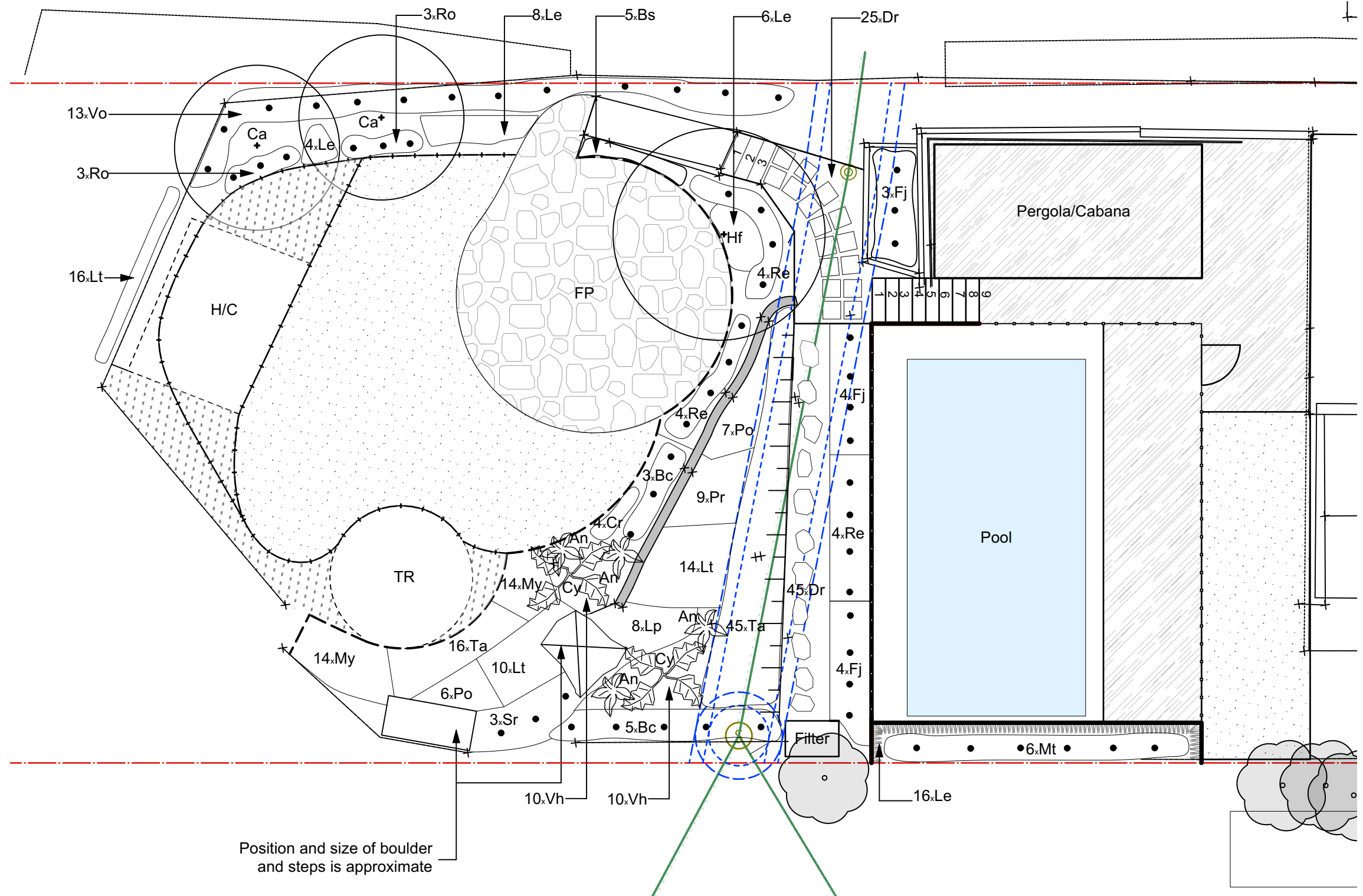
**Date:** 28 April 2022

**Scale:** 1:100 @ A3 **Drawn By:** IF **Checked By:** AM


**Plan No:** **Job No:** 20211112



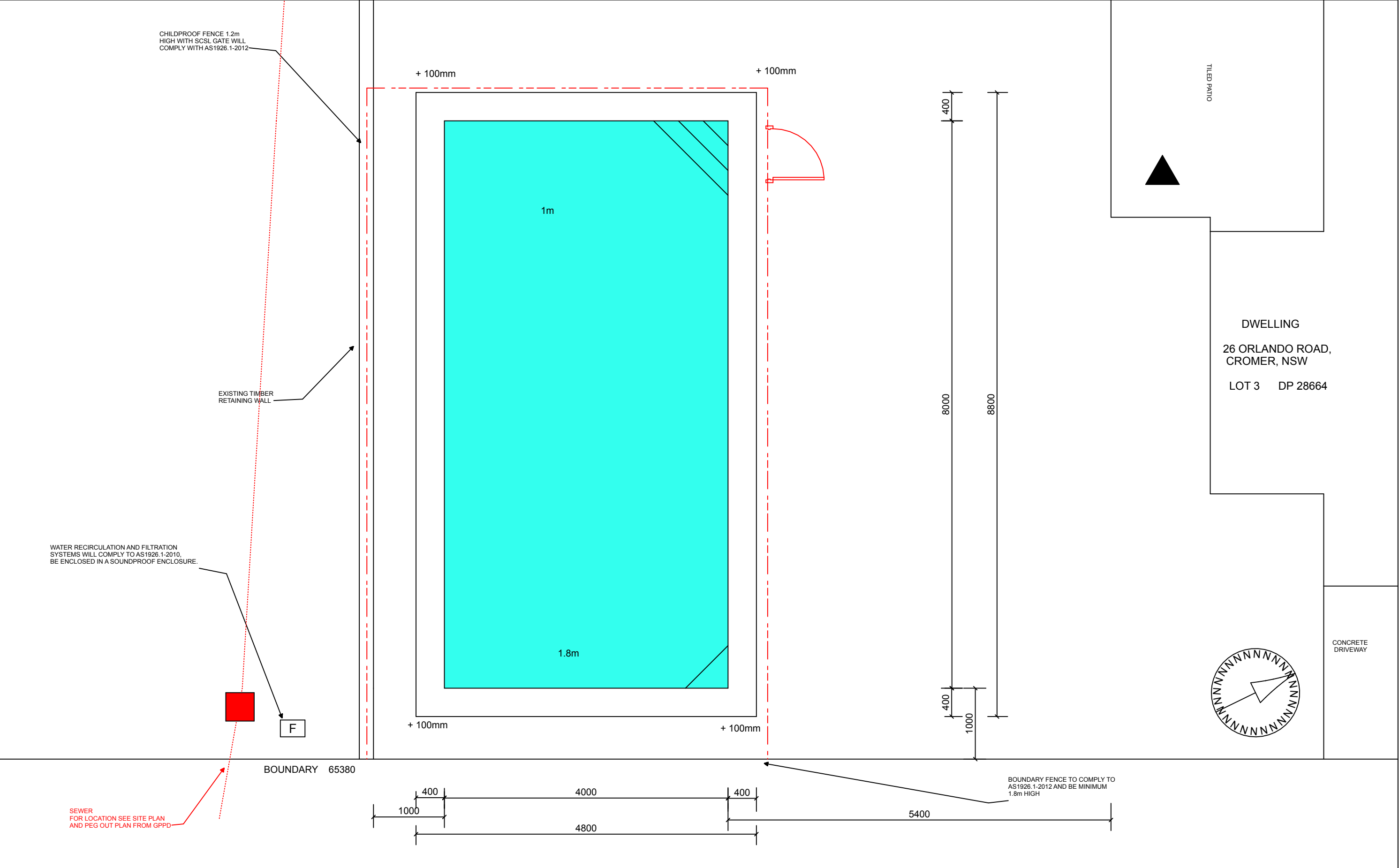






10. Services to be located before excavation
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12. ©copyright of Urban & Rural Design
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19. Plant 'where able' on boundary and slopes
20. Measurements and levels for Pergola detail as supplied by Emanate & Co 12/04/2022

<b>Client:</b>	Mr & Mrs Johnson
<b>Site:</b>	26 Orlando Road CROMER NSW 2099
 <p><b>Horticulture - Design - Consultation</b></p> <p>PO Box 56 GALSTON NSW 2159 ABN: 97 003 499 438 MOB: 0416 397 258</p>	
<b>Drawing Purpose:</b> Rear Planting Plan	
<b>Date:</b>	28 April 2022
<b>Scale:</b> 1:100 @ A3	<b>Drawn By:</b> IF <b>Checked By:</b> AM
<b>Plan No:</b>	<b>Job No:</b> 20211112





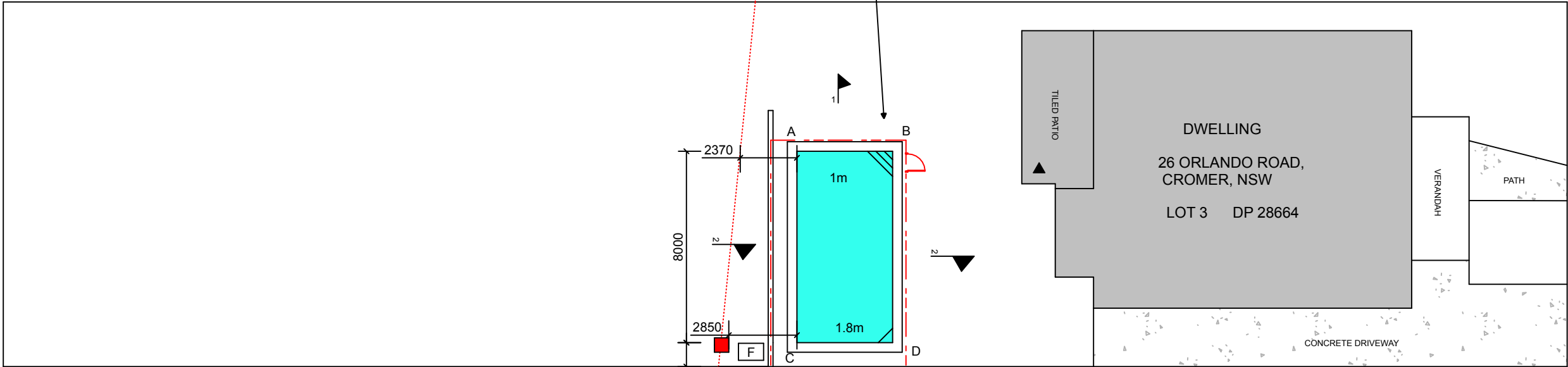
<div><p>PACIFIC POOLS P/L 84 Third road, Berkshire Park License no. 62686C Ph 9897 5566</p></div>	<p>BOUNDARY NOTE:</p> <p>BOUNDARY INFORMATION SUPPLIED BY OWNER. CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.</p> <p>COUNCIL NOTES:</p> <ul style="list-style-type: none"><li>- NO EXISTING STORMWATER ON ALLOTMENT.</li><li>- NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS.</li><li>- EASMENTS SHOWN ON SITE PLAN.</li><li>- SEDIMENT DISPOSED OF TO COUNCIL'S REQUIRMENTS.</li></ul> <p>CONCRETE SLAB IN ACCORDANCE WITH CODE OF AUSTRALIA.</p>	<p>SEDIMENT CONTROL NOTES:</p> <p>1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.</p> <p>2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.</p> <p>3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.</p> <p>4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.</p> <p>5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS SRE COMPLETED.</p>	<p>6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.</p> <p>7. FILTERS SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.</p> 	<p><b>BASIX</b></p> <p>NOT REQUIRED. POOL CAPACITY 44.8KL</p> <p><b>DATUM POINT</b></p> <p>▲</p> <p>TOP OF TILED PATIO POOL TO BE FINISHED LEVEL WITH DATUM</p>	<p><b><u>PROPOSED POOL LAYOUT PLAN</u></b></p> <p>PROPOSED DEVELOPMENT: REINFORCED CONCRETE SWIMMING POOL</p> <p>26 ORLANDO ROAD, CROMER , NSW 2099 Lot 3 DP 28664</p>	<p><u>CLIENT</u></p> <p><b>JOHNSON</b></p>	<p><u>SCALE</u></p> <p>1:50 @ A3</p>															
					<p><b><u>SITE DETAILS:</u></b></p> <table><tr><td>SITE AREA</td><td>992.7 SQ. M.</td></tr><tr><td>BLOCK WIDTH</td><td>15.24 M.</td></tr><tr><td>PROPOSED POOL</td><td>32 SQ. M.</td></tr><tr><td>EXISTING DWELLINGS</td><td>222 SQ. M.</td></tr><tr><td>EXISTING HARD SURFACES</td><td>170 SQ. M.</td></tr><tr><td>LANDSCAPED AREA</td><td>600.7 SQ. M.</td></tr><tr><td>MIN. LANDSCAPED REQUIRED</td><td>397 SQ. M. (40%)</td></tr></table>	SITE AREA	992.7 SQ. M.	BLOCK WIDTH	15.24 M.	PROPOSED POOL	32 SQ. M.	EXISTING DWELLINGS	222 SQ. M.	EXISTING HARD SURFACES	170 SQ. M.	LANDSCAPED AREA	600.7 SQ. M.	MIN. LANDSCAPED REQUIRED	397 SQ. M. (40%)		<p><u>DATE</u></p> <p>JANUARY '22</p>	<p><u>PLAN NO.</u></p> <p><b>2022JW02.1</b></p>
	SITE AREA	992.7 SQ. M.																				
BLOCK WIDTH	15.24 M.																					
PROPOSED POOL	32 SQ. M.																					
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MIN. LANDSCAPED REQUIRED	397 SQ. M. (40%)																					
						<p>Drawn by:</p> <p><i>JWConcepts&amp;Design</i></p>																

ORLANDO ROAD

15240

CHILDPROOF FENCE 1.2m  
HIGH WITH SCSL GATE WILL  
COMPLY WITH AS1926.1-2012

65380



SEWER:

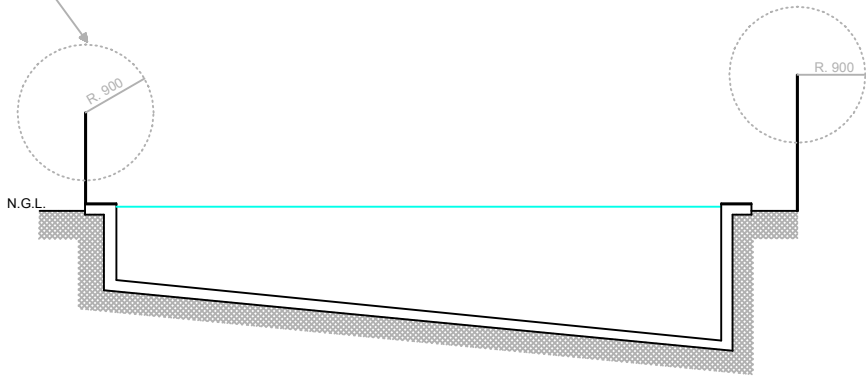
Location:  
Western boundary 31.44m from  
back boundary to centre of sewer.  
Invert: 1.46m  
Eastern boundary 29.90m  
from back boundary to centre of manhole.  
Manhole location from side boundary to  
centre: 0.90m.  
1.04m to invert.

WATER RECIRCULATION AND FILTRATION  
SYSTEMS WILL COMPLY TO AS1926.1-2010,  
BE ENCLOSED IN A SOUNDPROOF ENCLOSURE.

BOUNDARY FENCE TO COMPLY TO  
AS1926.1-2012 AND BE MINIMUM  
1.8m HIGH

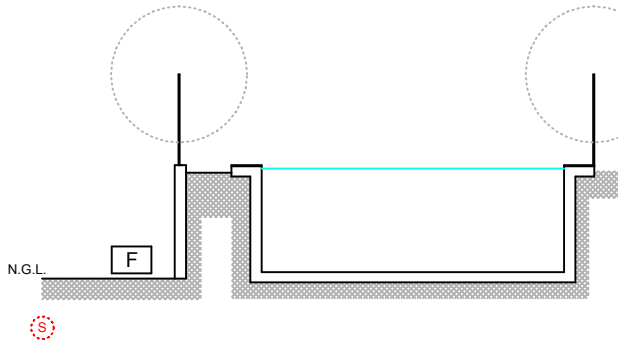
EXISTING TIMBER  
RETAINING WALL

NO CLIMB ZONE

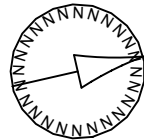


1 . 1  
PROPOSED POOL LENGTH SECTION  
NOT TO SCALE

NO CLIMB ZONE



2 . 2  
PROPOSED POOL CROSS SECTION  
NOT TO SCALE  
CHILDPROOF FENCE TO BE MINIMUM 1.2m  
SPECIFIC LOCATION TBD BY OWNER AND  
INSTALLED TO AS1926.1-2012



POOL LEVELS:

- A +100mm ABOVE N.G.L.  
B +100mm ABOVE N.G.L.  
C +100mm ABOVE N.G.L.  
D +100mm ABOVE N.G.L.



PACIFIC POOLS P/L  
84 Third road, Berkshire Park  
License no. 62686C Ph 9897 5566

BOUNDARY NOTE:

BOUNDARY INFORMATION SUPPLIED BY OWNER.  
CONFIRM ALL BOUNDARY INFORMATION PRIOR TO  
COMMENCEMENT OF WORK.

COUNCIL NOTES:

- NO EXISTING STORMWATER ON ALLOTMENT.
- NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS.
- EASMENTS SHOWN ON SITE PLAN.
- SEDIMENT DISPOSED OF TO COUNCIL'S REQUIREMENTS.

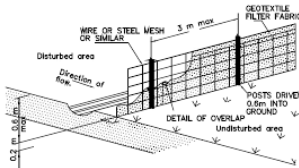
CONCRETE SLAB IN ACCORDANCE WITH CODE OF AUSTRALIA.

SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPEMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVAAVT WORKS SRE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.

7. FILTERS SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



BASIX

NOT REQUIRED.  
POOL CAPACITY 44.8KL

DATUM POINT



TOP OF TILED PATIO  
POOL TO BE FINISHED  
LEVEL WITH DATUM

SITE DETAILS:

SITE AREA	992.7 SQ. M.
BLOCK WIDTH	15.24 M.
PROPOSED POOL	32 SQ. M.
EXISTING DWELLINGS	222 SQ. M.
EXISTING HARD SURFACES	170 SQ. M.
LANDSCAPED AREA	600.7 SQ. M.
MIN. LANDSCAPED REQUIRED	397 SQ. M. (40%)

**POOL AND SITE LAYOUT PLAN**

PROPOSED DEVELOPMENT:  
REINFORCED CONCRETE SWIMMING POOL

26 ORLANDO ROAD,  
CROMER , NSW 2099  
Lot 3 DP 28664

CLIENT

JOHNSON

DATE

JANUARY '22

Drawn by:

JWConcepts&Design

SCALE

1:200 @ A3

PLAN NO.

2022JW02